

TODD

Frognal Garages
Design and Access Statement
March 2024

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Design and Access Statement

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Status **Information**

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Revision History

Rev	Date	Description
P01	18/03/24	Planning Issue

Project Team:

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Daylight / Sunlight Consultant **Lumina**



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01 Introduction

The Project

The description of the Proposed Development is set out below:

“Demolition of existing garages and the erection of 2 x dwellinghouses (Class C3), garages, and associated works.”

The Proposed Development seeks the demolition of the existing garages and the delivery of two dwellinghouses which provide high-quality accommodation, better utilising the space which sits between the two 6-storey residential blocks either side of the Site.

The Design Access Statement

This statement is submitted in support of a full planning application. The initial pre-applications gave support in principle for new homes, with reservations around the extent of the basement, internal layouts, and requests for clarification on the daylight / sunlight studies. All the items in question were reviewed and amended if required.



Fig. 1 Visualisation of new homes

The following drawings illustrate the design development through the application process.

Pre-App 001



pre-app 001 - Froggnal Lane perspective view

Pre-App 002

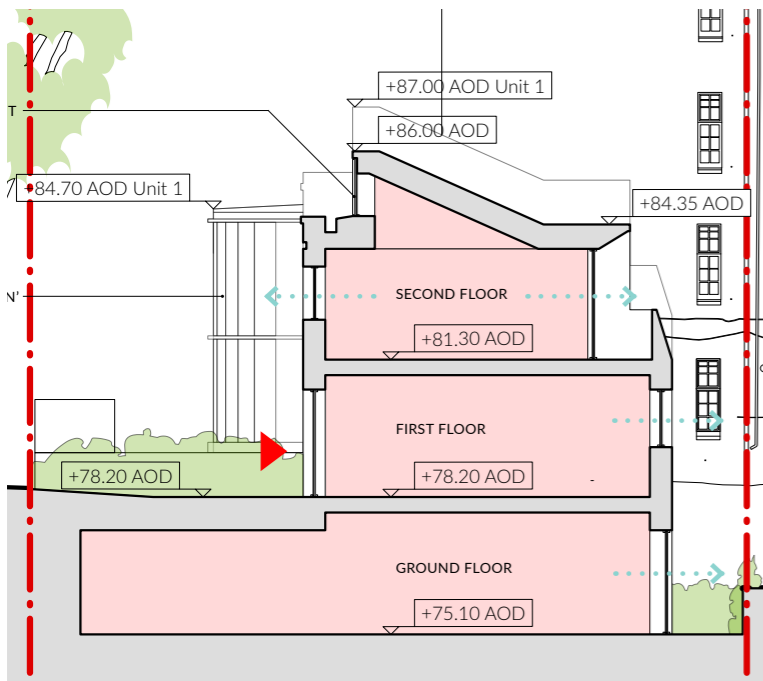


pre-app 002 - Froggnal Lane perspective view

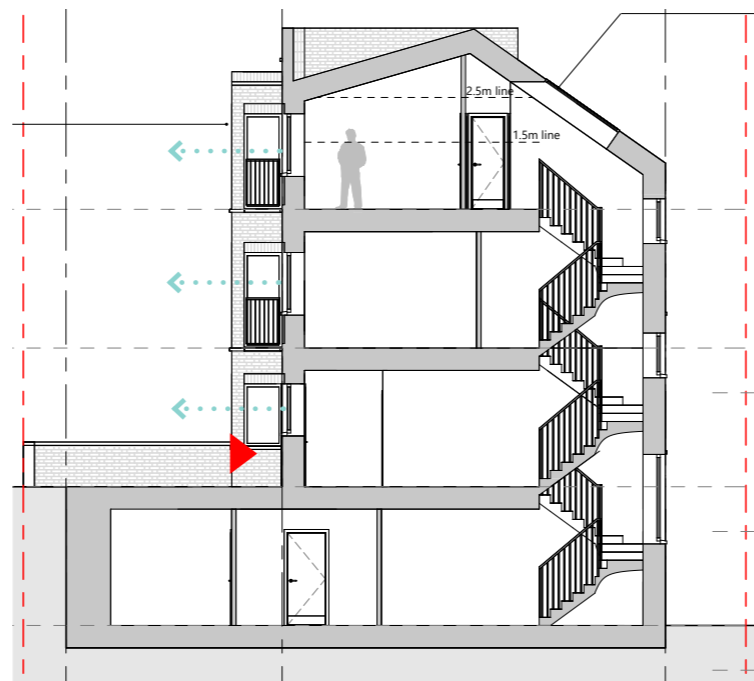
Current Design



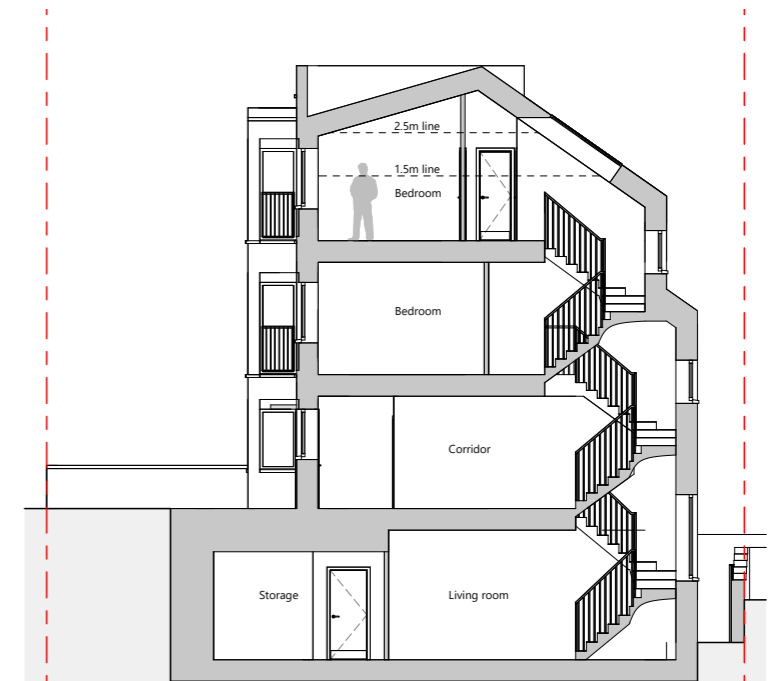
current design - Froggnal Lane perspective view



pre-app 001 - section



pre-app 002 - section



current design - section

Date: 04/10/2022 Ref: 2021/5611/PRE

The updated design reflects a number of comments raised by the case officer at the first pre-application meeting. These were:

01 Quality of Accommodation

Comment

'It would be preferable if the layout to the upper floors was flipped front-to-back, so that the habitable rooms face the front where they would likely receive more light and better outlook.'

Response

Upper floor layout was amended to bring all habitable rooms for the front elevation of the property.

Comment

'It is queried why the staircase is proposed to the front of the unit within the bay, with this part of the property being such a prominent feature to the front elevation'

Response

Staircase has been moved to the rear of the plan, with windows onto the rear elevation.

Comment

