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DESIGN AND ACCESS STATEMENT

**75 GREENCROFT GARDENS
LONDON, CAMDEN, NW6 3LJ**

APRIL 2024

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FIGURE 01: FRONT FACADE



FIGURE 02: REAR FACADE

1. INTRODUCTION

1.1. PROPERTY DESCRIPTION

75 Greencroft is located within the South Hampstead Conservation Area of Camden and is a great example of the Victorian Terrace Houses that give the area its character.

The property is characterised by a number of decorative features to the principal elevation, including sash windows with a stain glass top panel and an ornate metal porch. The property benefits from a large private amenity space to the rear.

The property has historically been used as a HMO but in recent years it has become uninhabited which has in turn led to its decline.

This application seeks to improve the property through the renovation of the loft space. This will be achieved through the implementation of a new roof structure that meets all modern standards with sensitively placed rooflights to add daylight. All of the heritage features such as the sash windows and ornate metal porch will be maintained.



FIGURE 03 + 04: CURRENT STATE OF THE LOFT SPACE

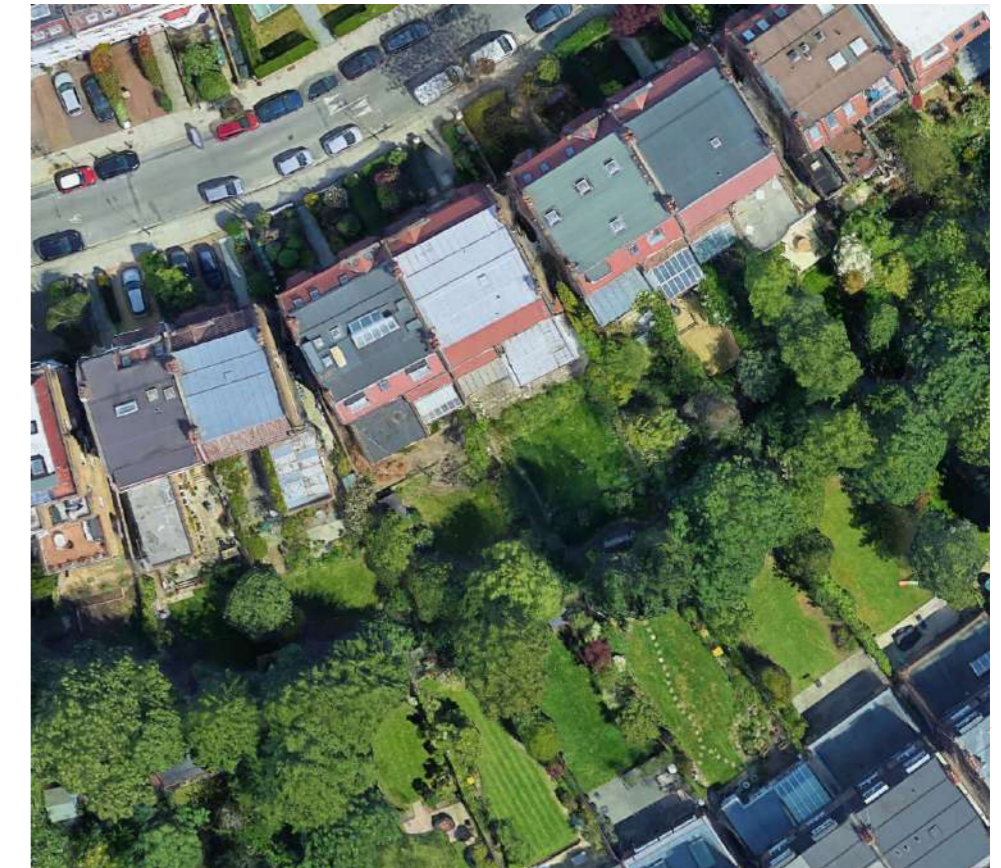


FIGURE 05: AERIAL VIEW

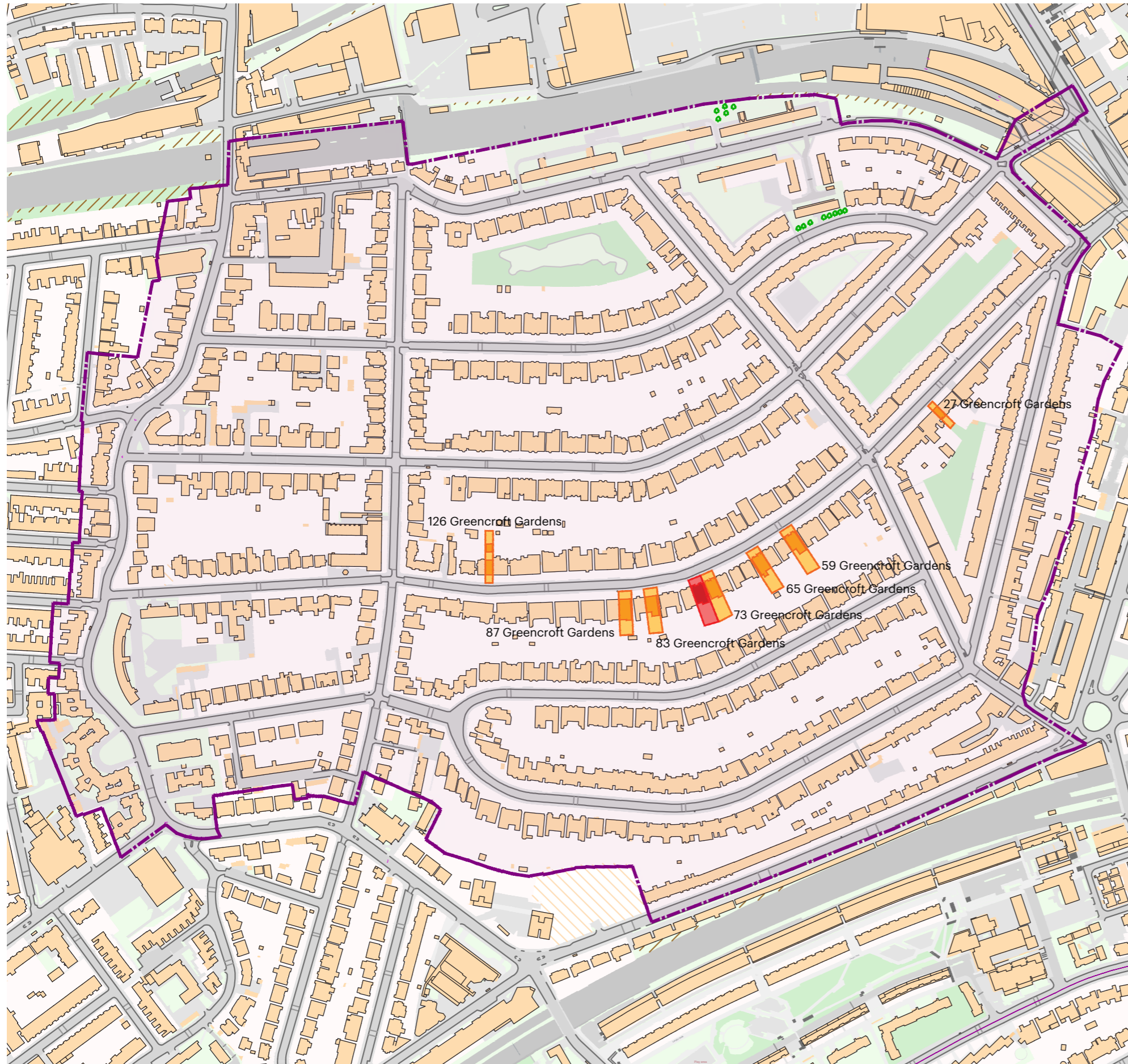


FIGURE 06: EXTENT OF CONSERVATION AREA

1.2. SIMILAR NEIGHBOURING ALTERATIONS

As previously mentioned the property lies within the South Hampstead Conservation Area.

Victorian Terraced Housing such as no.75 define the architectural character of the area but over time the need for more space has led to many numerous roof extensions of varying sizes and scales across the conservation area.

Figure 06 highlights several approved roof extension projects along Greencroft Gardens.

- No.87 - (2010/0641/P) - Granted (May 13 2010)
- No.73 - (2010/2728/P) - Granted (Aug 18 2010)
- No.27 - (2014/2141/P) - Granted (Aug 4 2014)
- No.126 - (2015/5412/P) - Granted (Nov 10 2015)
- No.83 - (2017/4360/P) - Granted (Sep 22 2017)
- No.59 - (2018/5581/P) - Granted (Oct 16 2019)
- No.65 - (2021/4830/P) - Granted (Feb 1 2022)

This project aims to follow suit as with these other properties and carry out a low impact renovation of the roof to allow use of the currently unusable loft space.

