

Barrington Court
New Build
London NW5 4AT

For the Attention Of: Sam Fitzpatrick

Discharge of Conditions

As Specified For
Planning Reference 2023/3592/P

Undercurrent Architects
March 2024

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Condition 3 – Design: details to be approved

Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

a) Details including plans, coloured elevations and sections at 1:20 of all typical details (including jambs, head and cill), balustrades, parapets, gates, planters and associated elements;

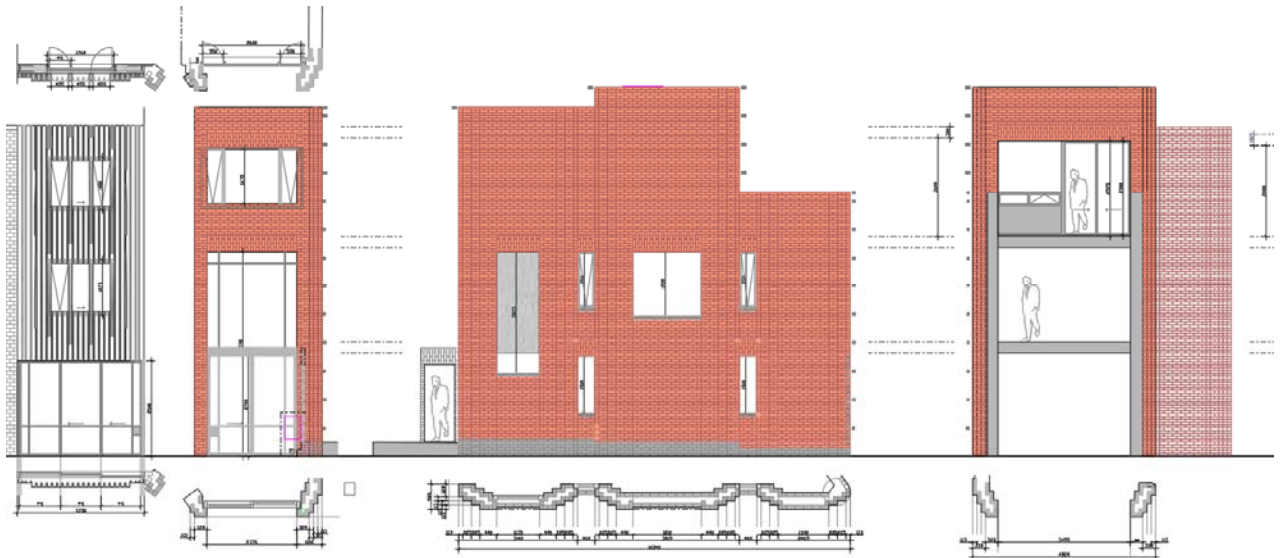
The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 (and D2 if in CA) of the London Borough of Camden Local Plan 2017.

In Response to Condition 3

As per Drawings UK 144-PC-03 R0, UK 144-PC-04 R0, UK 144-PC-05 R0 & UK 144-PC-06 R0 details have been submitted including plans, coloured elevations and sections at 1:20 of all typical details (including jambs, head and cill) balustrades, parapets, gates and associated elements.

A sample sheet has also been submitted.






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IMPERIAL253

High quality soft red handmade bricks, with subtle colour variations and slight creasing or 'smiles' on the faces.

Available in imperial size 88 x 228 x 108mm and metric size 85 x 215 x 103.5mm.

Genuinely handmade.
Sustainable supply for ongoing projects.
Manufactured to BS EN 771-1.

Hand made Red Brick Imperial 253


IMPERIAL
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IMPERIAL272

Exclusive high quality soft red handmade bricks, with subtle colour variations and slight creasing or 'amiblar' on the faces.

Available in
Imperial sizes 58 x 228 x 102mm
and metric size 65 x 235 x 102.5mm

Genuinely handmade
Sustainable supply for ongoing projects
manufactured to BS EN 771-1 (CA1 s5)





