

17 Dartmouth Park Avenue

**Non-material Planning Amendment
(2023/1650/P)
27/02/24**

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01 Planning Amendments

Summary of Changes

A planning application for 17 Dartmouth Park Avenue (2023/1650/P) was submitted on 20/04/23. Permission for this scheme was GRANTED on 17/10/23. This subsequent application outlines small amendments to the approved design;

1. Northern Elevation Sash Window.
The sash window on the North facade of the house has been shifted from the Ground floor Kitchen to the First floor Bathroom. It has now also become smaller to match the size of the existing traditional fenestrations on that facade.

2. Extensions.
The glass blocks on the North facade of the rear extension and South facade of the side extension have been amended to clear glazing. The approved metal capping to both extensions has increased in thickness to become a small metal fascia.

3. The small side storage shed.
The shed to the north facade of the house has been revised, however it remains the same overall footprint that was granted planning. It has now become slightly narrower and has a small material change.

The following 3 pages of this document set out the proposed changes to the design. This document accompanies the amended drawings for the application which show the proposed changes in all of the drawings.

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Northern Elevation Sash Window

The sash window on the North facade of the house has been shifted. Previously, it was located in the Ground floor kitchen walk-in storage unit. This is highlighted in dashed orange in Figure 1.

The sash window is now relocated to the First floor Bathroom, which previously did not have any source of natural light. In addition, the opening height has reduced from 2.3m to 1.9m whilst its width remains the same. This aligns the proportion and size of the new sash window to the existing traditional fenestration of the house on this facade. The new position and size of the sash window is highlighted in dashed pink in Figure 2.

