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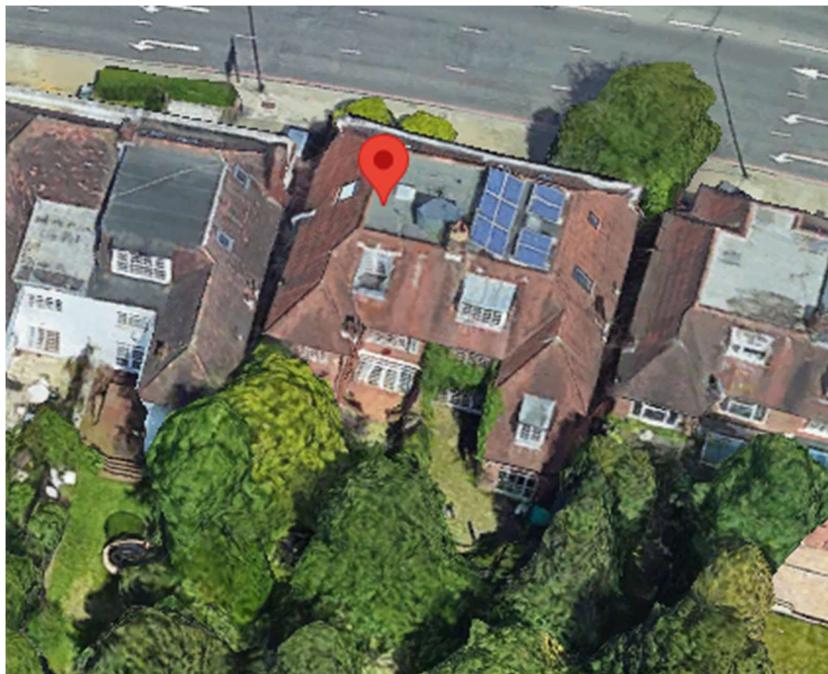
15th April 2024

Dear Sir/Madam,

Application for a Certificate of Lawful Development at 603 Finchley Road NW3 7BS

Please find attached the above application. The application site is a semi-detached house to the west side of the Finchley Rd. It is not within one of the Borough's Conservation Areas.

The proposal is for a single storey rear ground floor extension (depth 5m, width 3.765m and height 2.6 to 3.38m), Dormer extensions to the side and rear roof and the insertion of two Velux windows in the front roof slope. Please see attached drawings.



A Prior Approval was made in connection with the ground floor extension proposals (2023/5176/P) and was assessed as "Prior Approval Not Required".



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In addition to the aspects already assessed it is noted that the materials proposed will match the existing house.

The existing roof structure includes an inset balcony, but there are no existing extensions to the roof thus we believe the extension qualifies as Permitted Development under the terms of the GPDO (2015 as amended) being less than 50 cubic meters (see below), below the highest point of the original roof, set in from the eaves by 200mm and proposed to be finished in materials similar to the existing house.

inset balcony			1.76 x	1.71 x	0.81	=	2.438 m3
			1.76 x	1.71 x	1.785	/2 =	2.686 m3
							5.124 m3
Dormer wrap	Vol 1		4.89 x	2.555 x	2.485	/2 =	15.524 m3
	Vol 2		5.875 x	2.585 x	2.515	/2 =	19.097 m3
	Vol 3	2x (2.585 x	2.555 x	2.515)	/3 =	11.074 m3
subtract rear gable		(3.88 x	1.925 x	1.905)	/3 =	4.743 m3
Total extension (Vols 1,2,3 plus inset minus gable)							46.076 m3

NB It is not clear if the inset balcony is an original feature, it may well be a later modification, but has been included here as if original to avoid any doubt.

Please don't hesitate to contact us if you need any further details or clarification.