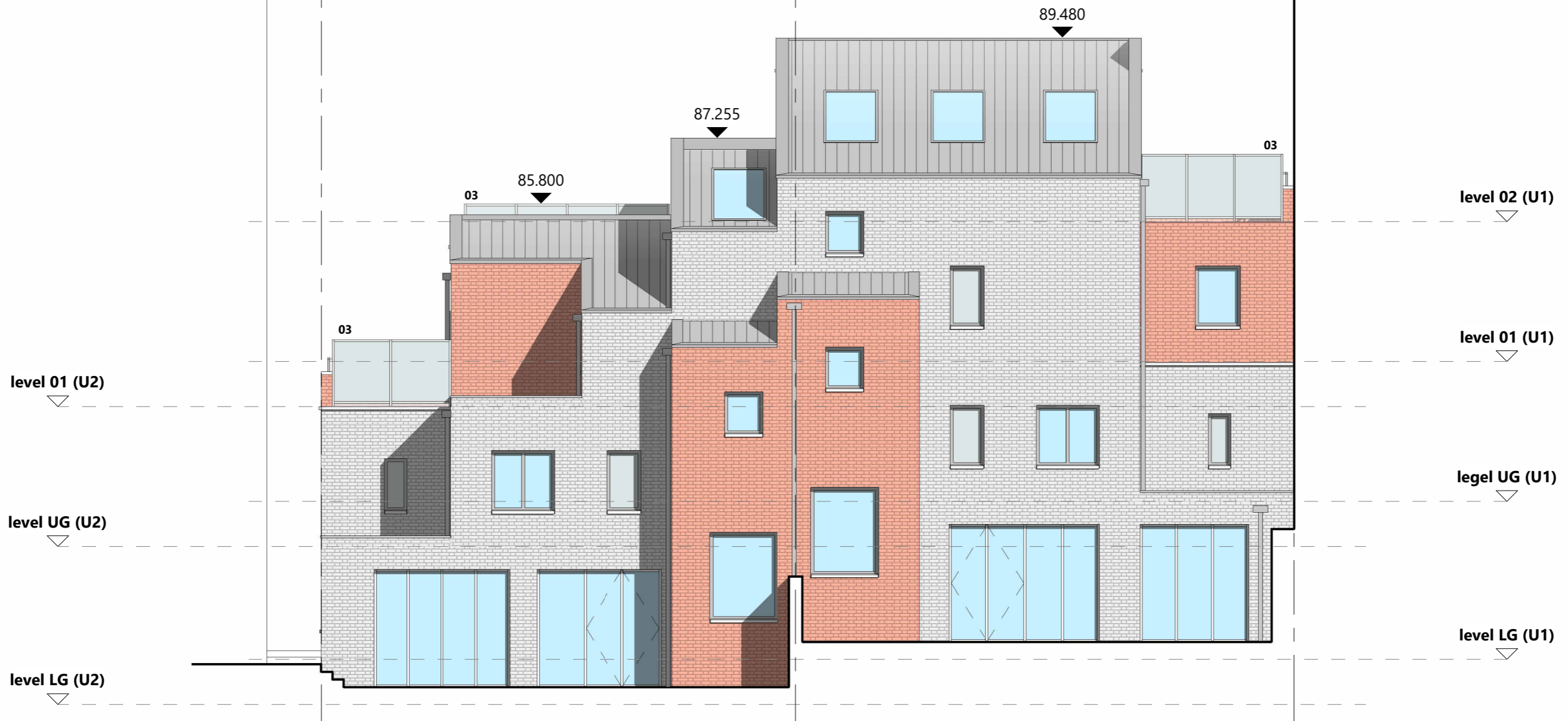


key plan

A

B

C



01 GA Elevation - South
1 : 100



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Do not scale from this drawing.
Use figured dimensions only.

- residential - unit 01, GIA 263m²
- residential - unit 02, GIA 202m²
- amenities
- retained car parking space for 1 Frognal Lane (on Long Leasehold)
- retained car parking space for 3 Frognal Lane (on Long Leasehold)
- retained car parking space
- frosted glass
- glass
- assumed site boundary
- main entrance

- 01** bin storage per dwelling containing at least:
120L for general waste or 'refuse'
140L for mixed dry recycling
23L of food waste
- 02** cycle storage per dwelling:
4no. of enclosed cycle spaces
- 03** privacy screen (min. 1.5m high)
- 04** green privacy screen (min. 1.5m high)
- 05** rooflight at high level
- 06** window at high level
- 07** roof area
- 08** planter

P02	15/03/24	planning issue	JV	TB
P01	01/03/24	planning issue	JV	TB
Rev:	Date:	Description:	Drwn by:	Chkd by:

Status:	S2 - Information
Revision:	P02
Dwn by:	JV
Ckd by:	TB
Scale:	1 : 100
Page:	A3
Project No:	21033V
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Client:	Pollyshire Ltd
Project Name:	Frognal Garages
Drawing Title:	GA Elevation - South
Drawing Number:	FGG-TOD-30-ZZ-DR-A-30002