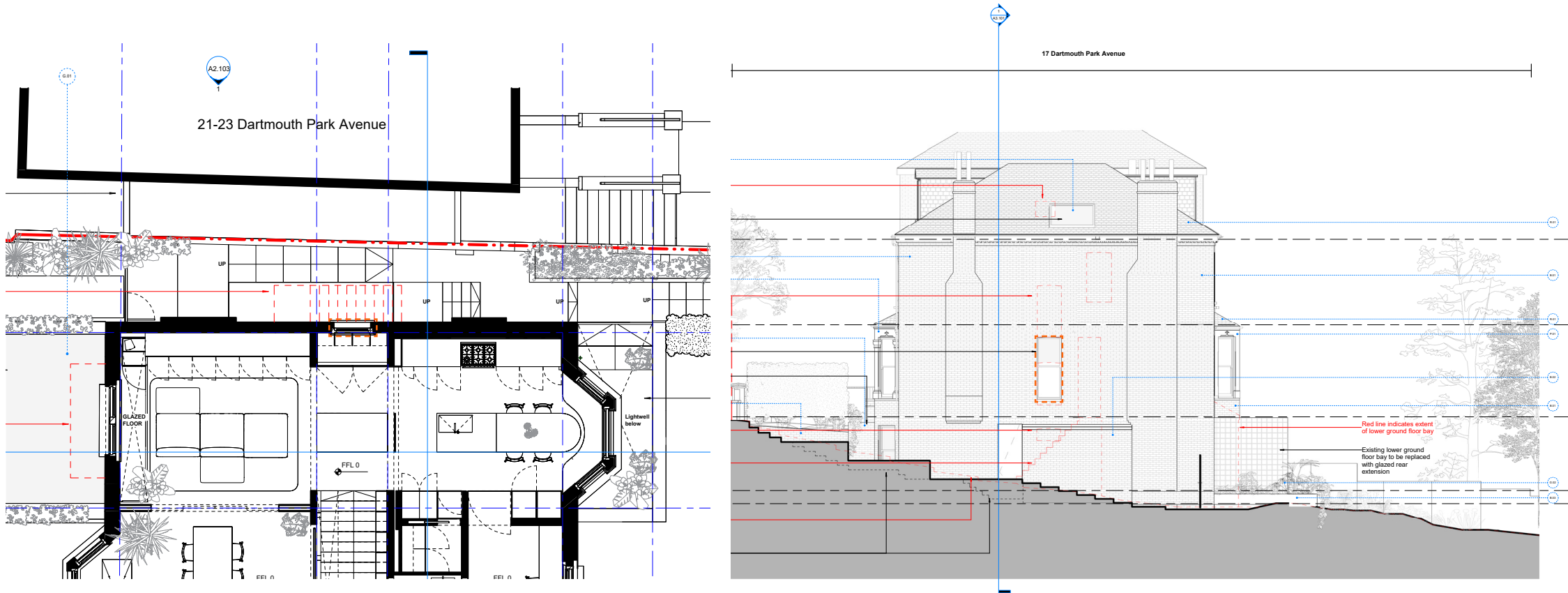


Figure 1 - Previous Ground Floor Plan and North Elevation with sash window located in walk-in kitchen storage unit

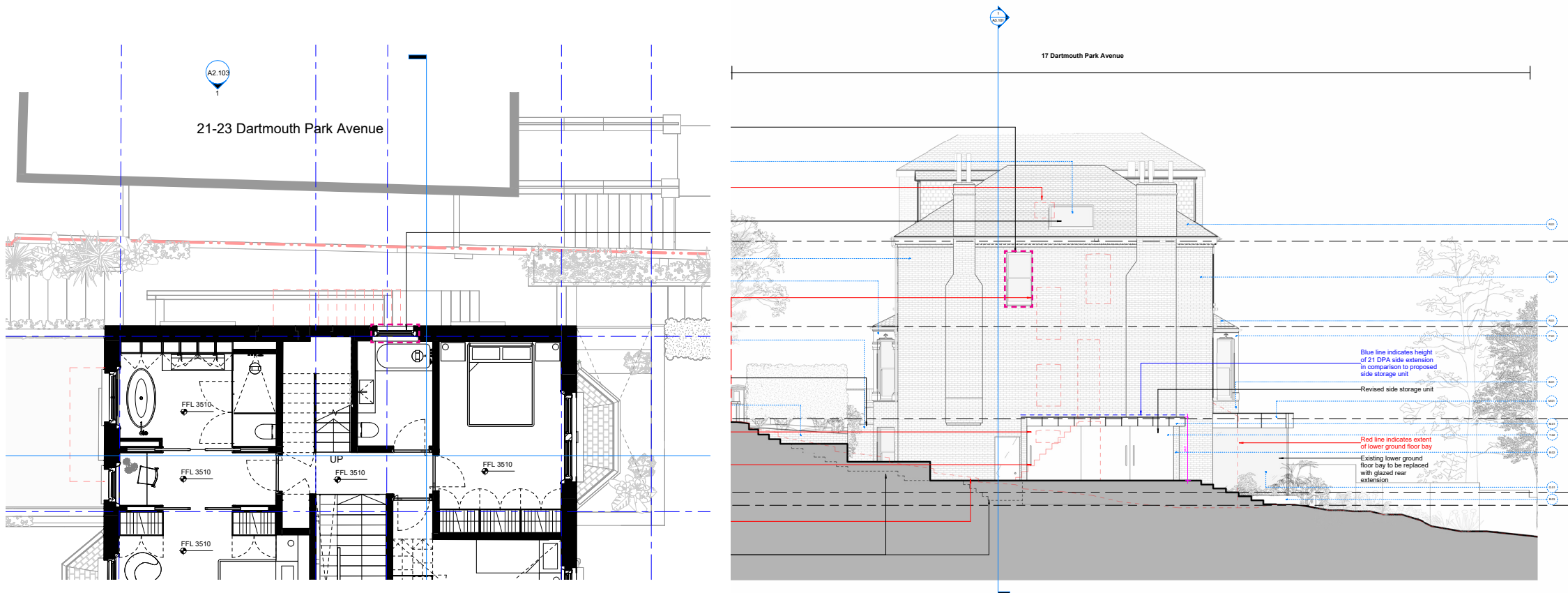


Figure 2 - First Floor Plan and North Elevation with revised sash window location in Bathroom

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Side and Rear Extension Material Updates

The glass blocks previously used in the side and rear extensions have been changed to glazing. These are marked as G.01 on the accompanying drawings. The revised areas of glazing can also be seen highlighted in dashed light blue in Figure 4.

