

DESIGN AND ACCESS STATEMENT

16 REDINGTON GARDENS

KAS Architects

April 2024

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Introduction & Background

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Description
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Introduction

1.1 Introduction

This document has been prepared on behalf of our client Oliver and Lucinda Steinberger. This document is intended to support a pre-app for a garden outbuilding at 16 Redington Gardens.

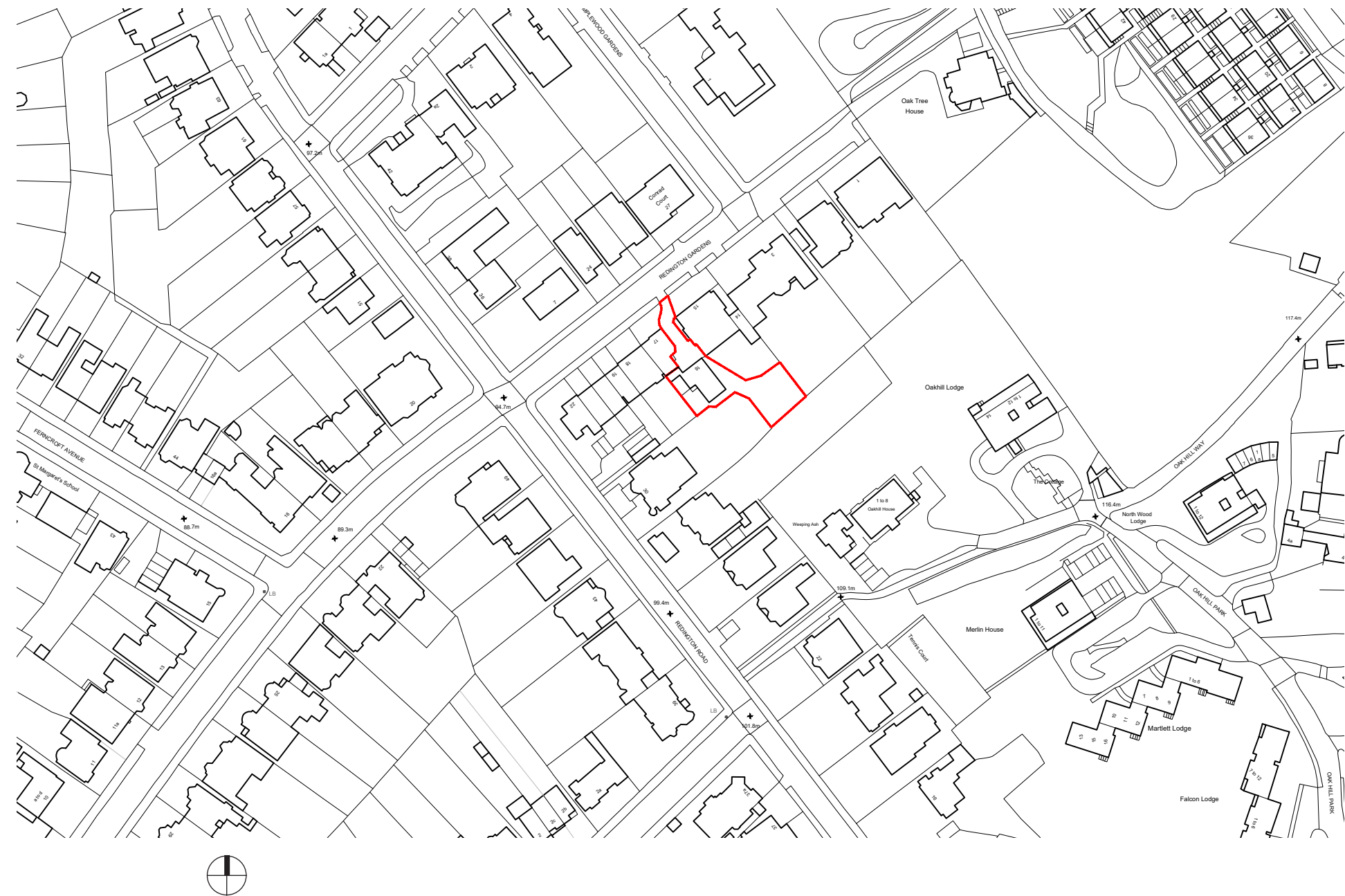
The client wishes to create a much needed dedicated office space as they permanently work from home, as well as a space for the family to get together in the garden through the use as a reading/lounge room, games room. As a result, the space has been designed to be flexible and useable over multiple uses. The proposal extends the utility of the home to an area at the back of the garden that is not used due to the significant incline and depth. The garden inclines up by 2.5m as you progress towards the rear of the garden, over a depth of 20m. It is necessary for the proposed garden room to be full width as the perimeter walls act as retaining walls for higher garden levels on 28 Redington Road.

