

9 Northington Street
London
WC1N 2JF

Design and Access Statement
February 2024

STUDIO THREE

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0.0 Executive Summary

This Design and Access statement provides an overview of the proposals and should be read in conjunction with the specialist reports that have been submitted as part of this planning application.

It also contains technical information regarding the servicing of the building as well as access and communal facilities.

The existing building is currently linked to number 9 John Street via a non original closet wing extension. 9 John Street is a Grade II listed building which is also vacant and currently in office use. Due to the connection with 9 John Street, the application site is curtilage listed and a heritage statement has been submitted as part of this application which addresses this topic in detail.

This application seeks to decouple number 9 Northington Street from 9 John Street reinstating each building to be independent from one another.

A full list of the architectural information and specialist reports submitted can be found in section 01.

The proposals are contained within this application are summarised below

- Change of use of the existing vacant office floor space to create 4 no. high quality residential apartments totalling 365sqm of Gross Internal Area (GIA).
- Comprehensive internal refurbishment and configuration to accommodate the proposed residential use.
- Thermal upgrades and introduction of renewable technology to improve the thermal performance of the building and ensure a sustainable development footprint.
- Construction work is limited to the existing envelope meaning the external footprint of the building remains unaltered.
- Limited alterations to the rear elevation are proposed included the introduction of 2 no. new windows and frosting of some existing windows to mitigate any potential amenity issues.

The client is committed to delivering a sustainable development meeting the highest targets possible as well as promoting renewable technologies where feasible.

Introduction

Section 1

STUDIO THREE

1.	Architect	Studio Three Architects	STUDIO THREE
2.	Planning Consultant	Montagu Evans	
3.	Heritage Consultant	The Heritage Practice	
4.	Structural Engineer	Quantum	
5.	Transport Consultant	Motion	
6.	Sustainability Consultant	Webb Yates Associates	
7.	Daylight Sunlight	T16	
8.	Noise Impact Assessment	KP Acoustics	
9.	Marketing	Gale Priggen	

1.1 Project Team

The proposals have been developed in conjunction with a number of specialist to ensure that the development is of the highest quality possible and also meets Camden policy.

Input from each specialist has informed the design outcome and a collaborative approach to the scheme has been adopted in regards to ensuring a first in class development

The reports are included within the main application and the findings of these reports are summarised in this Design and Access Statement.

Site Analysis & Planning Policy

Section 2

STUDIO THREE



2.1 Location

9 Northington Street, WC1N 2JF

The site is located at 9 Northington Street in the London Borough of Camden. The property is within the Bloomsbury Conservation Area, and is curtilage listed.