In addition, metal fascias have been slightly increased in height for both extensions. These are marked as M.01 and are seen highlighted in dashed green in Figure 4. The metal will be dark grey inkeeping with the existing house and its' garden's masonry walls.

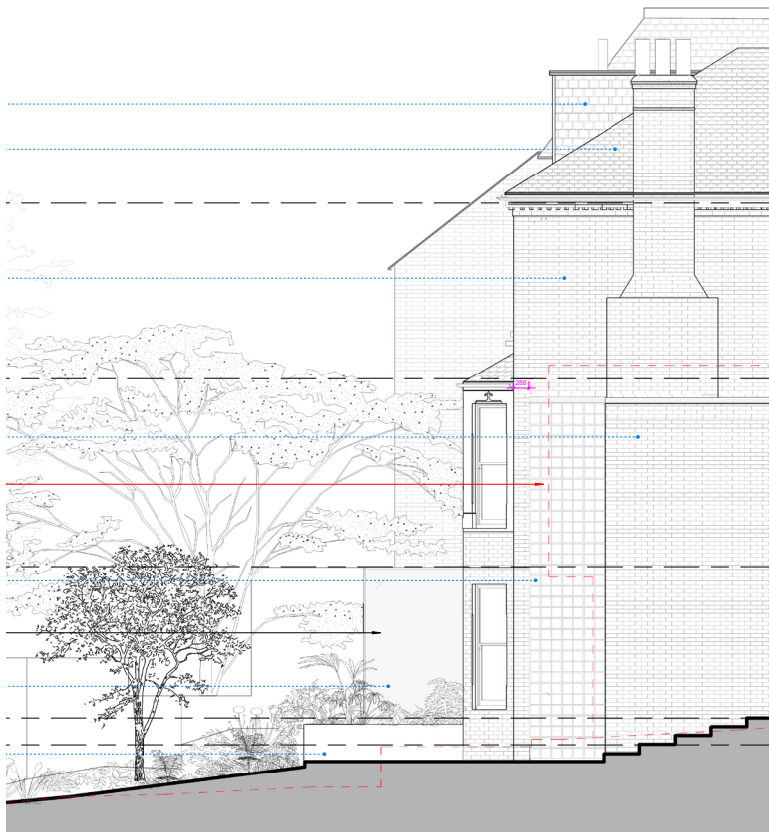


Figure 3 - Previous South Elevation with fully glazed extensions and glass block facade