Larch wood and red metal cladding

Condition 7 – Trees: retained and protected on site

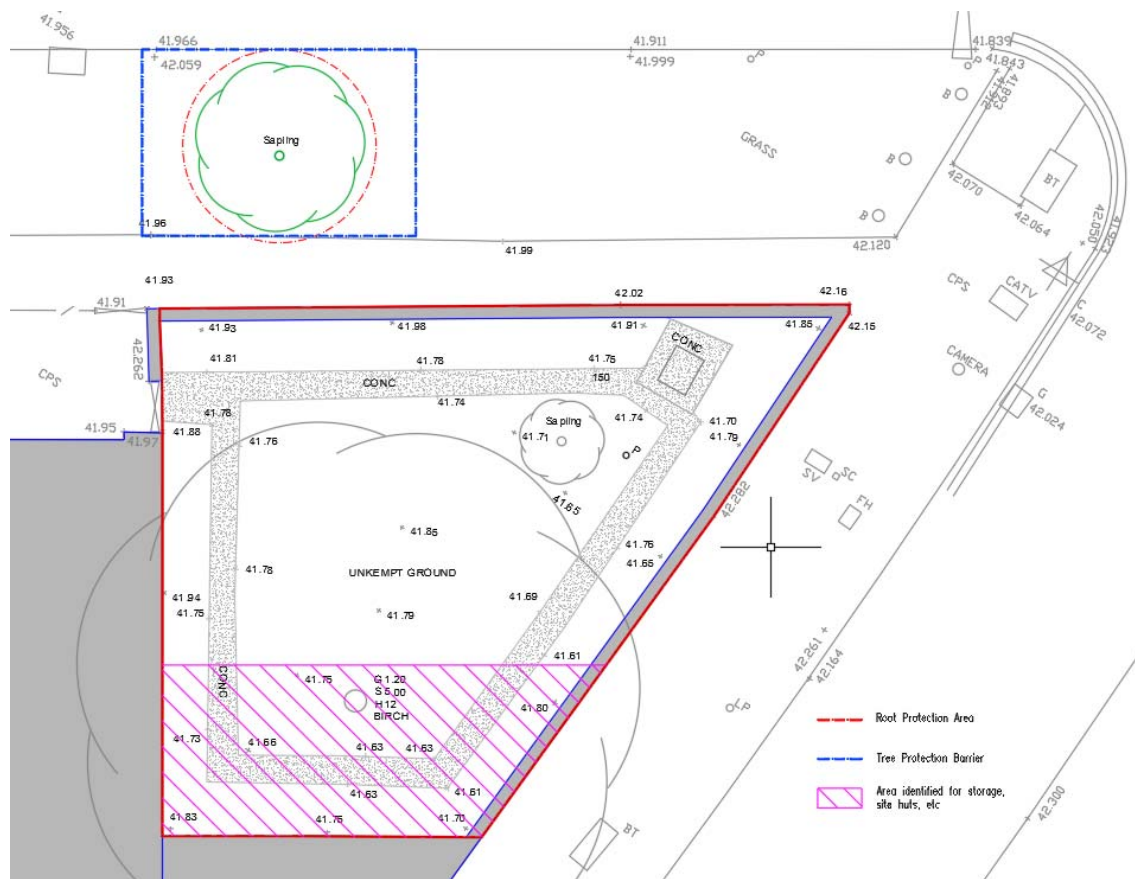
Prior to the commencement of any works on site, details demonstrating how trees to be retained shall be protected during construction work shall be submitted to and approved by the local planning authority in writing. Such details shall follow guidelines and standards set out in BS5837:2012 "Trees in Relation to Construction". All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017.

In Response to Condition 7

As per document Condition 7 - Tree Protection Area, details have been submitted to demonstrate how trees to be retained will be protected during construction work, following guidelines and standards set out in BS5837:2012 "Trees in Relation to Construction".

This sets out details about how the subject tree will be protected according to current standards and the mitigation measures that will be adopted.



Condition 8 – Landscape: details to be submitted

No development shall take place until full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing. [Such details shall include details of any proposed earthworks including grading, mounding and other changes in ground levels.] The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policies A2, A3, and D1 of the London Borough of Camden Local Plan 2017.

In Response to Condition 8

As per Drawing UK 144-PC-02 R0 Landscape Plan, full details have been submitted to show hard and soft landscaping and means of enclosure of all unbuilt open areas. This includes species and height of tree planting and shrubs, as well as proposed drainage layouts.

For the refuse storage, please refer to the approved drawing for the bin store and bike store, Drawing UK 144-P-12 R1.

There are no earthworks, grading, mounding or other changes in ground level proposed.