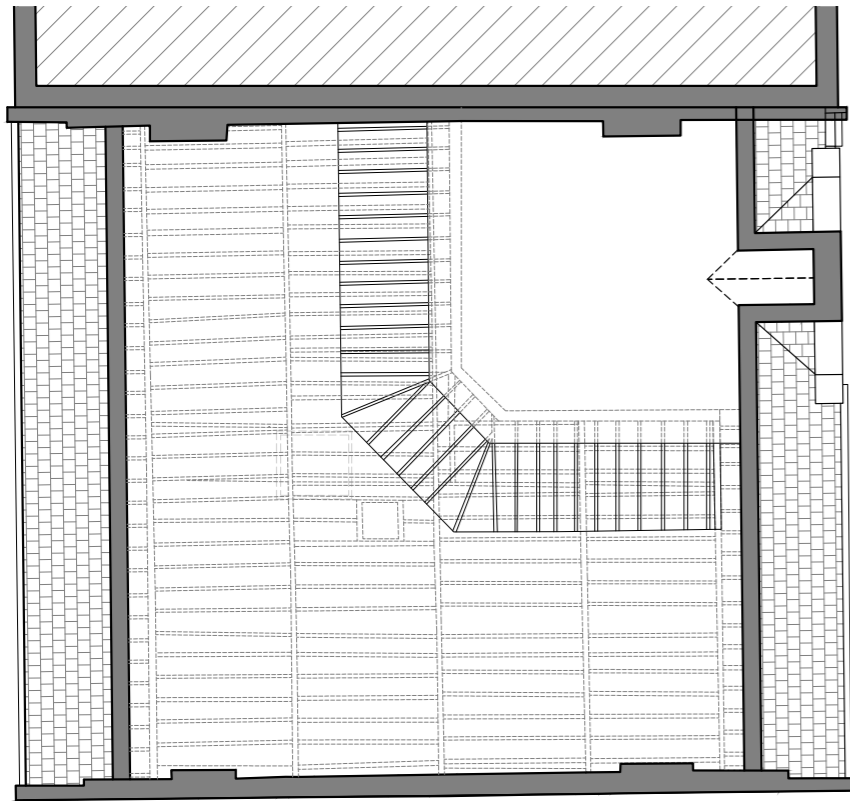


FIGURE 07: EXISTING LOFT PLAN

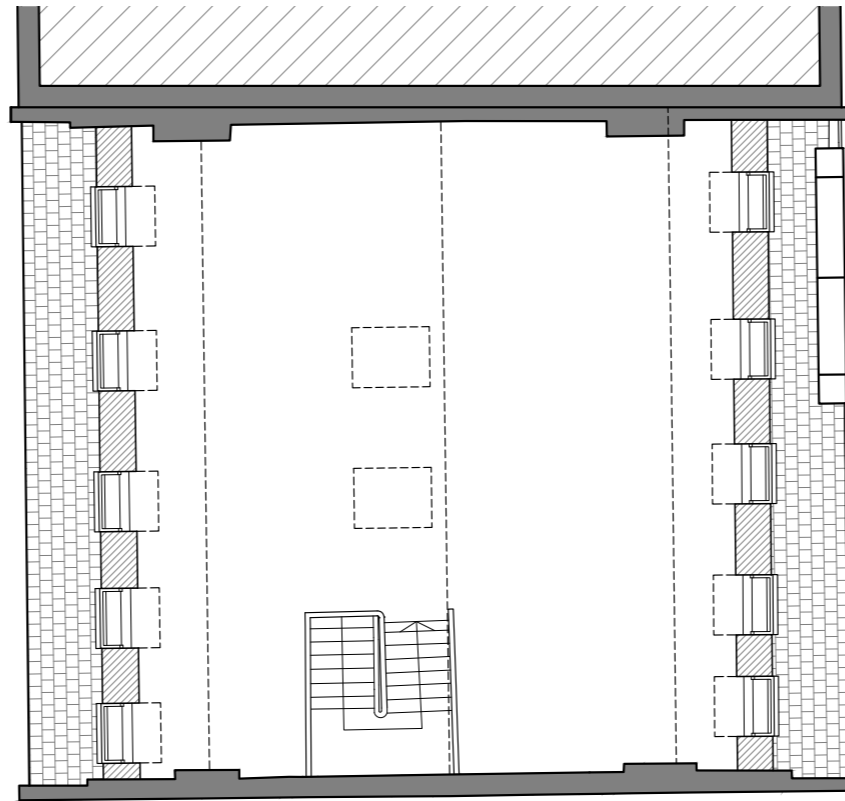


FIGURE 08: PROPOSED LOFT PLAN

2. THE PROPOSALS

2.1. RENOVATION OF LOFT SPACE

The existing roof level is restricted in its use by a large number of structural cross beams and supports. The intention is to add additional space to the HMO for amenity use. Converting the loft will allow for more efficient use of land.