This document will describe the design considerations of the proposal.



1.2 Site and Surrounding

The property is situated on Redington Gardens within the Redington Frognal Conservation Area. The current site occupies two dwellings (No.16 & No.17) that were built in the 1970s. An additional storey was added to both dwellings including alterations to fenestrations on all elevations, landscaping and car parking arrangements in 2016 (2017/0245/P). As both dwellings were originally erected in the 1970s, the garden to no.16 is not located directly behind the property. The proposal seeks to improve the connection to the garden by providing a connecting colonnade along the garden and extending the utility of the house to the rear of the garden.



Location Plan. NTS.

1.3 Description

The following images depict the rear garden area. There are mature trees adjacent to the proposed development therefore an arboricultural report will accompany a full planning application.



Image 1.
View towards front of 16 Redington Gardens.



Image 2.
Side elevation of existing garden looking east. The large overall incline towards the rear of the garden makes the garden impractical for family use.



Image 3.
Primary steps up towards garden.



Image 4.
Secondary steps up towards garden (this will connect to proposed canopy).



Image 5.
View back towards house.

1.4 Schedule of Precedents

1. 2018/2166/P

Address: Kebony House Oak Hill Park

Description: Erection of outbuilding comprising single storey garden room containing sauna, outdoor plungs pool and associated ground level terrace.

