

FRONT ELEVATION

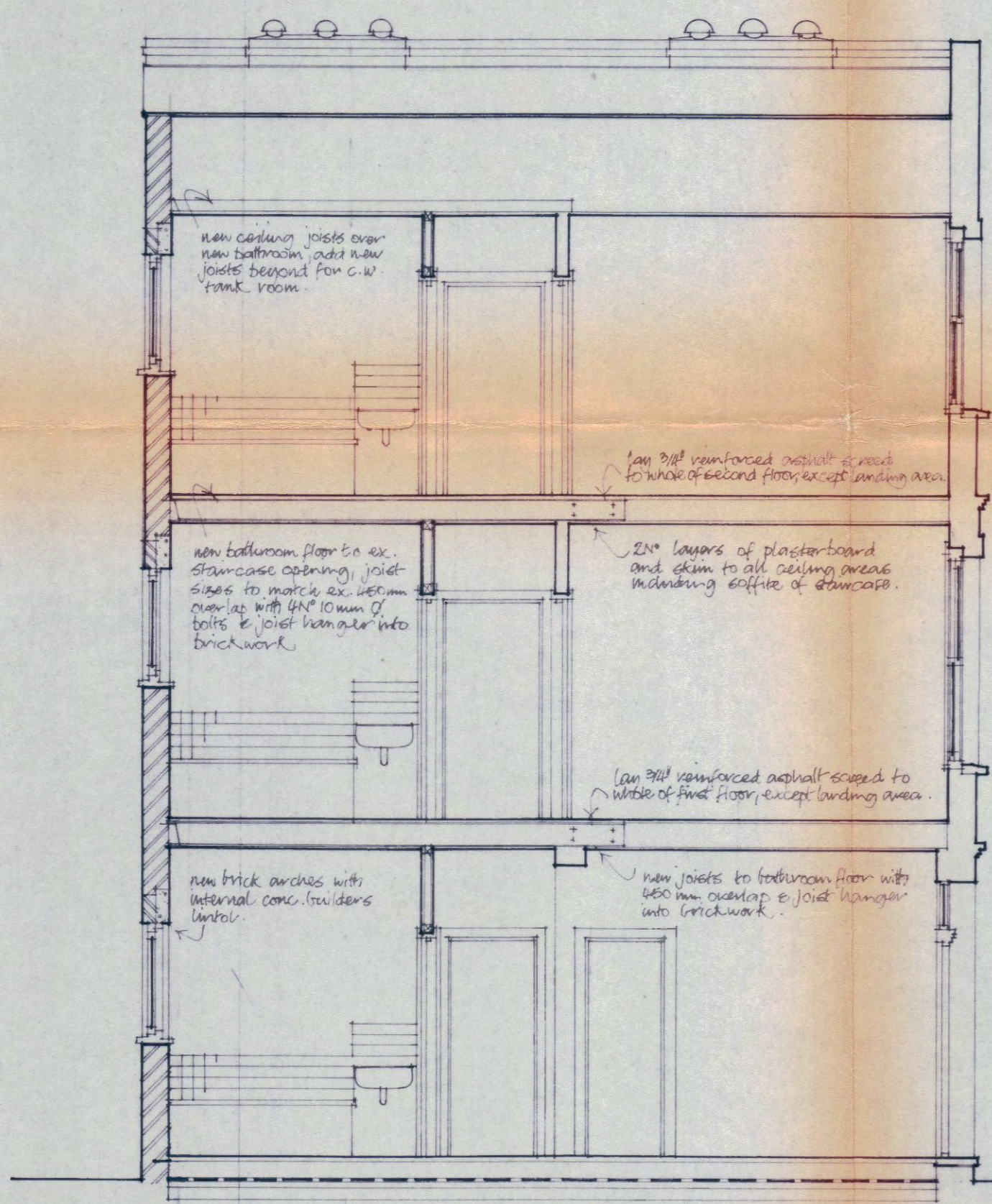
Allow for the replacement of 30% of existing ash box frame windows (to match existing) and allow for overhauling remaining box frames and sashes, replacing damaged rails and sashes, add new parting beads and sash cords, reglaze where necessary. Overhaul, repaint, make good all stucco work areas, including cills, reveals and heads to windows and doors. Allow for the cleaning down of brickwork and repair to any damaged brickwork areas. Allow for the renewal of existing main entrance doors or for the complete overhaul as to be directed.

REAR ELEVATION

Allow for the replacement of all windows and doors. Alter, adapt existing and make new openings where indicated to take windows and doors. Form new brick arches with internal concrete lintels where indicated and brick up in matching stacks redundant window / door openings. Clean down brickwork and allow for approximately 70% repainting after new work. Allow for 2 No. pvc rain water pipes and hoppers and single stack soil and vent pipe. Render rear elevation up to line indicated. Allow for approx. 50% replacement of existing concrete cills and for the overhauling and making good of existing.