'It appears that the retained garages exceed one car-length in depth, and it should be explored whether the depth of the retained garages in use for parking could be reduced'

Response

The garage spaces have been reduced to the minimum acceptable size.

Comment

'There is also concern over whether the two habitable rooms to lower ground floor level to each unit would receive adequate levels of daylight and sunlight.'

Response

Light levels to these rooms have now been measured and adjusted to achieve acceptable levels of lighting. Specific adjustments include, increasing the amount of glazing, introducing a side window, and reducing the overall depth of the bedrooms.

02 Basement Excavation

Comment

*The proposed basement excavation can be assessed against the guidance contained within policy A5, h) not exceed 50% of each garden within the property...'
k) not extend into or underneath the garden further than 50% of the depth of the garden...'*

Response

The basement has been set back by an additional 1m from the previously proposed location, to bring it closer to the guidance.

Comment

The basement construction should . . .m) avoid the loss of garden space or trees of townscape or amenity value.'

Response

Tree report attached.

Comment

A Basement Impact Assessment should be submitted with full planning application.'

Response

A Basement Impact Assessment will be submitted with full planning application.

03 Design and Conservation

Comment

'The chimney detail should be omitted, as it detracts from the simple and clean nature of the proposed design.'

Response

The chimney details has been omitted from the scheme.

Comment

'The garages that are integrated into the two properties (two garages on either side) should be separated into four garage doors instead of showing two double doors, whereby the garages would be read as four single garages rather than two double garages.'

Response

The garage doors have been visually separated and the aesthetic appearance improved by the addition of fenestration and glazing panels.

Comment

'The sides of the bays should be angled rather than being a square projection, which would provide a more traditional appearance in line with the immediate local context.'

Response

The option has been explored and discounted at the present stage. The resulting aesthetic appeared to be a pastiche of the neighbouring houses, rather than a modern interpretation.

Comment

'It is queried why railings are proposed to the bays if they are to be used for circulation, although this would be logical should the internal layout be rearranged so that the bays served habitable rooms and perhaps provided amenity space to serve these rooms.'

Response

Noted, and the railings now form Juliette balconies to bedrooms.