As seen on the landscaping drawing, the proposed landscaping scheme provides accordance with Council Local Plan policies A1, A2, A3, CC2, C1, D1, Camden Planning Guidance on Trees and London Plan Policies G5 and G6. Examples of these measures are;

1) Semi mature 3-4m trees:

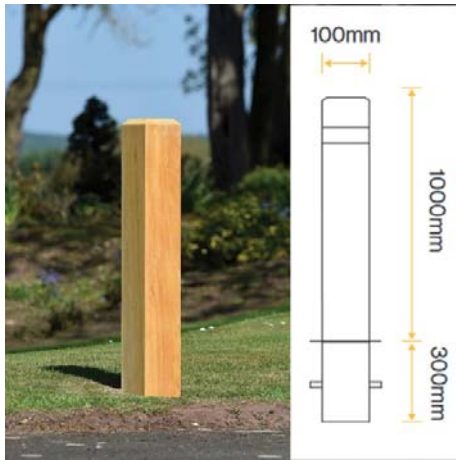


Prunus avium Plena (3-4m) Wild cherry



Betula Pendula (3-4m) Silver birch

2) **Bollard fence and gate**



Solid Larch 100 x 100mm bollard

3) **Paving:**



Marshalls permeable paving

4) **Secure, covered bike store**



Aasgard secure covered bike store
182.88cm W X 91.44cm D X 139.7cm H. Ivory colour

Condition 9 – Landscape: to be carried out

All hard and soft landscaping works shall be carried out in accordance with the approved landscape details by not later than the end of the planting season following completion of the development or any phase of the development, whichever is the sooner. Any trees or areas of planting (including trees existing at the outset of the development other than those indicated to be removed) which, within a period of 5 years from the completion of the development, die, are removed or become seriously damaged or diseased, shall be replaced as soon as is reasonably possible and, in any case, by not later than the end of the following planting season, with others of similar size and species, unless the local planning authority gives written consent to any variation.

Reason: To ensure that the landscaping is carried out within a reasonable period and to maintain a high quality of visual amenity in the scheme in accordance with the requirements of policies A2, A3, and D1 of the London Borough of Camden Local Plan 2017.

In Response to Condition CE04A

Noted and accepted.

Condition 10 – Green roof

Prior to commencement of development, full details in respect of the living roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. The details shall include

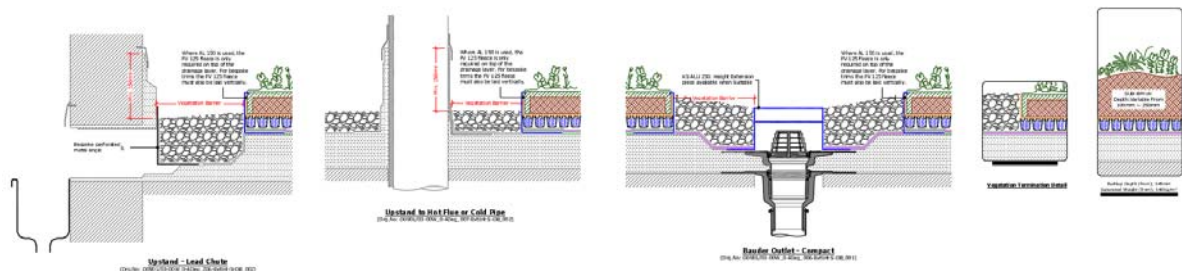
- i. a detailed scheme of maintenance
- ii. sections at a scale of 1:20 with manufacturers details demonstrating the construction and materials used
- ii. full details of planting species and density

The living roofs shall be fully provided in accordance with the approved details prior to first occupation and thereafter retained and maintained in accordance with the approved scheme.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies G1, CC1, CC2, CC3, D1, and A3 of the London Borough of Camden Local Plan 2017.

In Response to Condition 10

A detailed Scheme of Maintenance has been submitted for a Bauder XF301 Lightweight Sedum System along with Sections @ 1:5 & 1:10 of manufacturer's details demonstrating the construction and materials, planting species and density.



Condition 11 – Flat roof not to be used as terrace

The flat roofs of the building hereby approved shall not be used at any time as amenity space, and any access out onto this area shall be for maintenance purposes only.

Reason: To safeguard the amenities of the adjoining neighbours in accordance with the requirements of Policy A1 of the London Borough of Camden Local Plan 2017.

In Response to Condition C11

Noted and accepted.

Condition 12 – ASHP active cooling disabled

Prior to first use of the air source heat pump hereby approved, the active cooling function shall be disabled on the factory setting and the air source heat pump shall be used for the purposes of heating only.

Reason: To ensure the proposal is energy efficient and sustainable in accordance with Policies CC1 and CC2 of the London Borough of Camden Local Plan 2017.

In Response to Condition C12

Noted and accepted.

