

10 January 2024

Submitted via Planning Portal (PP-12633377)

Mr D. Zuk  
Development Control  
London Borough of Camden  
5 Pancras Square  
London  
N1C 4AG

Dear Daren,

## **THE TOWN & COUNTY PLANNING ACT 1990 (AS AMENDED) - APPLICATION FOR PLANNING PERMISSION**

### **GREAT ORMOND STREET HOSPITAL, VARIETY CLUB BUILDING, WC1N 3JH**

On behalf of the applicant, Great Ormond Street Hospital for Children NHS Foundation Trust, (“the Applicant”) and our client SISK, the building contractor for the redevelopment of the Frontage Building to deliver the GOSH Children’s Cancer Centre (CCC), we hereby submit an application seeking full planning permission for external plant and servicing works at the above Variety Club Building address.

### **BACKGROUND**

As you will be aware, planning permission was granted on 17 April 2023 under reference number 2022/2255/P for the:

*“Redevelopment of the Great Ormond Street Hospital (GOSH) Frontage Building comprising demolition of the existing building, and erection of a replacement hospital building (Class C2) with a basement, landscaped amenity spaces at roof top and balcony and ground floor levels, plant, equipment, cycle storage, refuse storage and other ancillary and associated works pursuant to the development.”*

Since that time, permission for Section 73 Minor Material Amendments has been granted under Reference number 2023/3223/P for minor design changes to the proposed planning permission, namely:

- Amendments to the West Core to include the northern part of the Paul O’Gorman building (PO’G).

Brownlow Yard  
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- Provision of connection to the Paul O’Gorman building at each floor level.
- Proposed reduction in massing above main entrance at parapet level.
- Design refinement to the front entrance bay.
- Refinement to the internal north façade comprising upgraded façade treatment.

During the design development phase of the consented works, further detail has been developed in relation to site preparation and mobilisation works. Part of these site preparation and mobilisation works relate specifically to the need to relocate existing external plant servicing the Variety Club Building (VCB) from the Frontage Building (within the footprint of GOSHCCC consented development) to within the VCB footprint. Another part of this application is the reconfiguration of externally mounted services on the southern elevation of VCB to prepare for the GOSHCCC construction site and to ensure future coordination with the proposed GOSHCCC.

## PROPSALS

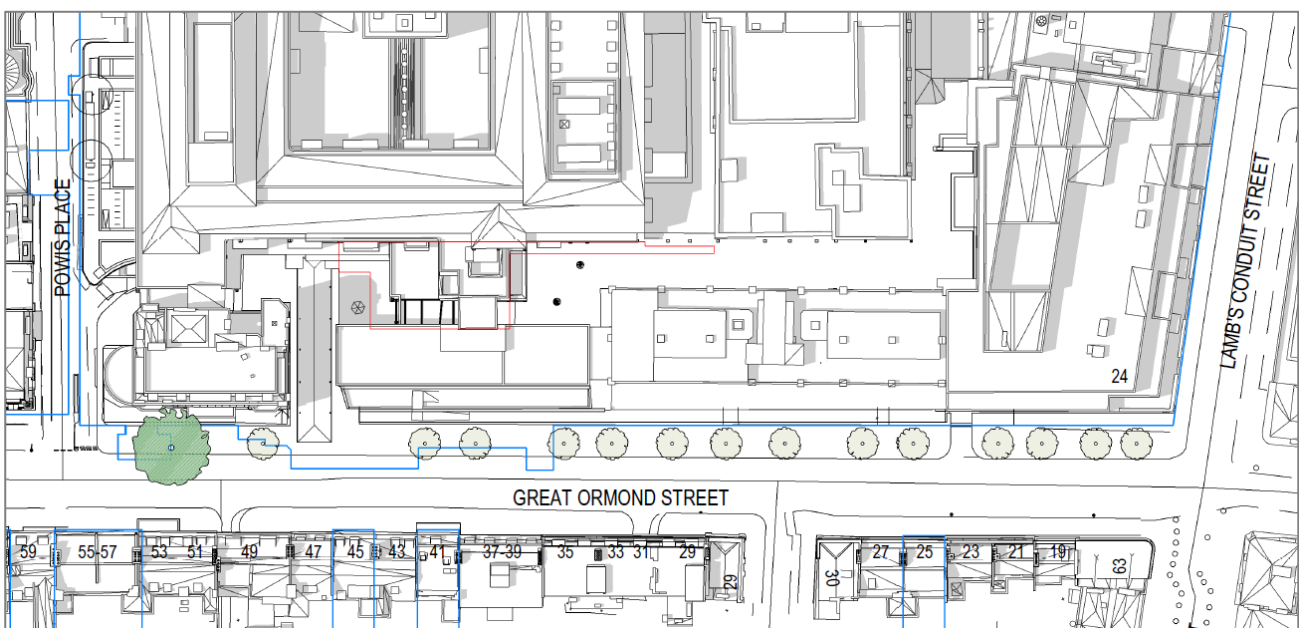
The proposed Description of Development is as follows:

*“Removal of existing plant from the Great Ormond Street Hospital (GOSH) Frontage Building and its replacement with new plant on the GOSH Variety Club Building (VCB) together with the reconfiguration of existing external services at VCB.”*

This external plant and services application has a site area of 315 sqm. The GIA is unchanged as it relates to external services only.