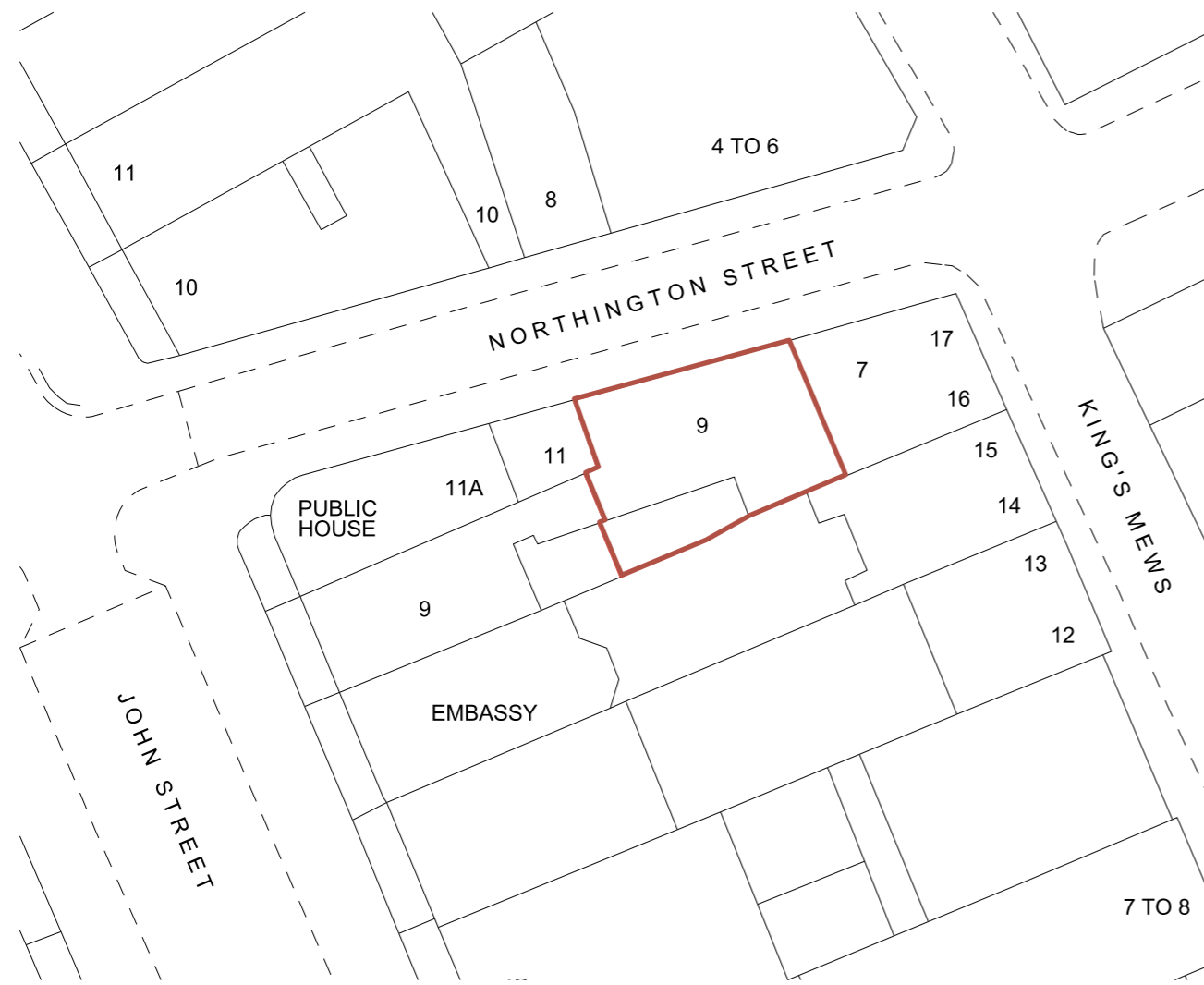
The entrance to the site faces north onto Northington Street, and faces another listed building at 8 Northington Street.



Key :

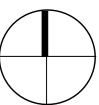
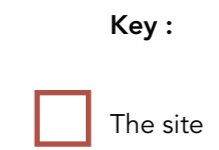
 The site

