

DESIGN & ACCESS STATEMENT

5 Erskine Mews, London NW3 3AP
Edition: February 2024

MALIN+LYNN

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1_EXECUTIVE SUMMARY

This Design & Access Statement provides supporting documentation for the proposed amendments to No.5 Erskine Mews, London NW3 3AP. We have considered carefully the architectural context of the site, local planning policies, structural requirements and the design proposal itself.

The proposal is designed as an amendment to Planning application 2023/3068/P. This roof extension scheme was consented in January 2024. Prior to this, there was a consented scheme related to 1, 2, 3 & 5 Erskine Mews (2022/2230/PP), proposing the erection of a single storey roof extension across the four dwellings.

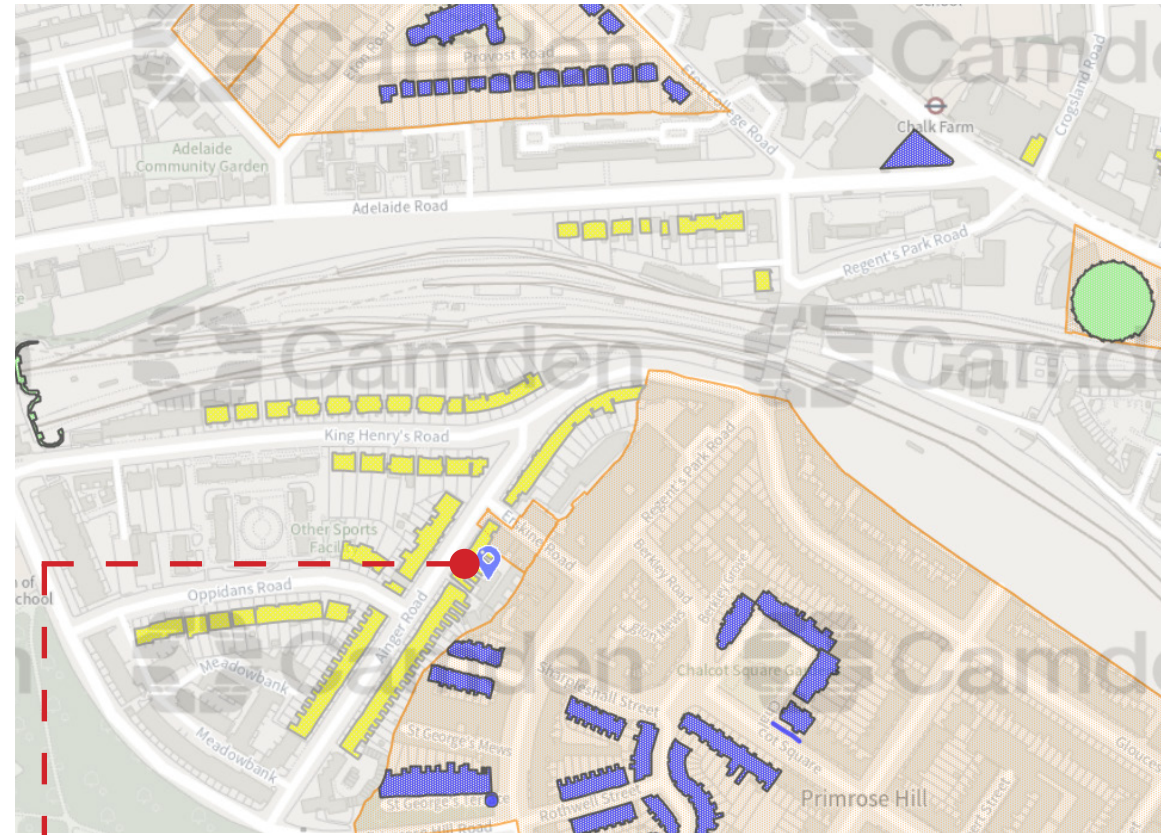
We are seeking approval for amendments to the roof of no.5 Erskine Mews approved roof extension, to include an extension to the rear of the roofscape. These alterations to no.5 Erskine Mews will enhance usability for the occupants.