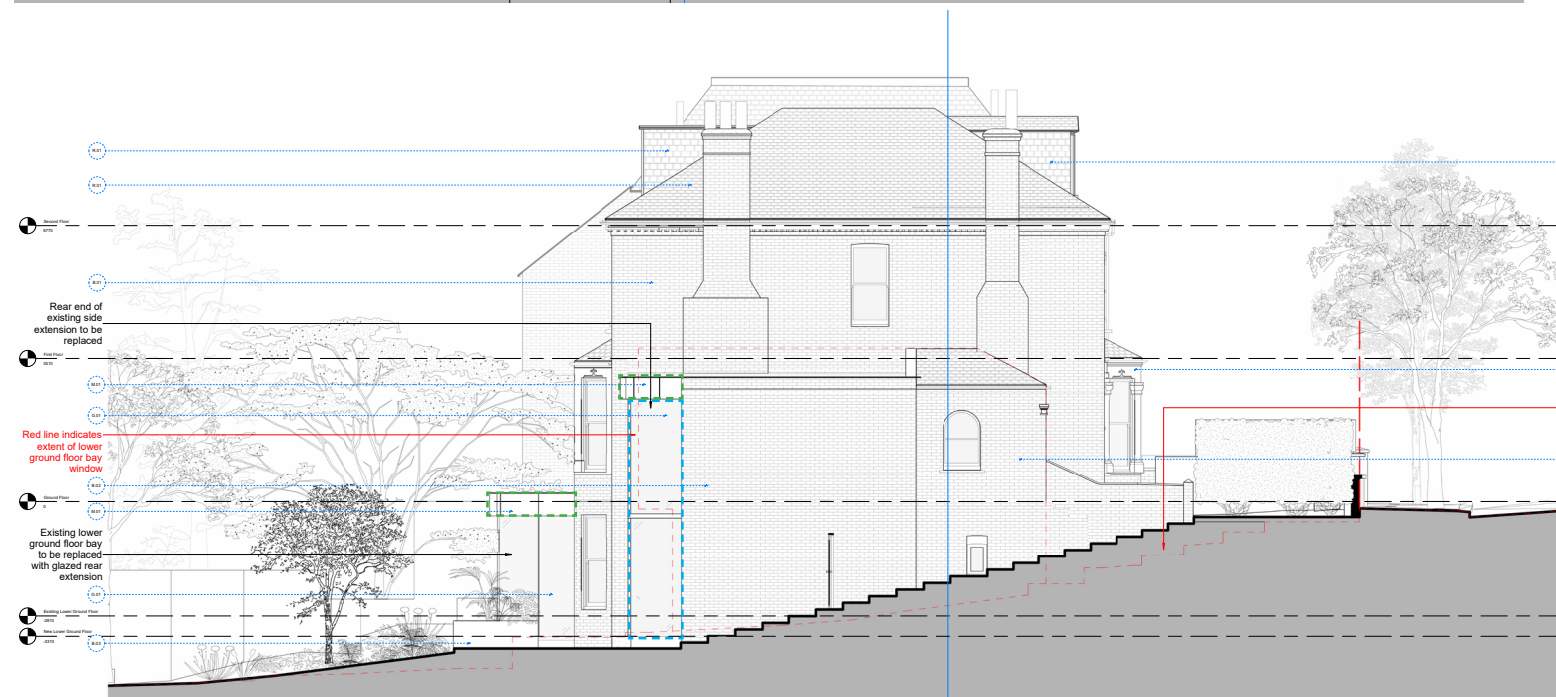