Comment

'No drawings of the rear elevation have been submitted so no comments can be provided in relation to the appearance of the rear of the property.'

Response

Rear elevation drawing and artist's sketch of the design intention is now included within this report.

04 Residential Amenity

Comment

It would be expected that a revised full daylight and sunlight report be submitted with any full planning application ...It is expected that there would be some impact to the lower-level rear windows to Palace Court...'

Response

Daylight and sunlight report attached

05 Transport

Comment

Cycle parking.. The exact storage space should be indicated on proposed drawings to ensure that there is sufficient storage space.'

Response

Noted. Detailed storage space indicated on upper ground floor plan.

06 Refuse and Recycling

Comment

'A bin store appears to be shown on the proposed plans within the front garden and is likely to be of a sufficient size to store the required capacity for waste, however for the avoidance of doubt this should be indicated on drawings with a full planning application.'

Response

Noted, full details to be included in application.

07 Energy and Sustainability

Comment

The Council will require all schemes to consider sustainable development principles from the start of the design process and include these in the Design and Access Statement.'

Response

To be submitted as part of the Design and Access Statement'

Date: 01/02/2024 Ref: 2023/4179/PRE

The updated design reflects a number of comments raised by the case officer at the second pre-application meeting. These were:

01 Principle of Development

Comment

'...retaining four garages does hinder the development potential on site and efforts should be made to ensure this is not lost as a consequence of the design...'

Response

In our view, the development potential is not hindered. When garage is no longer in use, it can be re-developed into residential use and merged with the proposed units. Please see appendix A.

Comment

'...providing a three bed unit but now with a five bed unit but overall the units are much larger and could accommodate more people. What should be looked into is providing two or three bed units which will be more policy compliant and will help with dealing with the site constraints...'

Response

The proposed unit mix provides 3-bed and 4-bed home. This is considered an appropriate mix of sizes, and provides one high priority dwelling. The mix of unit sizes is considered in accordance with policy H7.

02 Design and Heritage Issues

This section expands on concerns regarding retention of four garage spaces and hindered development potential. Alternative development strategies are proposed.

Response

In our view, the development fully aligns with Camden planning policies and the development is beneficial for the site.

03 Basement

Comment

'...h) not exceed 50% of each garden within the property; appears to not comply – excavation under front garden/hard standing appears to extend more than 50% in area, and the extent of excavation should be reduced to comply with this criteria...'

'...k) not extend into or underneath the garden further than 50% of the depth of the garden; - does not comply – as above...'

Response

Extent of the excavation was reduced to comply with the above.

Comment

'...BIA should be submitted with full planning application...'

Response

Basement Impact Assessment is included in application.

Comment

'...r) provide satisfactory landscaping, including adequate soil depth; - landscaping is indicated on the proposed plans, and sufficient soil depth should be provided underneath...'

Response

The clear height of the basement area under landscaping was adjusted to 2.5m to provide additional depth for the soil above.

04 Neighbouring Amenity

Comment

'...proposed balcony on the Ashley Court side is directly adjacent to the first floor window. From elevations it seems there is very limited mitigation and appears to suggest anyone standing on the balcony can see right in to the window (and the ones above).'

Response

A green privacy screen was added to mitigate the issue.

Comment

'The balconies to the other side are also in close proximity to the rear windows of palace court especially in relation to the one at first floor. There are multiple windows which they are in close proximity of and further analysis should be undertaken to ensure these windows are not impacted..'

Response

A permanent planter was added to prevent entrance to sensitive area.

Comment

'A full daylight/sunlight study should support the formal submission...'

Response

Full Daylight/Sunlight report is included in application.

05 Standard of Accommodation

Comment

'...the basement level contains the largest shared habitable space which is set very close to a 1.8m high privacy screen. This causes concern that the level of outlook here is not ideal especially considering this is a habitable room....'

Response

Green screen was added to improve the outlook quality.

07 Site Contamination

Comment

'As the site has been/is used for garages it will be necessary to submit a Site Contamination Survey...'

Response

Site Contamination Survey to be submitted.

08 Trees and Landscaping

Comment

'Developers must deliver a biodiversity net gain of 10%...'

Response

Given the scale of the development, it is believed that the biodiversity net gain of 10% is not required. That being said, the proposal entails replacing current driveway hard surfaces with open-cell pavers, facilitating grass growth, and with a lawn. Biodiversity is further enhanced through the use of green privacy screens and a planter.

09 Sustainability

Comment

'Applicants are expected to submit sustainability proposals either within a dedicated section of the DAS...'

Response

Please refer to Sustainability section of this document.