2_SITE LOCATION

No.5 Erskine Mews is located in Primrose hill, Camden. The site consists of 5 residential mews houses with a communal car parking and refuse storage. Access into the site is provided via an undercroft from Erskine Road.

The site is located next to but not within the Primrose Hill Conservation Area. The Primrose Hill Conservation Area was designated on 1st October 1971 and extended to include the north part of Erskine Road on the 18th June 1985. The designation report notes that the character of the area “is made up of a series of well laid out Victorian terraces. It is residential in character, although there are a number of local industries, and it has its own shopping centres, a primary school and, because of the vicinity of Primrose Hill, is extremely well provided with open space”.

Erskine Road itself provides a link across the old St. Pancras Borough Boundary to Ainger Road and is subsequently more lively in character than the neighbouring cul-de-sacs. The road is fairly wide and contains a few street trees, mainly Silver Birch with some smaller species. On the south side of the road is a terrace of typical mid 19th century buildings with rusticated ground floors. Some properties have been converted for commercial uses with the addition of later shopfronts.



No.5 Erskine Mews

Above: Extract from Camden Council - Primrose Hill Conservation Area Map, indicating the site sitting just outside the conservation area.



Above: Aerial Photographs of No.5 Erskine Mews, NW3 3AP

3_PLANNING HISTORY

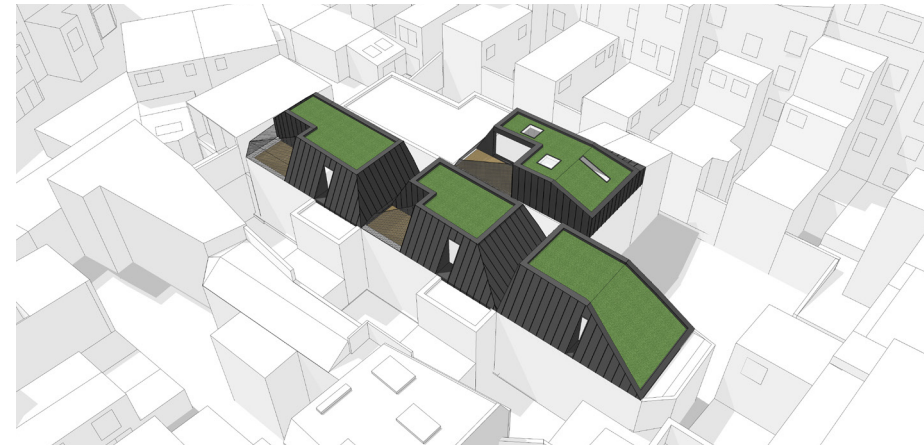
Planning permission was granted in June 2023 for the proposed single storey roof extension to four dwellings, 1,2,3 & 5 Erskine Mews. The materiality of all four roofs is a zinc standing seam cladding with green roofs within the flat and sloping areas. A 3D visual of this application is illustrated on the top right.



Approved visual 1 from application 2022/2230/PP

Planning was then granted in January 2024 for works to no.5 Erskine Mews only under reference 2023/3068/P. The proposal was as follows, and is illustrated on the bottom right:

- Consented roof terrace moved to south facing location, balustrade design and materiality remains the same.
- Ground floor courtyard area reduced by 5.3m², through a double storey rear and side extension.