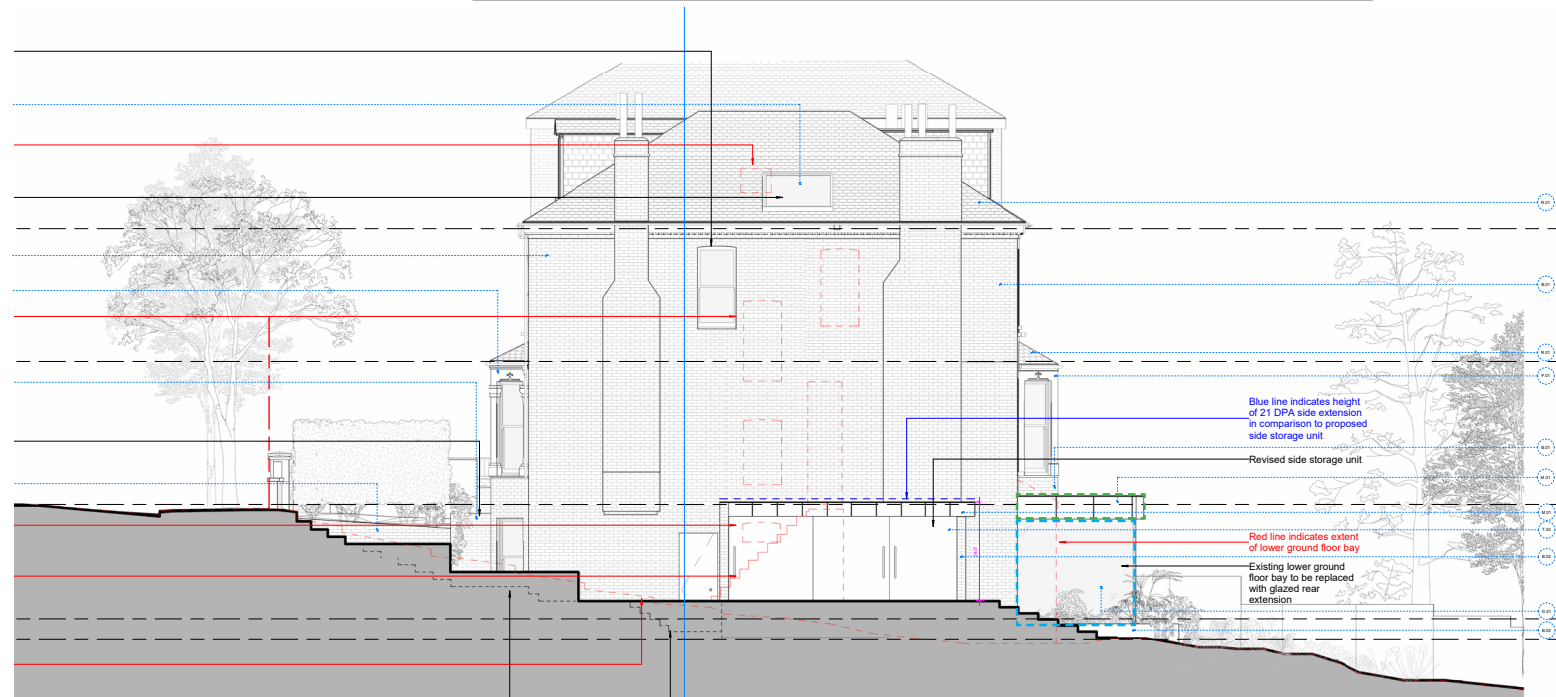