ROOF

Allow for the replacement of approx. 65% of all roof timbers. Form new widened zinc valley gutters to falls to rear of property. Add new battens over roofing felt and reslate using as many of the existing slates as possible. Insulate the whole of the roof space with glass fibre insulation. Add all new necessary flashings. Add new top course on dpc and new brick on edge coping to party parapet walls. Cap off flues with half round ridge tiles bedded to tops of cut down chimney stacks. Repaint and make good parapets and chimney stacks. Reform roof light and add new opening light for roof access.

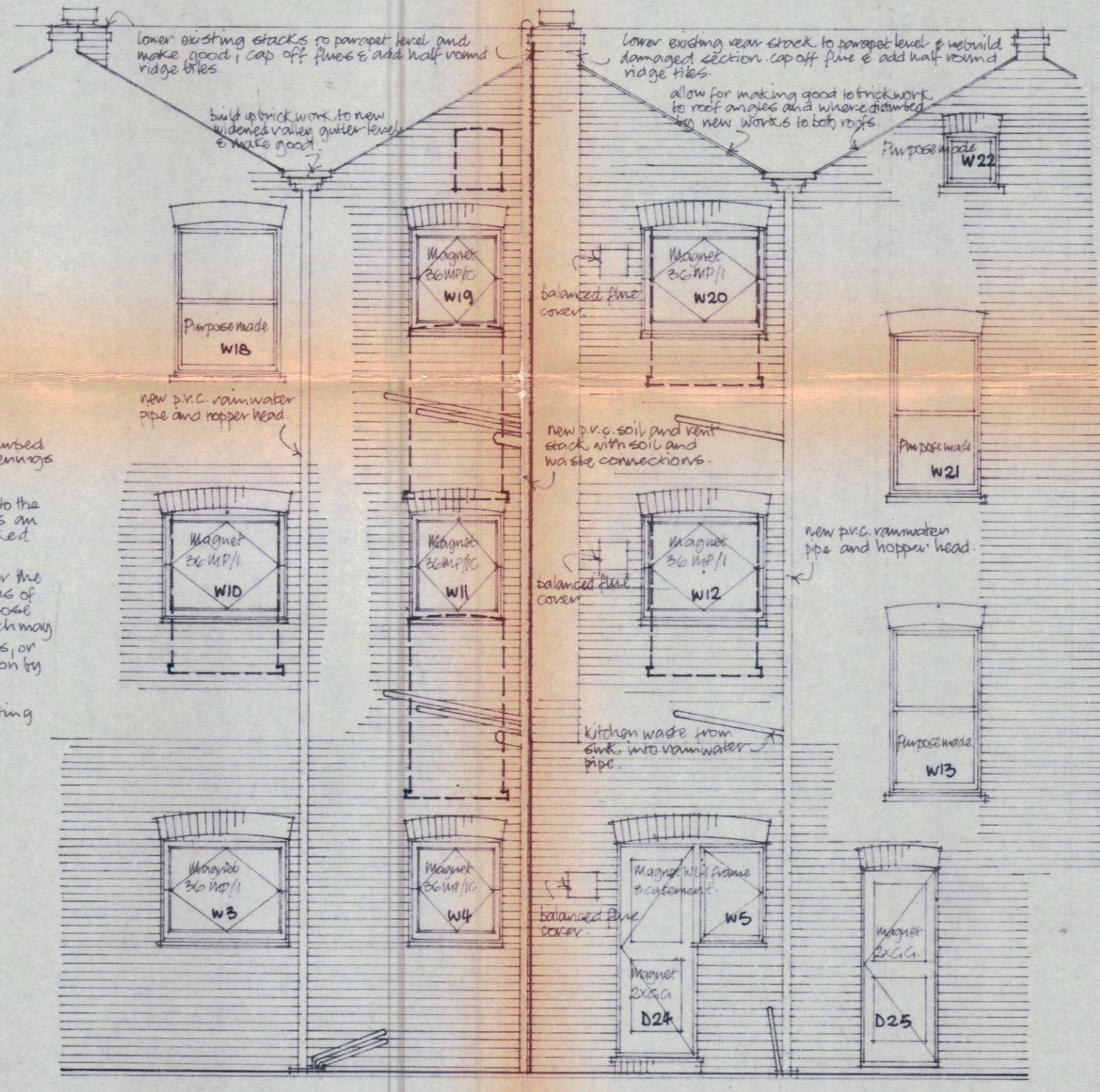


SECTION THRU PROPERTY.

