

Design and Access Statement for Proposed Air Conditioning Installation

86 Cromer Street, London, WC1H 8DG

Dental Practice / East Village Dental Ltd.



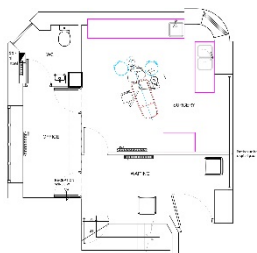
88 - Shop (vacant)

86 - Dental Practice

Front / Cromer St. View

Design

A dental practice has existed on this site for many years. East Village Dental acquired the practice in 2021 upon the retirement of the previous dentist. It was then a single surgery practice that hadn't been refurbished for a number of years and lacked current regulatory patient and sterilisation facilities. The practice was redesigned as a 2-surgery practice in 2022 reflecting current standards to accommodate local demand facilitating reduced patient appointment waiting times.



Plan - The Original Single Surgery Practice – overlarge surgery lacking facilities

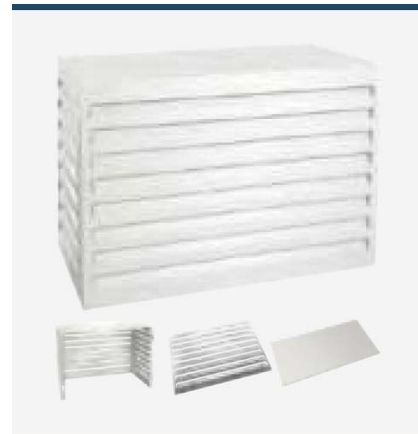
The 2022 redesign provided 2 Surgeries, Accessible Disabled WC and X-ray Facilities on the Ground Floor and on the Lower Ground Floor, Sterilisation, Office and Staff Facilities. The achievable size of new surgeries was 2 metres wide x 3.5 metres long and are both workable but challenging. Mechanical ventilation was installed but for Dentist, Nurse and Patient comfort Air Conditioning will increase well being and positivity as the working day wears on. The Lower Ground floor office would also benefit from AC. There are no openable windows to either of the surgeries or basement office to allow passive cooling

These 3 internal wall mounted AC units would all be run from a single multi-split unit located in the rear courtyard at Lower Ground level within a louvred acoustic enclosure as recommended by the Noise Impact Assessment, the size of which accommodates the proposed outdoor AC Unit. The AC would be set to run only from 1 hour before Dental Practice opening time and be switched off at closing time (08.00 – 17.00) not at weekends or Bank Holidays.



Rear View

AC Unit location, housed within EVO-COVER Acoustic Enclosure Ref: 7435115514549 finished in White Aluminium to match colour of existing surrounding materials to meet insulation requirements as per Section 6.2 of Noise Impact Assessment.



The Acoustic Enclosure is located to avoid conflict with either the gate from flats staircase. (this gate access to courtyard only and is not a fire escape) or the rear door to the currently vacant shop (No 88) which opens inwards.

Access

Access for maintenance would be via Dental Practice under the applicant's supervision.