A continuation of the existing stair will provide access to the floor.

To comply with building regulation regarding insulation a new roof covering will be applied. As done at a number of other properties rooflights will be added to provide daylight to this new amenity space.

The increase in insulation within the roof structure will result in a slight rise in the overall ridge line but this will only be up to the same level as at the neighbouring no.73 Greencroft Gardens.

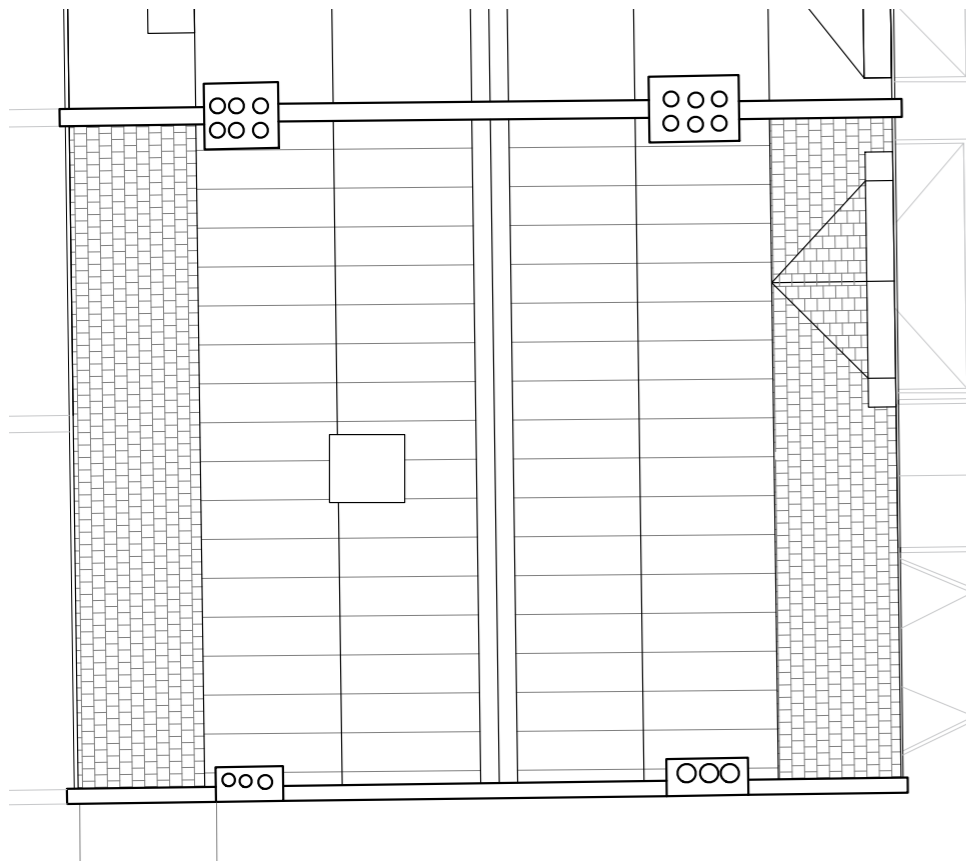


FIGURE 09: EXISTING ROOF PLAN

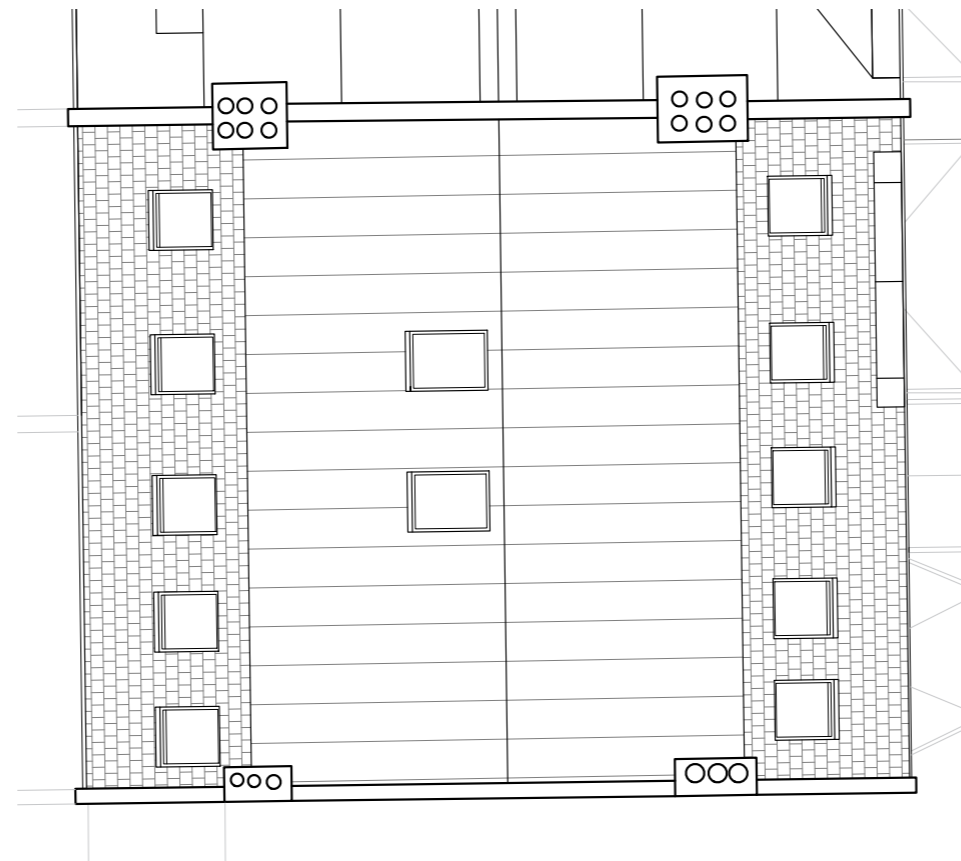


FIGURE 10: PROPOSED ROOF PLAN



FIGURE 08: EXISTING FRONT ELEVATION



FIGURE 09: PROPOSED FRONT ELEVATION

2.2. IMPACT ON THE ELEVATION

Due to the overall depth of the space and to bring suitable daylight into the new space 5x new rooflights are to be added to the front elevation of the property.

At 59 Greencroft Gardens (LPA Ref. 2018/5581/P), planning permission was granted, in October 2019, for the addition of 5 rooflights to the front of the mansard roof.

For the proposal it did not seem suitable to add yet another additional roof typology to the variety that already exist in the surrounding context thus the design matched that approval, with 5no. Flush conservation style roof lights.

New rooflights will align with the second floor glazing to maintain the careful balance of solid to void on the front elevation.

This same setting out will be used for 5x new rooflights added to the rear elevation of the property. These will also be flush conservation style roof lights and align with the second floor glazing.



FIGURE 10: APPROVED PROPOSAL AT NO.59



FIGURE 11: CONSERVATION ROOFLIGHTS USED AT 67 GREENCROFT GARDENS



FIGURE 12: PROPOSED CENTRE HUNG CONSERVATION ROOF LIGHT



FIGURE 13: CONSERVATION ROOF LIGHT IN-SITU

2.3. CONSERVATION ROOF LIGHTS

For this project we will be specifying VELUX Conservation roof windows.

VELUX Conservation roof windows are specially designed to preserve and enhance the original features of historic buildings, while providing modern features and great thermal performance for a pleasant indoor comfort.

Key Features:

- The windows will be top-operated so are easily opened and closed – even with furniture placed underneath.
- The window's black exterior profiles and glazing bar blend seamlessly into the roof.
- Open the top control bar to the ventilation position for fresh air through a closed window.
- Easily rotate the window 180° for safe cleaning of the outer glass from the inside.
- Easily open and close the roof window – even with furniture placed underneath.
- Removable and cleanable ventilation filter protects your home from dust and insects while ventilating.