2. 2020/4386/P

Address: 9 Redington Road

Description: Erection of outbuilding in the rear garden

Status: Granted Planning Permission

3. 2019/3718/P

Address: 58 Redington Road

Description: Erection of greenhouse in rear garden

Status: Granted Planning Permission

4. 2021/5954/P

Address: 59 Redington Road

Description: Erection of an outbuilding containing swimming pool in rear garden

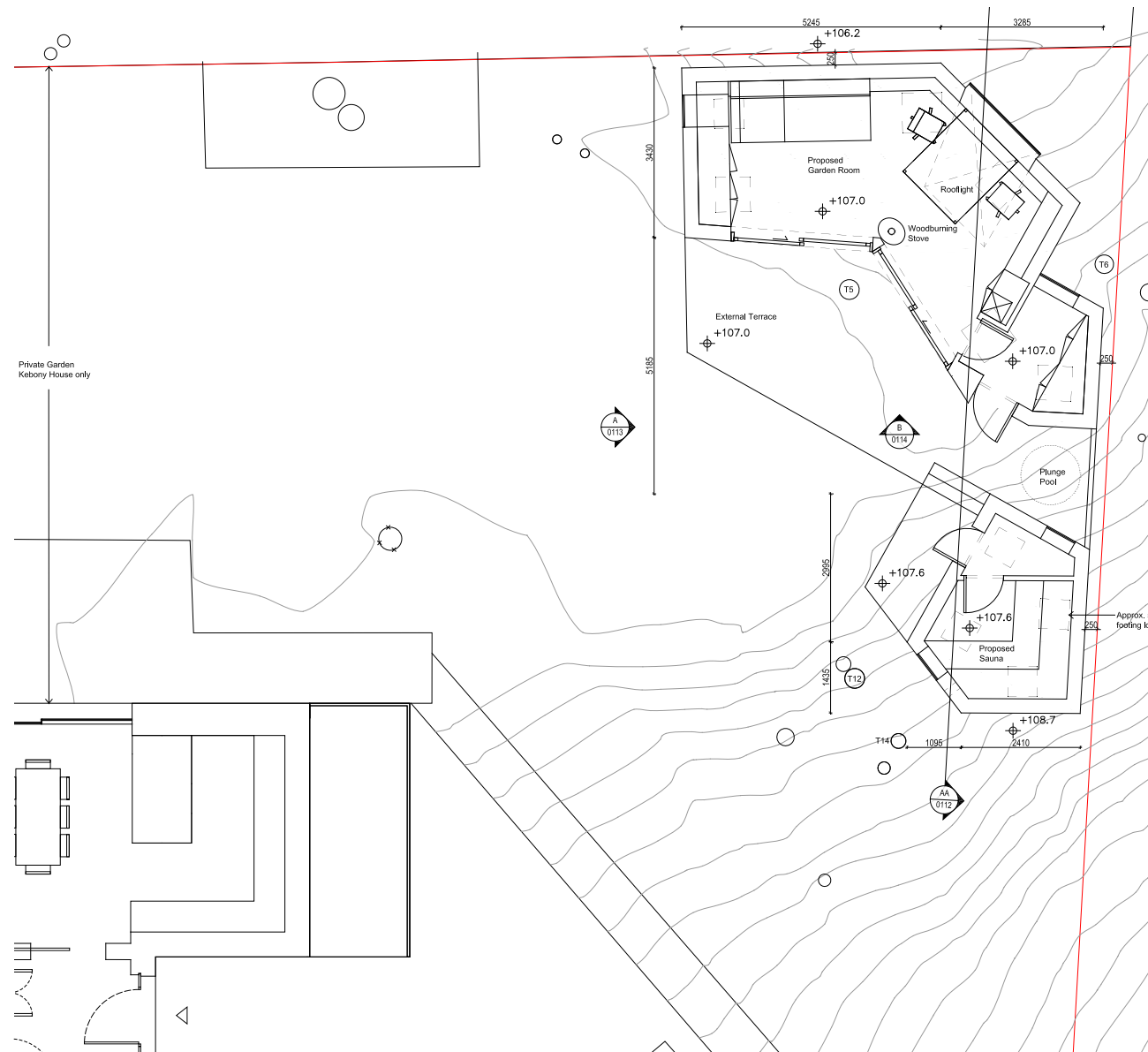
Status: Granted Planning Permission

5. 2021/5953/P

Address: 93 Redington Road

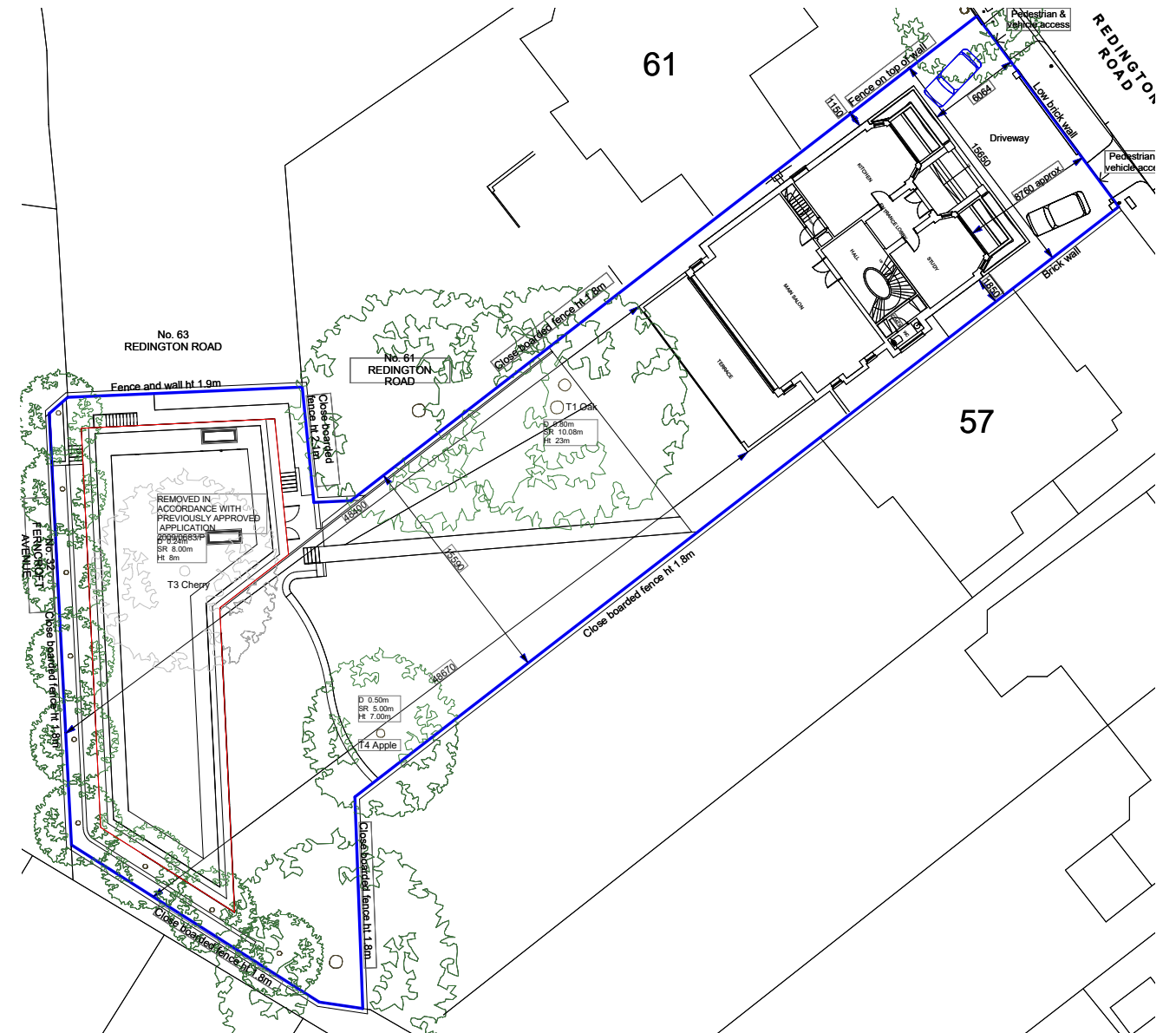
Description: Erection of a single storey outbuilding to be used as a childrens playroom

Status: Granted Planning Permission



Kebony House (2018/2166/P)

This proposal is adjacent to Redington Gardens and was approved as an outbuilding for the use as a spa/pool area.



59 Redington Road (2021/5954/P)

This large outbuilding in Redington Gardens was approved for the use as a swimming pool with associated changing facilities.

PROPOSAL

Massing and Volume

Layout

Existing Site Section

View Towards Entrance

View from Stepped Entrance to Garden

Internal View Towards Colonnade

Internal View Looking Back Towards Garden

Sustainability

Access & Amenity

Landscape and Foliage

Design Team

PROPOSAL

2.1 Massing and Volume

The proposal seeks to create a family space at the rear of the garden. The space has been designed to be flexible to accommodate uses such as a home office, reading room, lounge and games room. The roof will be populated by lush greenery and thereby appear to be a raised and floating garden, level with the higher adjoining garden.