Condition 13 – Contaminated land

No development shall commence until:

(a) a preliminary risk assessment report is submitted to and approved in writing by the local planning authority. This report shall comprise: a desktop study which identifies all current and previous uses at the site and surrounding area as well as the potential contaminants associated with those uses. A conceptual site model should be produced indicating potential pollutant linkages between sources, pathways and receptors, including those in the surrounding area and those planned at the site; and a qualitative risk assessment of any potentially unacceptable risks to identified receptors. All works must be carried out in compliance with LCRM (2020) and by a competent person.

Subsequent parts are subject to the findings of the desk study:

(b) No development shall commence until a site investigation is undertaken and the findings are submitted to and approved in writing by the local planning authority.

The site investigation should assess all potential risks identified by the desktop study and should include a generic quantitative risk assessment and a revised conceptual site model. The assessment must encompass an assessment of risks posed by radon and by ground gas. All works must be carried out in compliance with LCRM (2020) and by a competent person.

(c) No development shall commence until a remediation method statement (RMS) is submitted to and approved in writing by the local planning authority. This statement shall detail any required remediation works and shall be designed to mitigate any remaining risks identified in the approved quantitative risk assessment. This document should include a strategy for dealing with previously undiscovered contamination. All works must be carried out in compliance with LCRM (2020) and by a competent person.

(d) Following the completion of any remediation, a verification report demonstrating that the remediation as outlined in the RMS have been completed should be submitted to, and approved in writing, by the local planning authority. This report shall include (but may not be limited to): details of the remediation works carried out; results of any verification sampling, testing or monitoring including the analysis of any imported soil and waste management documentation. All works must be carried out in compliance with LCRM (2020) and by a competent person.

Reason: To ensure the risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors, in accordance with policies G1, D1, A1, and DM1 of the London Borough of Camden Local Plan 2017.

In Response to Condition C13

A Preliminary Risk report for Contamination has been prepared by Gosolve Contaminated Land Surveyors and Specialists. The report finds:

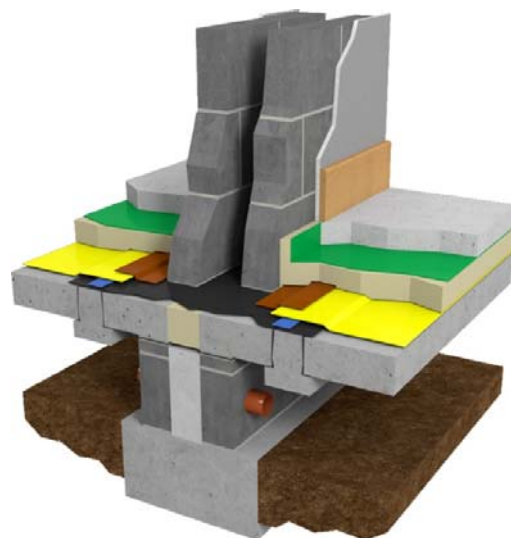
- No evidence of contamination issues associated with the site.
- No source-pathway-receptor linkages have been identified requiring further investigation
- Very low potential for ground gas generation. As a precautionary measure, a gas membrane is part of the proposal, in conjunction with a beam and block floor and ventilated cavity.

Proposed Beam and block floor over ventilated cavity

- Min 150mm ventilated cavity below the beam and block ground floor
- Min of 1500mm/m² of cross ventilation to cavity to be provided.
- Gas membrane over beam and block floor
- Meets requirements of BS 8485:2015+A1:2019 Table 7 Gas protection score for the gas resistant membrane
- Meets requirements of BS 8485:2015 Table F.8 Combinations of measures to provide a gas protection solution for different types of building at Site A

Gas membrane specification

Visqueen Low Permeability Gas Membrane complies with new BBA regulations for radon protection membranes in line with BS8485:2015+A1:2019. The membrane is a high performance radon, carbon dioxide and methane protection membrane positioned within the ground floor construction either above or below the structural floor slab. (Pls see attached technical sheets)



Radon, carbon dioxide and methane protection – NHBC NF94 guidance:

Visqueen Gas Membrane when installed with either taped or welded joints complies with NHBC Foundation's NF94 publication, Hazardous ground gas - an essential guide for housebuilders, in Type A membrane locations in cast in situ monolithic reinforced ground

bearing rafts and reinforced cast in situ suspended floor slabs with minimal penetrations. It also complies with this guidance when installed with welded joints in Type B membrane locations in cast in situ monolithic reinforced ground bearing rafts and reinforced cast in situ suspended floor slabs with minimal penetrations.

Carbon dioxide and methane protection – NHBC Traffic Light System:

Visqueen Gas Membrane is suitable to prevent the ingress of harmful levels of ground gases for housing applications where NHBC are the warranty provider and the site has been classified as Amber 1. In this application, the membrane is used above a precast suspended segmental subfloor, e.g. beam and block floor.