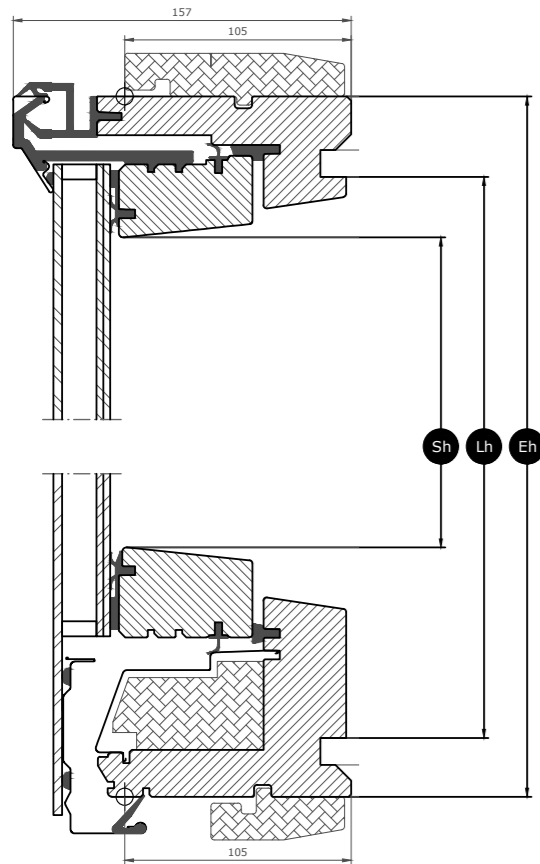


FIGURE 14: TYPICAL SECTION DETAIL

Width		UK--
Sw	Sash aperture width	1161
Lw	Distance between lining grooves, width	1285
Ew	External frame width	1340

Height		--04
Sh	Sash aperture height	784
Lh	Distance between lining grooves, height	919
Eh	External frame height	978

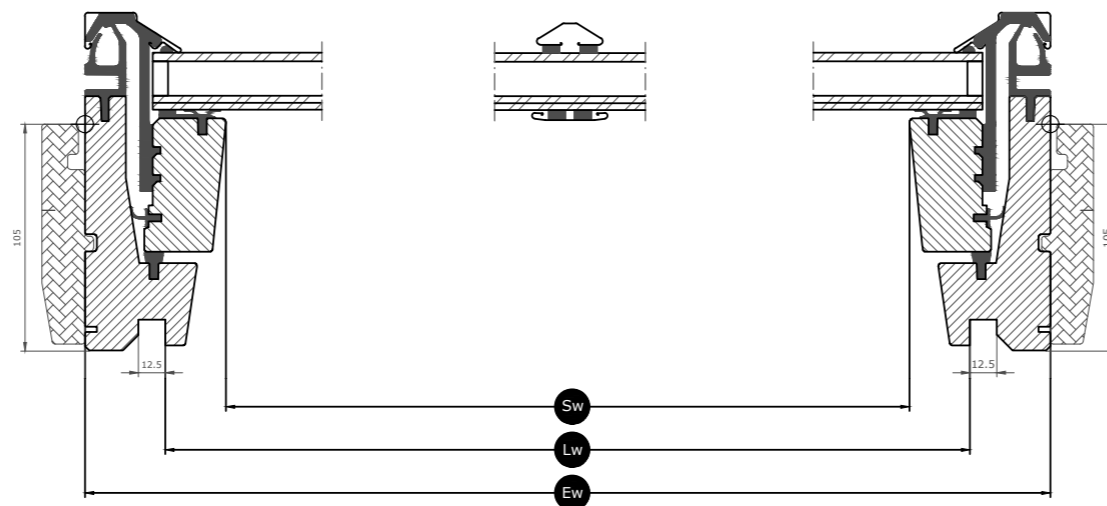


FIGURE 15: TYPICAL PLAN DETAIL

Typical values for Window

Window characteristics	Performance
Thermal transmittance	1.3 W/(m²K)
Light transmittance	0.68
Total solar energy transmittance	0.46
Sound insulation	35(-1;-3)
Air permeability	4
External fire performance - British	AC
External fire performance - European	npd
Impact resistance	3
Load-bearing capacity of safety devices	✓
Reaction to fire	C-s1,d2
Resistance to snow load	See glazing composition
Resistance to wind load	C3 (>SK08: NPD)
Water tightness	E900

NPD: No performance determined

3. MATERIALS

Considering the building setting within the conservation area, the proposal ensures to maintain the building character and appearance by matching to the existing materials and style.

The existing roof tiles will be carefully removed and used to cover the mansard elements of the new roof. The rooftop will use metal covering to match the existing.

The roof-lights are proposed to be flush with the roof coverings, and have an exterior flat glass window appearance.

4. ACCESS

No alteration to the existing access arrangement of the property is proposed.

5. CONCLUSION

In conclusion this proposal aims to greatly elevate the property at 75 Greencroft Gardens through the renovation of the loft area. This has been done sympathetically to ensure minimal impact on the character of the existing building and the surrounding area.

By matching proposals that have been previously approved nearby we have avoided adding yet another typology of roof extension to the area