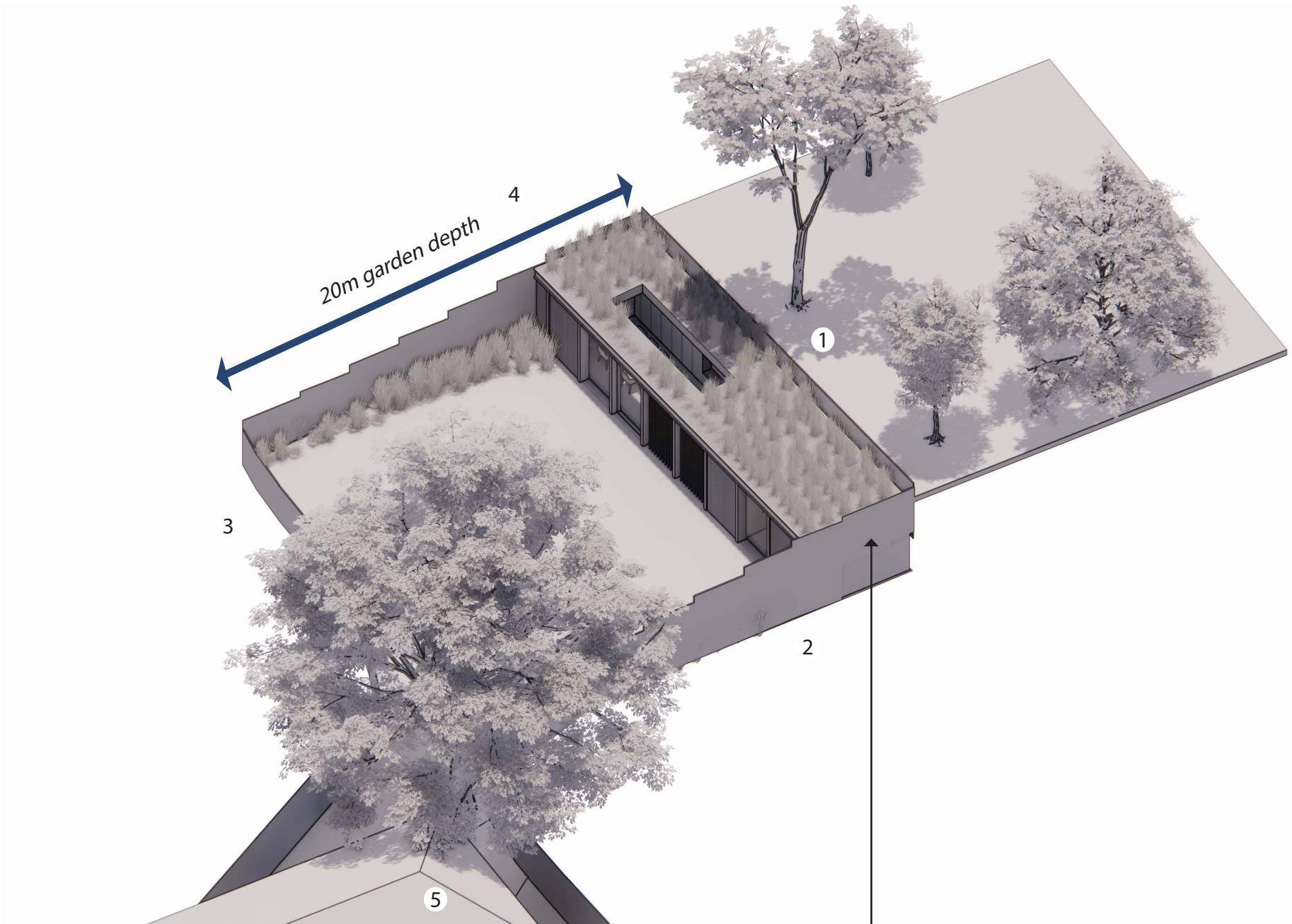
The massing of the garden room has been designed to replace the impractical and highly inclined area of the garden to the rear, where previously it was 2.5m higher than the front of the rear garden.

The materiality of the garden room is externally clad in charred timber. This frames the garden room amongst an existing composition of trees at the rear garden and is therefore a considered an appropriate material. The main entrance into the garden room is north facing and therefore glazing has been maximised in order to create a bright space. This also allows the garden room to appear to have less bulk and more elegance.