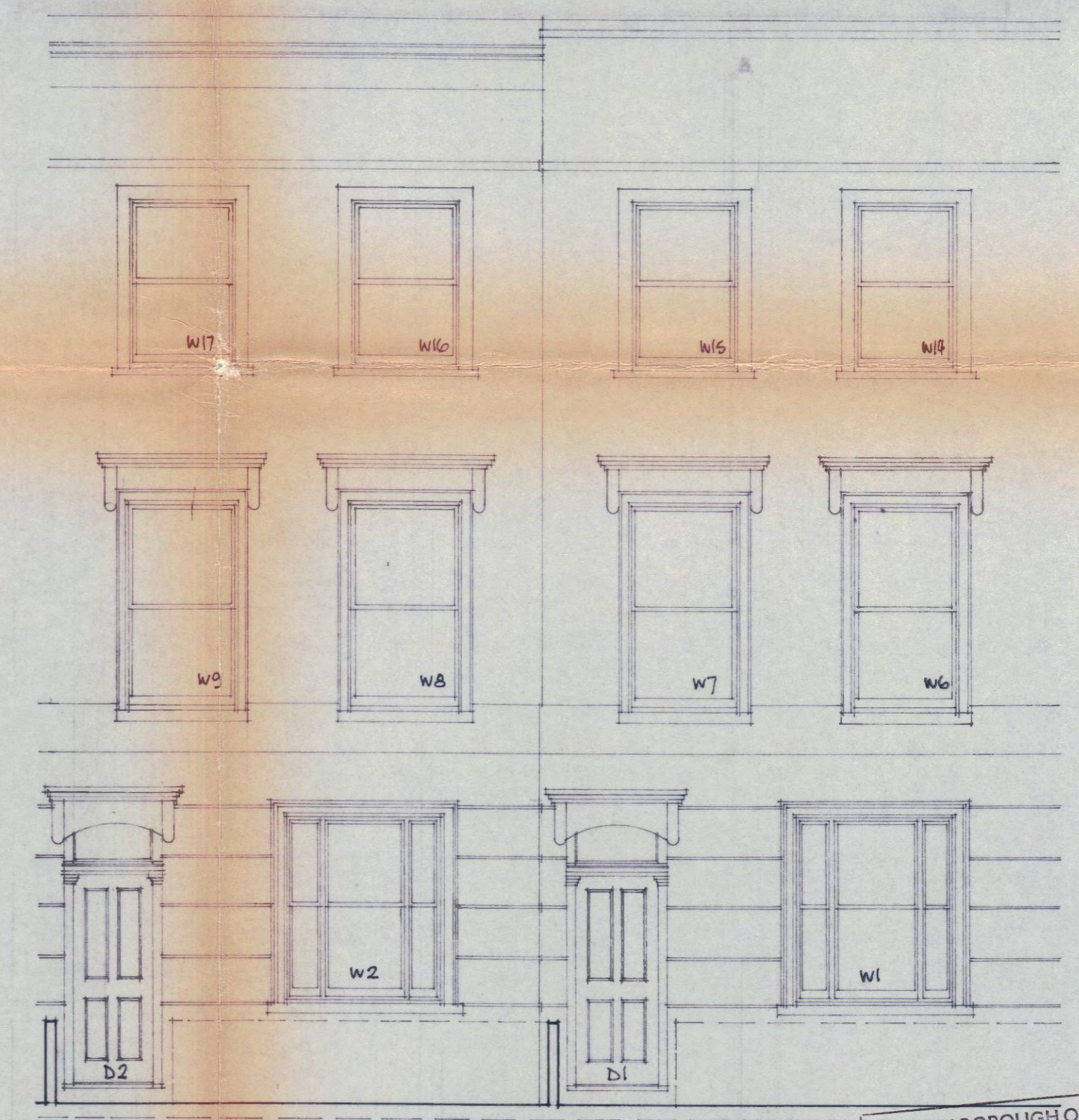
Ground Floor: Form new concrete concrete slab to whole of ground floor as follows:
50mm screed on 100mm concrete over 1000 gauge polythene d.p.m. on 50mm sand bedding on 100mm well consolidated hardcore.

GENERAL NOTE

The Contractor is to ditch back, delimited brickwork and block up existing openings with matching bricks & bond.
The brick coursing is not a guide to the number of courses required, it is an indication of the course to be blocked up, ditched back - & made good.
The Contractor should also allow for the cutting out and replacement of areas of defective brickwork other than those areas indicated and related, which may appear in demolition, or new works, or which may be found after inspection by the Architect.
Thick black lines indicate existing openings to be blocked up.



REAR ELEVATION



FRONT ELEVATION.

LONDON BOROUGH OF CAMDEN
TOWN AND COUNTRY PLANNING ACTS
2-AUG1977
APPROVED
PLANS ~~NOTIFIED~~
ON BEHALF OF THE COUNCIL

CASE COPY.

CTP/G11/25/A/24748.

WILLES ROAD HEALEY STREET G I A

Architects Planners Designers		Rothermel Cooke	
27 Ovington Square London SW3 1LJ		JOB TITLE 23-24 GRAFTON CRESCENT.	
01-581 2986-9		DRAWING TITLE ELEVATIONS & SECTION	
SCALE 1:50	DATE MAY 1977	JOB No. 52A	REVISION No. 3.