Condition 14 – Drainage and discharge

Prior to commencement of development, full details of the sustainable drainage system shall be submitted to and approved in writing by the local planning authority. Such a system should be designed to accommodate all storms up to and including a 1:100 year storm with a 40% provision for climate change such that flooding does not occur in any part of a building or in any utility plant susceptible to water, or on any part of the entire development site for up to and including a 1:30 year storm. The details shall demonstrate a site run-off rate conforming to the greenfield run-off rate or as close as practically possible will then be approved by the Local Planning Authority. An up to date drainage statement, SuDS pro-forma, a lifetime maintenance plan and supporting evidence should be provided including:

- a) The proposed SuDS or drainage measures including storage capacities
- b) The proposed surface water discharge rates or volumes

Systems shall thereafter be retained and maintained in accordance with the approved details.

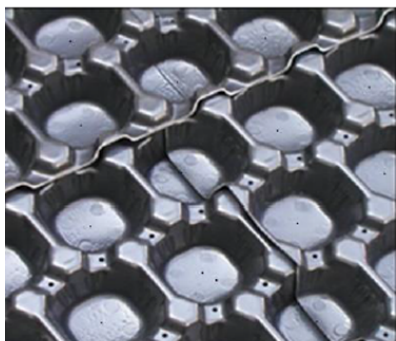
Reason: To reduce the rate of surface water run-off from the buildings and limit the impact on the storm-water drainage system in accordance with Policies CC2 and CC3 of the London Borough of Camden Local Plan and Policy SI 13 of the London Plan 2021

In Response to Condition C14

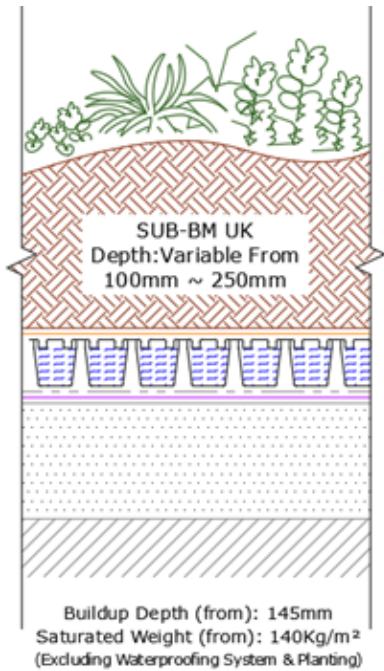
Full details for the sustainable drainage system have been submitted, and designed to accommodate all storms up to and including a 1:100 year storm with a 40% provision for climate change.

Roof attenuation:

45% of the site is covered with a drainage and attenuation board (Bauder RE40) under all green roof areas.



PRODUCT INFORMATION AND TECHNICAL PERFORMANCE			
Characteristic	Test method	Unit	Value
Length	EN 1848-1	m	2.03
Width	EN 1848-1	m	1.04
Thickness	EN 1849-1	mm	2
Depth	EN 1849-1	mm	40
Approximate Coverage		m	2
Size of micro weep hole		mm	Less than 1
Weight (dry)	EN 1849-1	kg	1.8
Weight (saturated)	EN 1849-1	kg	15.3
Water holding Capacity		L	13.5
Filling capacity (for Mineral Drain)		L	21
Contact Surface of Underside		%	42
Compressive Strength when empty	EN 1849-1	KN	80
Compressive strength when filled with Bauder Mineral Drain		KN	1,000
Material			100% Recycled high density polyethylene
Packaging			Interlocked loose laid on pallets
Storage			During prolonged storage avoid direct sunlight



The RE40 Drainage and attenuation board has water retention and storage capacity of 13.5litres/m², or 497 litres across the green roof areas.

Ground surface attenuation:



Permeable paving in the courtyard area allows some infiltration of the water into the ground.

Use Marshalls Drivesett Agent Piora 240 x 160 / 160 x 160 / 80 x 160 project pack.

Subbase: 150 – 200mm deep of 4-20mm clean crushed stone

Base: 50mm deep of 6mm clean crushed stone

Finish: Blocks on top

2-6mm clean crushed stone brushed between joints

In ground attenuation:

An in-ground attenuation system is proposed as per Dwg 144-PC-08, comprising of 6 units of Polypipe Permavoid 150, providing Attenuation Storage 1.062m x 0.708m x 0.300m
1 in 100 year + 40%CC.