The facade includes fixed louvres that preven light pollution onto surrounding homes. The garden room also includes one skylight that aligns to the openings of the principal elevation. This allows for the framing of the mature trees above. The skylight is large in order to introduce light into the space out of the fact that the principal elevation is north facing. Skylights and large glazed openings will incorporate blackout blinds in order to minimise light pollution in the evenings.

The garden room is necessary to be full width as the perimeter walls of the garden structure act as retaining walls for the higher landscape to the rear of the garden in no.28 Redington Road garden.

There will be a comprehensive garden design in the full application from a chartered landscape architect to compliment the garden room.



- 1. 28 Redington Road garden
- 2. 30 Redington Road garden
- 3. 15 Redington Gardens
- 4. 3 Redington Gardens
- 5. Existing house

Garden room necessary to be full width as the perimeter walls act as retaining walls for the higher garden levels on 28 Redington Road

2.2 Layout

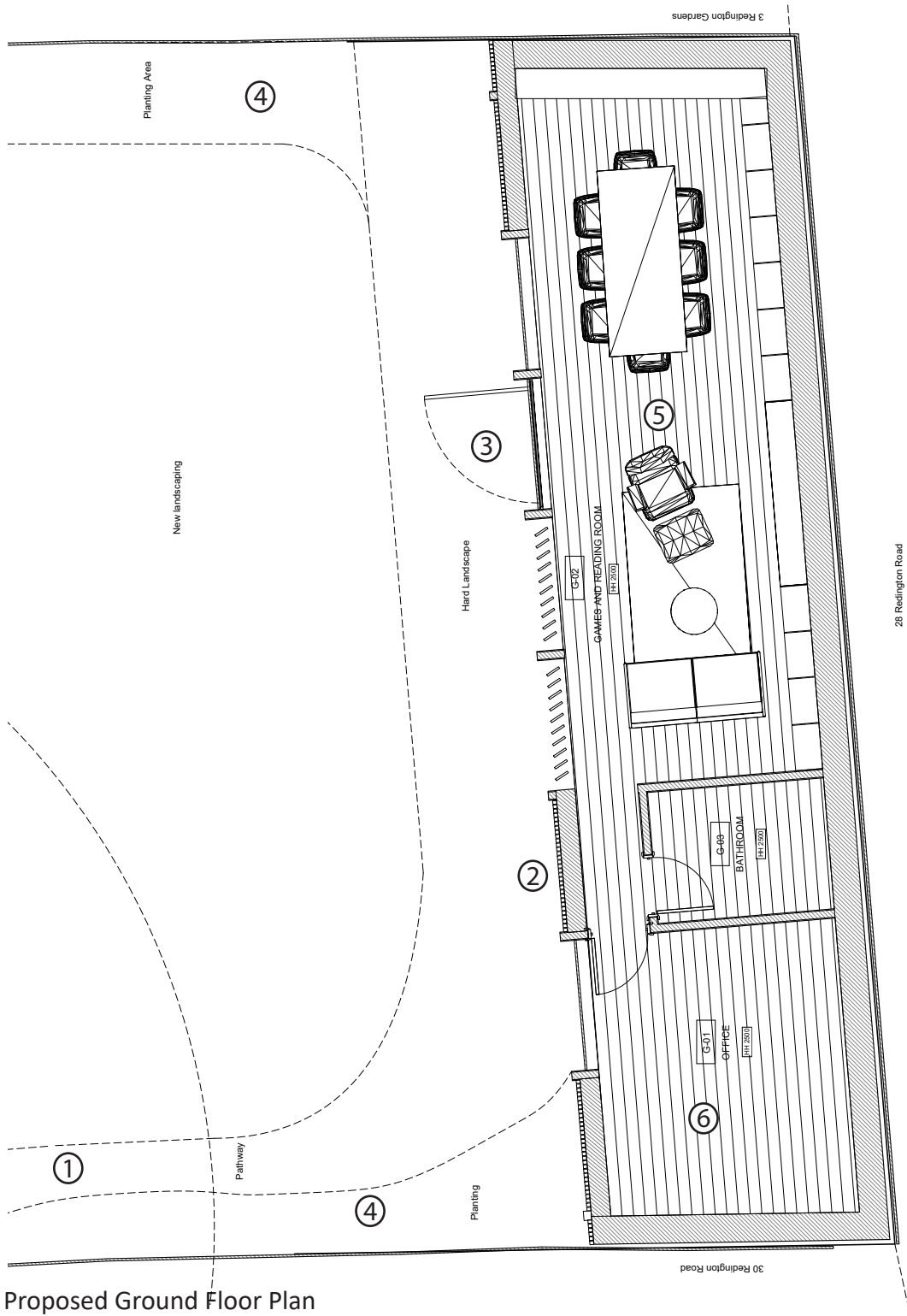
The layout has been designed to accommodate multiple uses such as a home office, reading room, lounge and family dining. A dedicated home office is much needed as both parents work from home permanently. The garden room enables the rear of the garden to extend the utility of the house in an otherwise disused area of the garden. The proposal seeks to revitalise the rear of the garden and turn it into a destination space.