The works are concentrated around the existing elevations shown within the red line on the Site Location Plan extract provided below at Figure 1.

**Fig 1: Extract from the Site Location Plan showing the application red line boundary**



Design drawings have been prepared to reflect the ‘As Existing’, ‘Site mobilisation’ and ‘As Proposed’ conditions. The ‘As Proposed’ drawings reflect the site once the consented CCC has been delivered. The

existing and proposed conditions are not visible from the Street (Great Ormond Street). The site mobilisation conditions will be visible from the street whilst the GOSHCCC works are being undertaken.

## Cheetah Ward AHU and Chiller

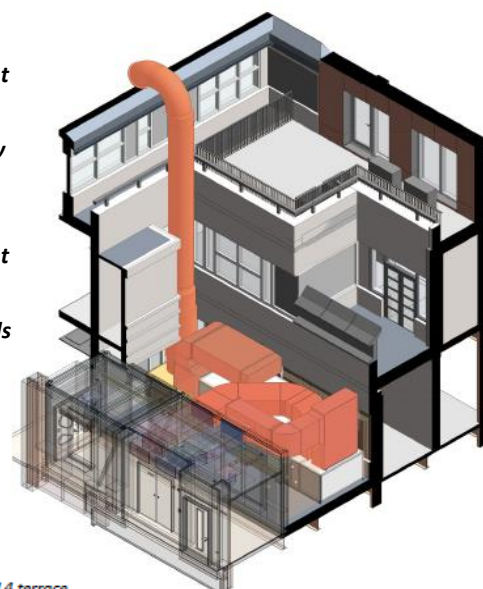
The primary proposals relate to the repositioning of an Air Handling Unit (AHU) and Chiller that serve the Cheetah Ward, which is located within Level 2 of the VCB. This external plant is currently located on an external terrace at Level 4 on the Frontage Building. Once the demolition of the Frontage Building is commenced to implement planning permission 2023/3223/P for the new GOSHCCC, it will be necessary to remove the plant. The opportunity is then provided to replace the existing plant with new and more efficient plant.

It is proposed that new AHU plant is provided at the Level 4 terrace of the projecting VCB 'Blip'. This plant will be *in situ* during the construction of the GOSHCCC and upon its completion.

Exhaust ducts are taken to high level, above Level 6 to ensure separation from the air intake location.



**Fig. 2 (right)**  
*Cheetah Ward Plant and Services relocation overview*



**Fig. 3 (right)**  
*Cheetah Ward Plant and Services relocation proposals*

- 1 External AHU on Level 4 terrace
- 2 Air intake
- 3 Feature Air exhaust

The proposed AHU is acoustically enhanced with side and top attenuation packs. In addition to this a 4-sided acoustic screen is provided. Acoustic mitigation is also provided via the local soffit treatment of the GOSHCCC. This is shown below at Figure 2. An Acoustic Assessment of the noise impacts of the proposed AHU and its noise mitigation measures is submitted in support of this application. It concludes that the predicted noise levels for both the AHU and the exhaust connections would be lower than the existing background noise levels and that additional forms of noise mitigation beyond what is proposed are not considered necessary.

To facilitate these works at Level 4 of VCB, works are required for:

- Removal of existing external steps, railings and steel deck to the southern part of the VCB terrace.
- Removal of existing terrace finishes to enable location of existing structure and rainwater outlets.

- Removal of windows and a section of cill construction from the VCB 'blip' existing west elevation and replacement with SFS external wall build up to incorporate repositioned glazed door to terrace.
- Reconfiguration and redirection of existing externally mounted services to east of the 'blip'

## **VCB External Services Reconfiguration**

The secondary proposals comprise the careful reconfiguration of externally mounted services to the south elevations of VCB to provide a clear site for the GOSHCCC and to address plant room requirements that will become internalised when the GOSHCCC is completed.

The proposals have been discussed with London Borough of Camden planning and design officers at a pre-application meeting that took place in September 2023 and in further email correspondence. Officers have been supportive of the proposed works.

## **SUBMISSION DOCUMENTS**

This planning submission comprises the following documents:

- Planning Application Cover Letter (this document), prepared by Turley;
- Planning application form and certificates, prepared by Turley;
- CIL Additional Information Form, prepared by Turley;
- Design and Access Statement, prepared by BDP;
- Drawings Register, prepared by BDP;
- Existing, Enabling works and Proposed drawings, prepared by BDP; and
- Noise Impact Assessment (Nov 2023), prepared by RSK.

The application fee of £642.00 (inclusive of Planning Portal Service Charge) has been paid online via Planning Portal.

We trust the enclosed is in order and look forward to receiving confirmation in due course that the planning application has been validated. Should you have any queries regarding this application, or require additional information, please do not hesitate to contact myself or my colleague Rory McManus at this office.

Yours sincerely

Lauren Thiede-Palmer  
**Senior Planner**

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Encl.