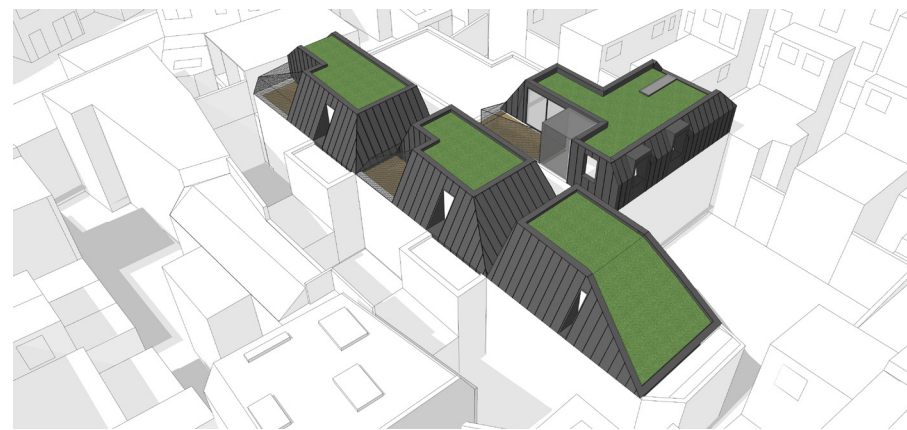


Approved visuals 1 from application 2023/3068/P

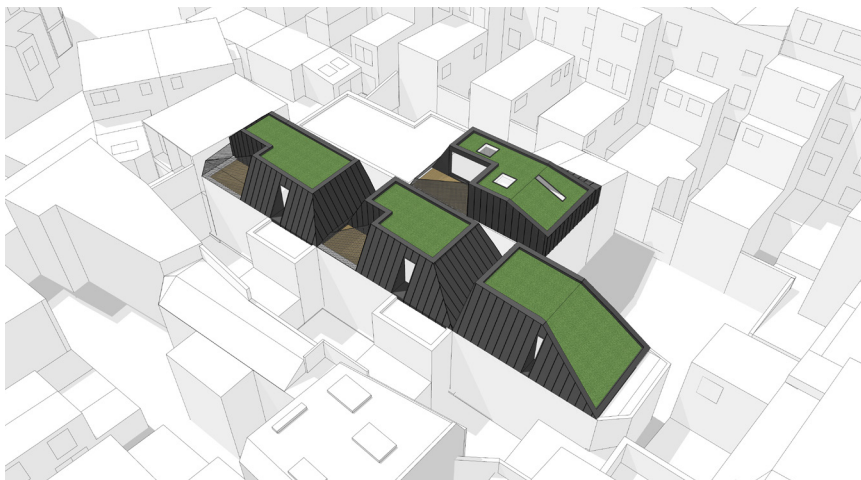
3_PLANNING TIMELINE



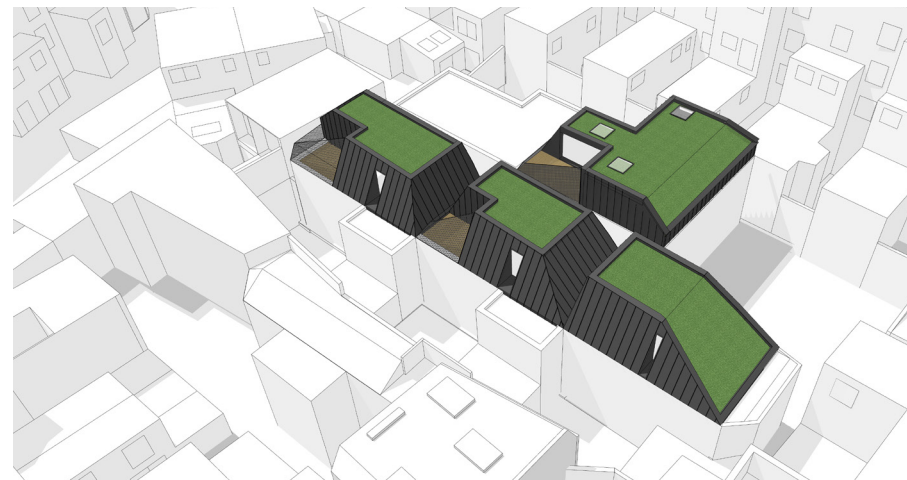
Visual 1 from application 2022/2230/PP - Approved in June 2023