Figure 4 - Proposed West, North & South Elevations with material amendments for side and rear extensions

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Proposed Side Storage Shed Updates

The side storage has been revised. Previously, the storage consisted of a single door entrance located adjacent to the external side door accessible from the New Lower Ground Floor level. This is highlighted in dashed orange in Figure 5.

The revised storage consists of two side-by-side units accessible from the adjacent passageway with sliding doors. Despite a change in width and depth, its overall footprint remains the same as what was granted planning. The adjacent passageway and steps have been rearranged to accommodate this new layout. This updated massing can be seen highlighted in dashed pink in Figure 6.

A small metal fascia has been introduced to the side storage (marked as M.01), in keeping with the design of the rear and side extensions. The sliding doors comprise dark-stained timber veneer (marked as T.02) to match the natural and calm material palette of the back garden. The brick piers of the storage (marked as B.02) match the brick walls of the existing house.

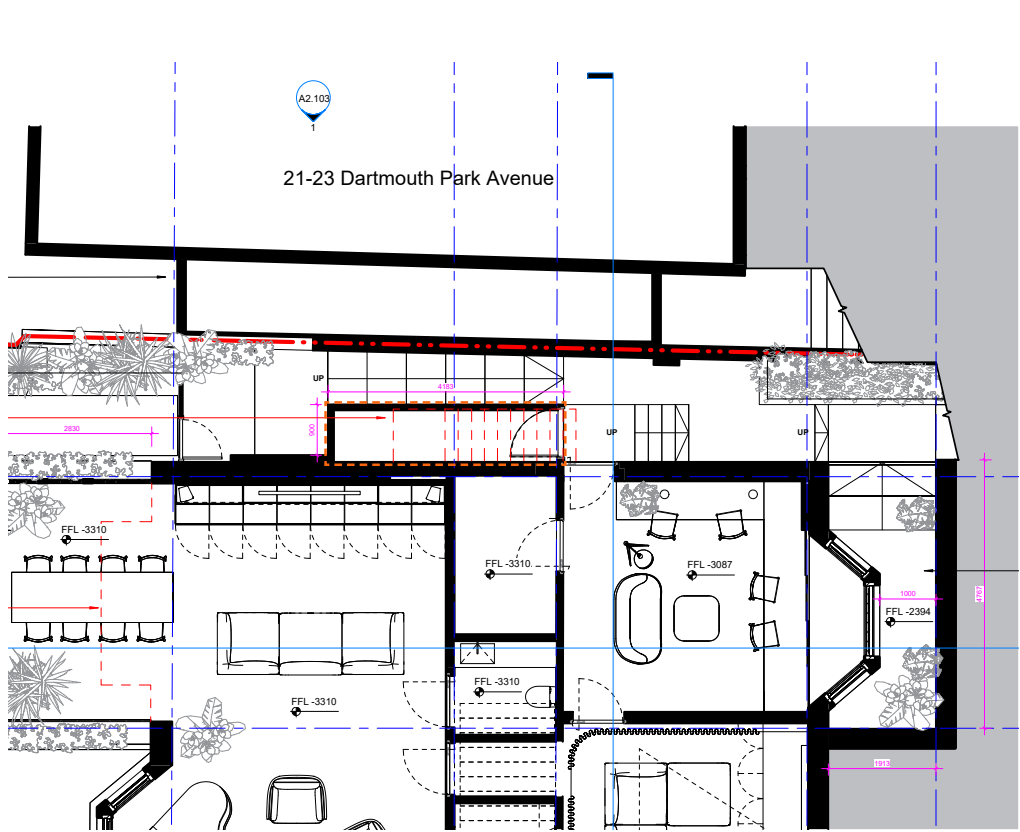


Figure 5 - Previous Lower Ground Floor Plan and North Elevation

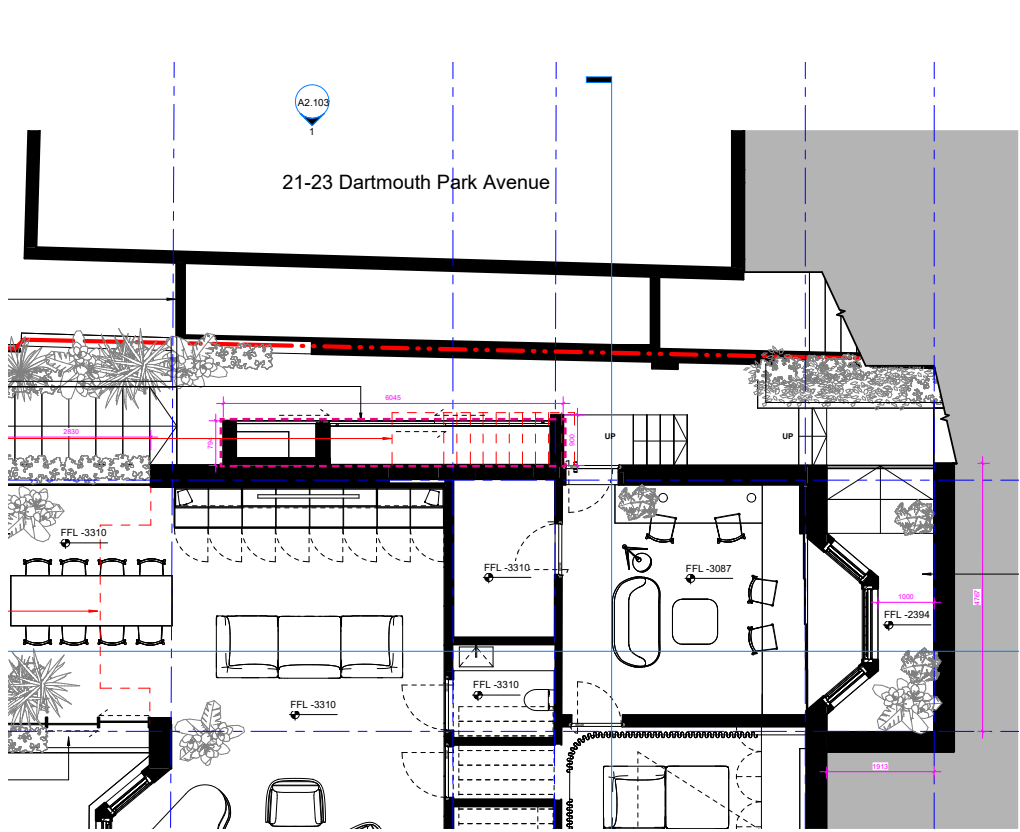


Figure 6 - Lower Ground Floor Plan and North Elevation with revised side storage unit

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