The garden room is accessed through the north elevation through a timber-clad door. The structural timber joists are exposed to create a light and textured space through revealing the structure of the roof.

The garden room is situated amidst tall mature trees that surround the garden room. The green roof will be extensive with some larger plants to make the green roof appear as a ‘raised garden’.

The garden struture is full width because the perimeter walls of the garden structure act as retaining walls and therefore the full width is necessary for this purpose.

- 1. Walkway
- 2. Charred timber cladding
- 3. Glazed doors
- 4. New garden design with planting area
- 5. Lounge/reading room
- 6. Office



2.3 Existing Site Section



Existing garden site section

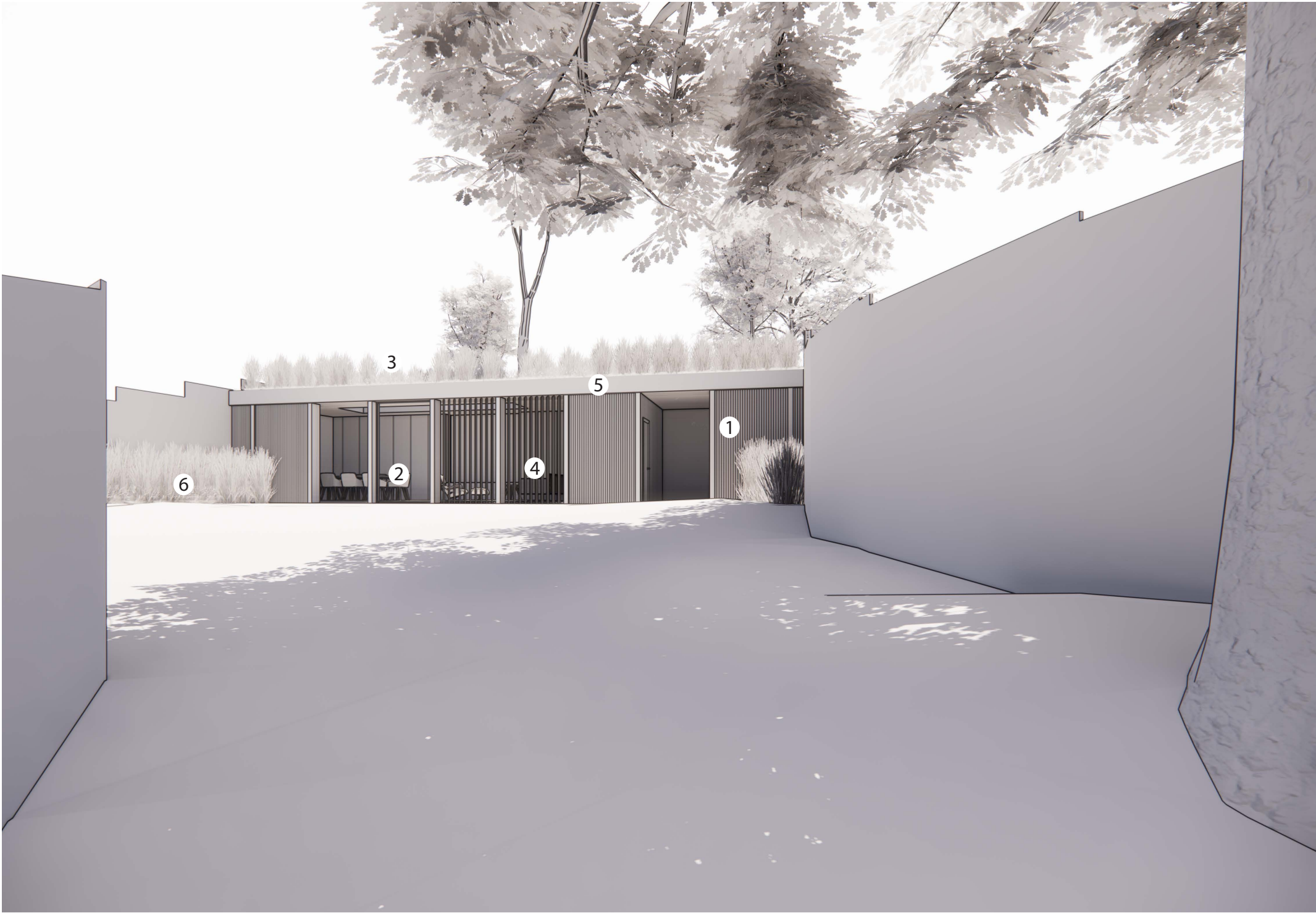
2.4 View Towards Principal Elevation



- 1. Charred timber cladding
- 2. Glazed entrance door
- 3. Green roof
- 4. Louvres
- 5. Fair-face concrete
- 6. New landscape design with planting area to be completed in full application

Note:
All visualisations are shown in grayscale.

2.5 View From Stepped Entrance to Garden



- 1. Charred timber cladding
- 2. Glazed entrance doors
- 3. Green roof
- 4. Louvres
- 5. Fair-face concrete
- 6. New landscape design with planting area to be completed in full application

Note:
All visualisations are shown in grayscale.

2.6 Internal View Looking Towards Colonnade



- 1. Louvres
- 2. Glazed entrance door
- 3. Skylight
- 4. Exposed timber soffit

Note:
All visualisations are shown in grayscale.

2.8 Sustainability

This project has been conceived with an awareness building sustainability. Both the applicant, and the agent, KAS Architects are committed to realising an exemplar project of sustainable design. New planned elements will be constructed utilising modern construction methods and in accordance with current Building Regulations. Sustainable materials such as timber will be used for the garden building. A large green roof will improve biodiversity in the area through carefully selected plants. Modern materials and techniques will guarantee high quality of build is provided, with minimal building time to ensure minimal discomfort to the neighbours.

2.9 Access & Amenity

The garden room can be accessed via existing stepped access onto the garden.

2.10 Landscape and Foliage

The garden room will mitigate any loss of green landscaping through an extensive green roof.

2.11 Design Team

KAS is a London-based RIBA registered architecture and design studio, dedicated to the creation of sustainable buildings and places. The practice is committed to the delivery of well-conceived and thoughtfully detailed architecture. Our projects cover all scales of development and building types, creating spaces to live, to work and learn.

The practice was founded in 2020 by Mirsad Krasniqi, who has over 10 years experience working on award winning residential, cultural and educational projects for practices such as Henley Halebrown Architects, John McAslan + Partners, Allies and Morrison and Hopkins Architects.

More information available on our website:

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