First draft of No.5 Erskine Mews Planning Application - 2023/3068/P - submitted in July 2023



Visual 1 from No.5 Erskine Mews Amended Scheme - 2023/3068/P - Approved in Jan 2024



The new proposal which form the basis of this planning amendment

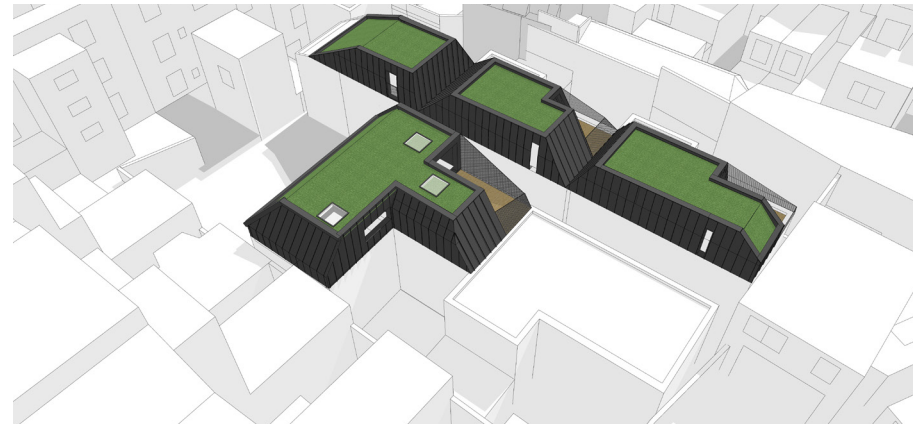
4_NEW DESIGN PROPOSAL & CONTEXT

The new proposal which form the basis of this planning amendment has the following changes from the approved scheme from application 2023/3068/P:

- A lower roof extension to rear of the property, facing Ainger Road.
- Differing roof slope angle to the roof on the front elevation side, to allow for adequate internal floor to ceiling heights.

As shown in the comparison on the previous page, the image on the right illustrate a far more sympathetic scheme to the first draft of application 2023/3068/P. There is a larger span of green roof to the front elevation, and the glass box and dormers are still not included in our new proposal, as the case officer felt those elements were not in-keeping with the three neighbouring roof proposals.

The proposed roof extension maintains approximately 2870mm from the eaves to the top of the roof, just like in the previous scheme.



Visual for new proposed roof scheme - zinc roof to slope facing Ainger Rd

5_PREVIOUS DAYLIGHT SUNLIGHT REPORT

A Daylight Sunlight report was carried out for the first draft of No.5 Erskine Mews Planning Application - 2023/3068/P. The aim of the assessment was to assess the impact of the development on the light receivable by the neighbouring residential properties at 1 to 4 Erskine Mews, 2 & 3 Erskine Road and 3 to 7 Ainger Road.

In summary, the numerical results in this assessment demonstrated that the proposed development will have a low impact on the light receivable by its neighbouring properties. The proposed development sufficiently safeguarded the daylight and sunlight amenity of the neighbouring properties.

This new proposal would have even less impact on the light receivable by its neighbouring properties, as the roof extension facing Ainger Road is lower than the scheme previously put forward.



Extract from previous Daylight Sunlight report

6_ACCESS

Access to the property is currently through the front elevation which faces the alleyway to all adjacent properties. There are no changes with regards to access to the property.

7_SUMMARY

To summarise, we believe that the proposed amended scheme for No.5 Erskine Mews has been carefully considered and is in keeping with the adjacent local Conservation Area, even though it is not part of the Conservation Area itself. It also does not stray too far away from the current planning application proposal for four single storey roof extensions, which was considered acceptable and subsequently approved.

The amendment would enable the occupants to evolve the property and bring it back to life and in-keeping with modern day living, whilst being sensitive to materiality and impacts on neighbouring properties - for decades to come.