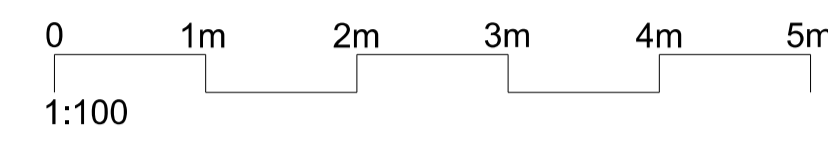


This drawing is not to be scaled for anything other than planning purposes only. It is not to be used for building regulations or construction purposes. All dimensions are to be confirmed on site. Architect to be informed of any discrepancies before any action is taken. This drawing is copyright © Smith & Newton Architects Ltd.

REV DATE	ISSUED BY - CK	DESCRIPTION
01	21.08.23 DN CS	Post Pre-App update
02	31.08.23 DN CS	Post Pre-App update
03	05.09.23 DN CS	Post Pre-App issue
04	12.10.23 DN CS	Updated Pre-App issue
05	15.12.23 DN CS	Updated Pre-App issue
06	19.01.24 DN CS	Updated Pre-App issue
07	28.03.24 AA DN	Planning Issue



NOTES

DRAWING KEY

- Site Boundary Approximate
- Habitable Rooms
- Bathrooms / Shower / WC's
- Access / Utility
- Storage
- Refuse / Recycling & Cycle Store
- Porous Paved Areas
- Outdoor Amenity (Porous Paving)
- Planted Areas

Area Schedule

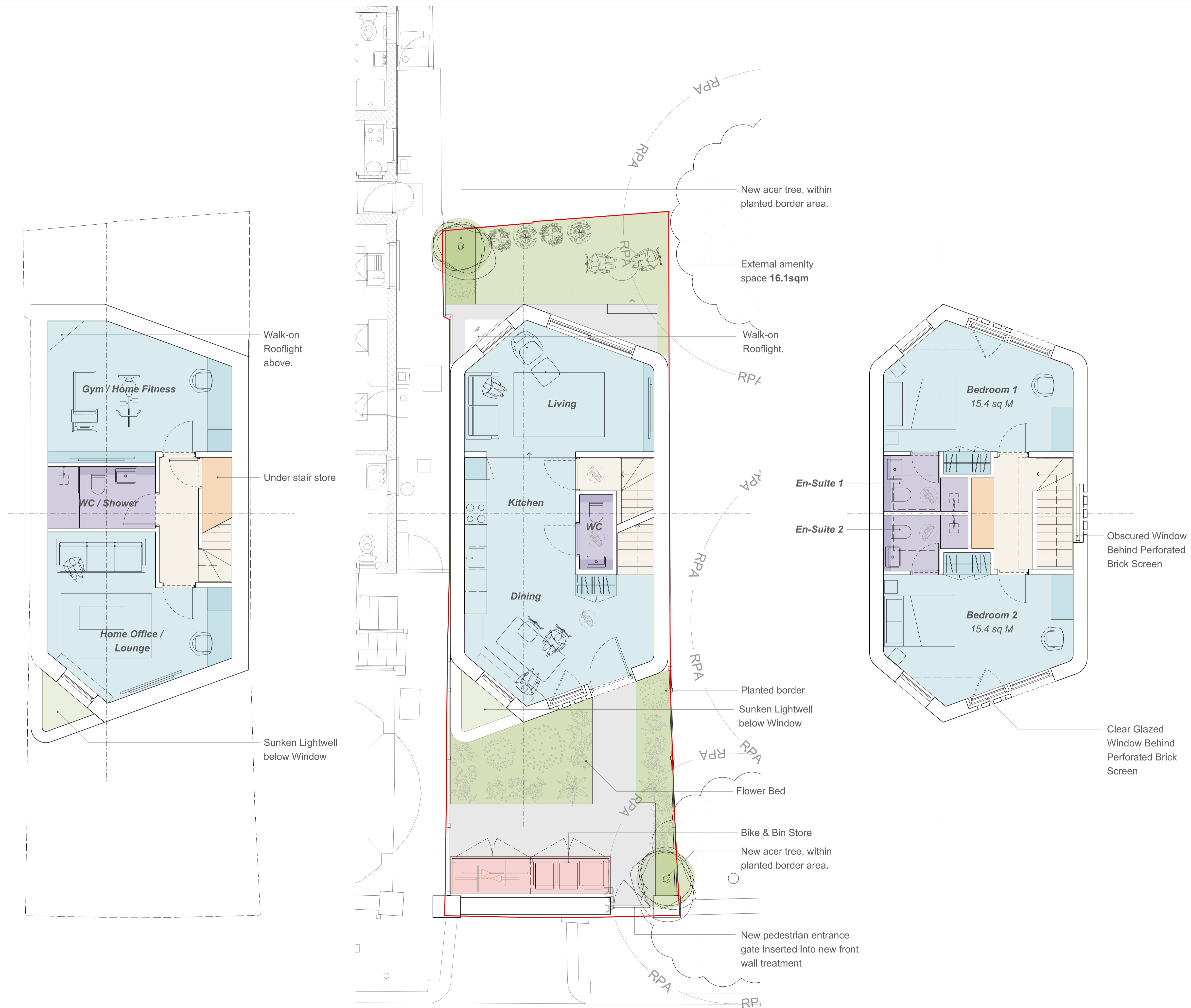
GIA Approx

Level 01	46.1 sqM / 496.2 sqFt
Level 00	46.1 sqM / 496.2 sqFt
Level -01	45.4 sqM / 488.7 sqFt
Total	137.6 sqM / 1,481 sqFt

All existing drawings & information based on measured survey drawings provided by ABA Surveys Ltd received 22.12.22 & 09.01.23

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Project: **NETHERHALL** Site Address: Land Adjacent to No.63 Netherhall Gardens London, NW3 5RE
 Drawing Title: **GA Plans Matrix Proposed**
 Status: **Planning** Scale(s) at A3: **1:100**
 DRAWING: **0736-03-0250** REVISION: **07**



LOWER GROUND FLOOR
Level -01

GROUND FLOOR
Level 00

FIRST FLOOR PLAN
Level 01