



Andooi
Chemin du Haut de St. Pierre
32230 Ladevèze-Ville, FRANCE
mail@andooi.com
0845 3884158

15th April 2024

Dear Sir/Madam,

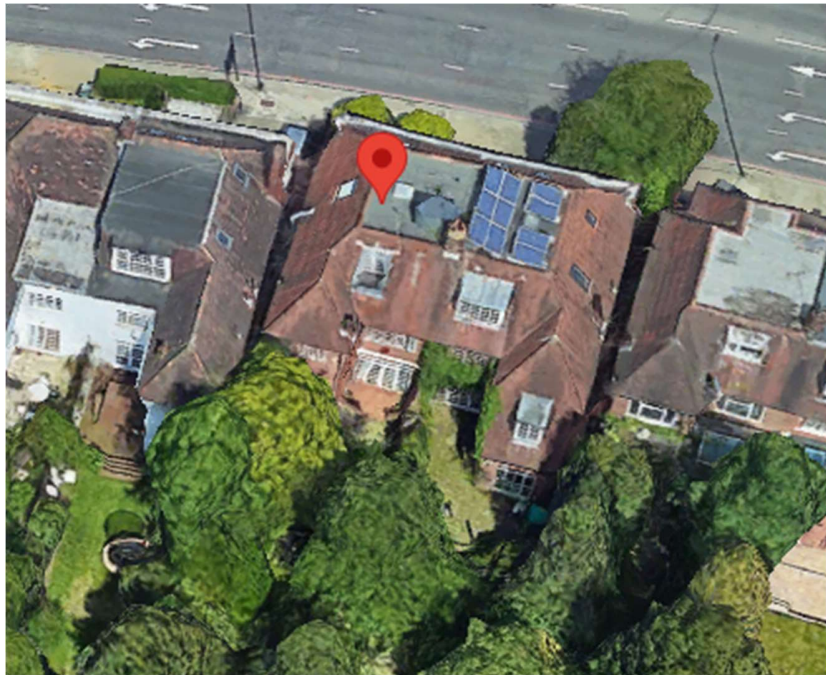
Application for Planning Permission at 603 Finchley Road NW3 7BS

Design and Access Planning Statement

Please find attached the above application.

1. Site/Context

The application site is a semi-detached house to the west side of the Finchley Rd. It is not within one of the Borough's Conservation Areas and is not within an area designated as a Flood Risk zone by the Environment Agency. The immediate surrounding area is predominantly residential, with similar semi-detached houses.





Andooi
Chemin du Haut de St. Pierre
32230 Ladevèze-Ville, FRANCE
mail@andooi.com
0845 3884158

2. Proposals

The proposals are for the erection of a two storey extension to the rear of the existing rear addition and some remodelling of the front garden to allow a wheelchair access ramp. Please see attached drawings.

3. Use

The building is a single dwelling house.

4. Design and Impact

The existing house features a short two storey rear addition to the north side with a rear hipped roof joining the main roof. The proposals show a two storey extension to this rear addition. The extension is proposed to follow the style and materials of the existing building being finished in brick to match the existing house and with a rear hipped roof. The proposed fenestration follows the same design as the existing.

The works to the front garden are minor in nature and involve the replacement of steps and the construction of a curved ramp to allow wheelchair access.

5. Planning Considerations

The extension proposals are confined to the rear of the building and so will not be visible from the street scene, the front garden proposals will be largely concealed by the retained front boundary wall.

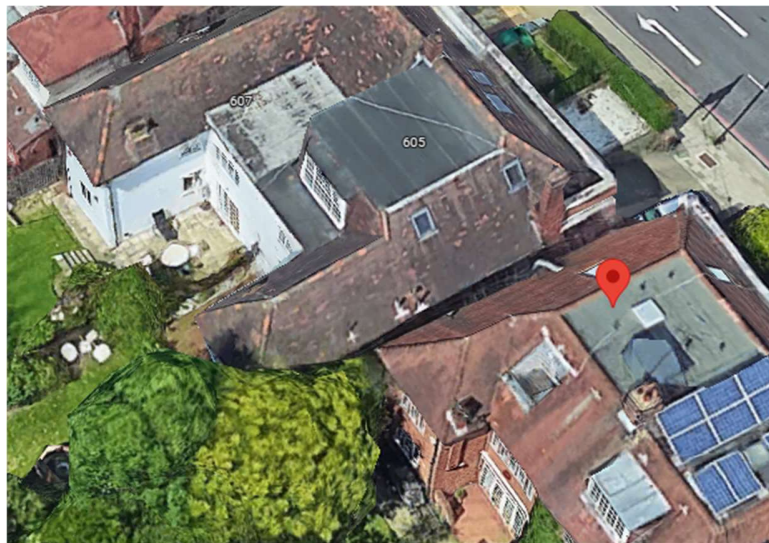
The design has been chosen to complement and integrate with the existing house both in architectural style and materials proposed. The relatively modest rear projection ensures that the proposals will not dominate the host dwelling.

Both adjoining buildings have existing rear additions that project further than that existing at the application site.

To the north no 605 has an existing rear addition that projects well beyond the rear building line at the application site, and beyond the rear building line of proposed extension and so we believe that as well as providing a justification for the extension proposed in design terms, this also ensures that there will be no additional impact on the occupiers of this building.



Andooi
Chemin du Haut de St. Pierre
32230 Ladevèze-Ville, FRANCE
mail@andooi.com
0845 3884158



Aerial view showing the extent of the rear addition at no 605

To the south the attached house (no 601) also has an extended rear addition – in this case with an extension to the hipped roof and a rear Dormer:



no 601



Andooi
Chemin du Haut de St. Pierre
32230 Ladevèze-Ville, FRANCE
mail@andooi.com
0845 3884158

The proposed extension is set to approximately the same rear building line, but with a design that better mimics the existing house and the existing design at no 605.

The proposals are well away from the boundary with no 601 and so we believe that any additional impact on the occupiers of this house will be minimal.

The garden is large and the reduction in amenity space is therefore, we believe, insignificant.

We believe, therefore, that the proposals fully respect and comply with the Home Improvements CPG which states that rear extensions should: be subordinate to the building being extended, in relation to its location, form, footprint, scale, proportions, dimensions and detailing; be built from materials that are sympathetic to the existing building wherever possible; respect and preserve the original design and proportions of the building, including its architectural period and style; respect and preserve existing architectural features, such as projecting bays, decorative balconies, cornices and chimney stacks; be carefully scaled in terms of its height, width and depth; allow for the retention of a reasonably sized garden.

Please don't hesitate to contact us if you need any further details or clarification.