2.2 Site Location Plan



9 Northington Street, WC1N 2JF

Location Plan - Scale 1:400



2.3 History of the Site

9 Northington Street, WC1N 2JF

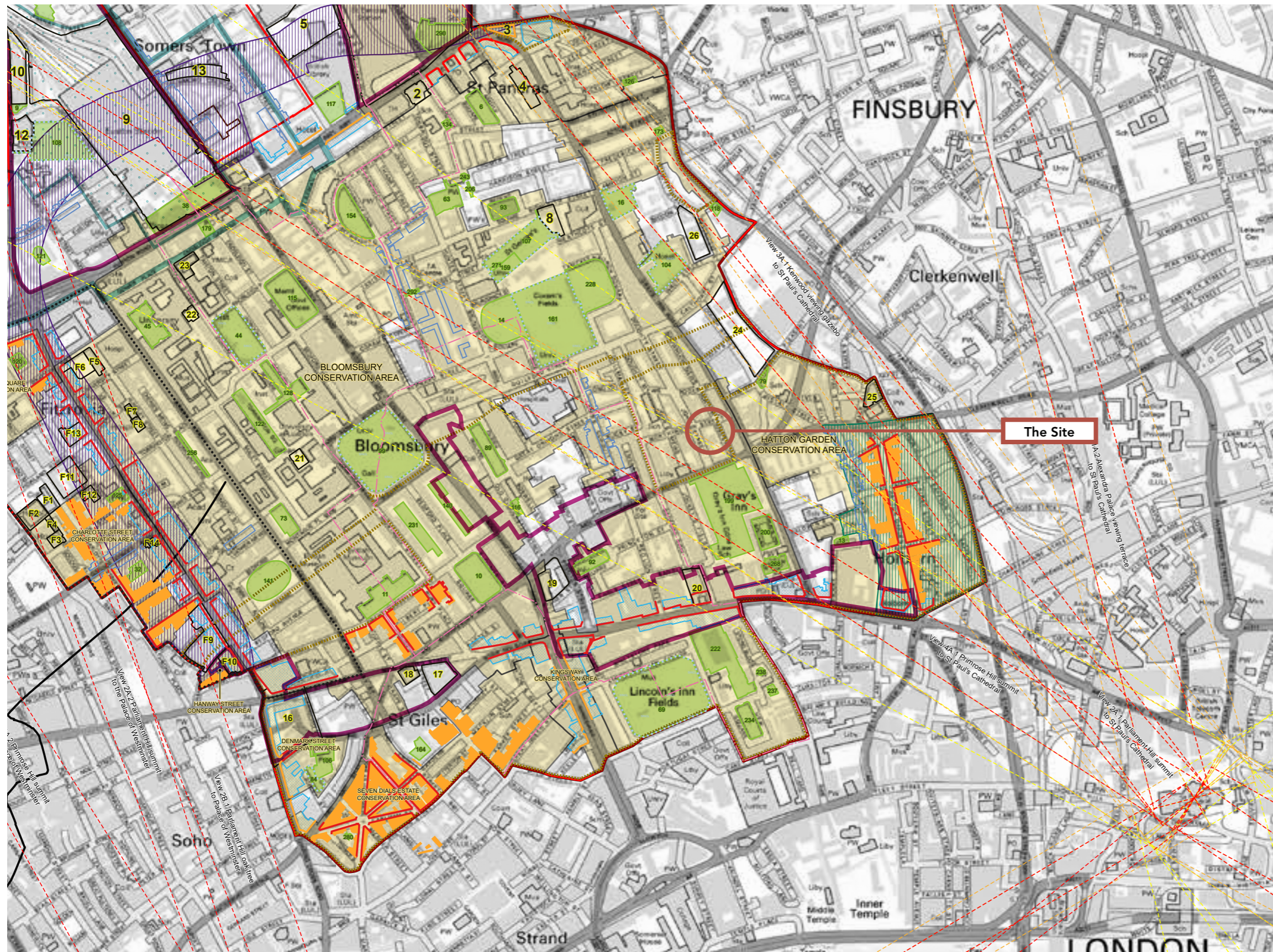
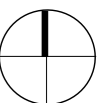
The site is located within:

- The Bloomsbury Conservation Area,
- The Central London Area (CLA) of Camden Local Plan,
- Background Assessment Area of Blackheath Point to St Paul's Cathedral Protected Vista (London View Management Framework, 2010)

Key :

General	
	Growth Area
	Central London Area
	Site Allocations proposal site (see below for names)
	Fitzrovia Area Action Plan
	Euston Area Plan
	Regent's Park Estate housing renewal and infill
	Euston station and tracks special policy area
	Areas with Neighbourhood Plans approved at referendum (refer to the Neighbourhood Plan at www.camden.gov.uk/neighbourhoodplanning)
Built environment	
	Conservation Area
	Ancient Monument
	Archaeological Priority Area
Designated Views:	
	Viewing Corridor
	Lateral Assessment Area
	Background Assessment Area
Natural environment and open space	
	Open Space
	Metropolitan Open Land
	Site of Special Scientific Interest

The site





1870s



1890s



1930s



1950s



1960s



1980s

2.4 History of the Site

A detailed review of the sites history and its development over time can be found in the heritage statement by The Heritage Practice which has been submitted with this application.

The historic maps shown here demonstrate that the street format and general built envelope remain largely unaltered since the late 19th century.

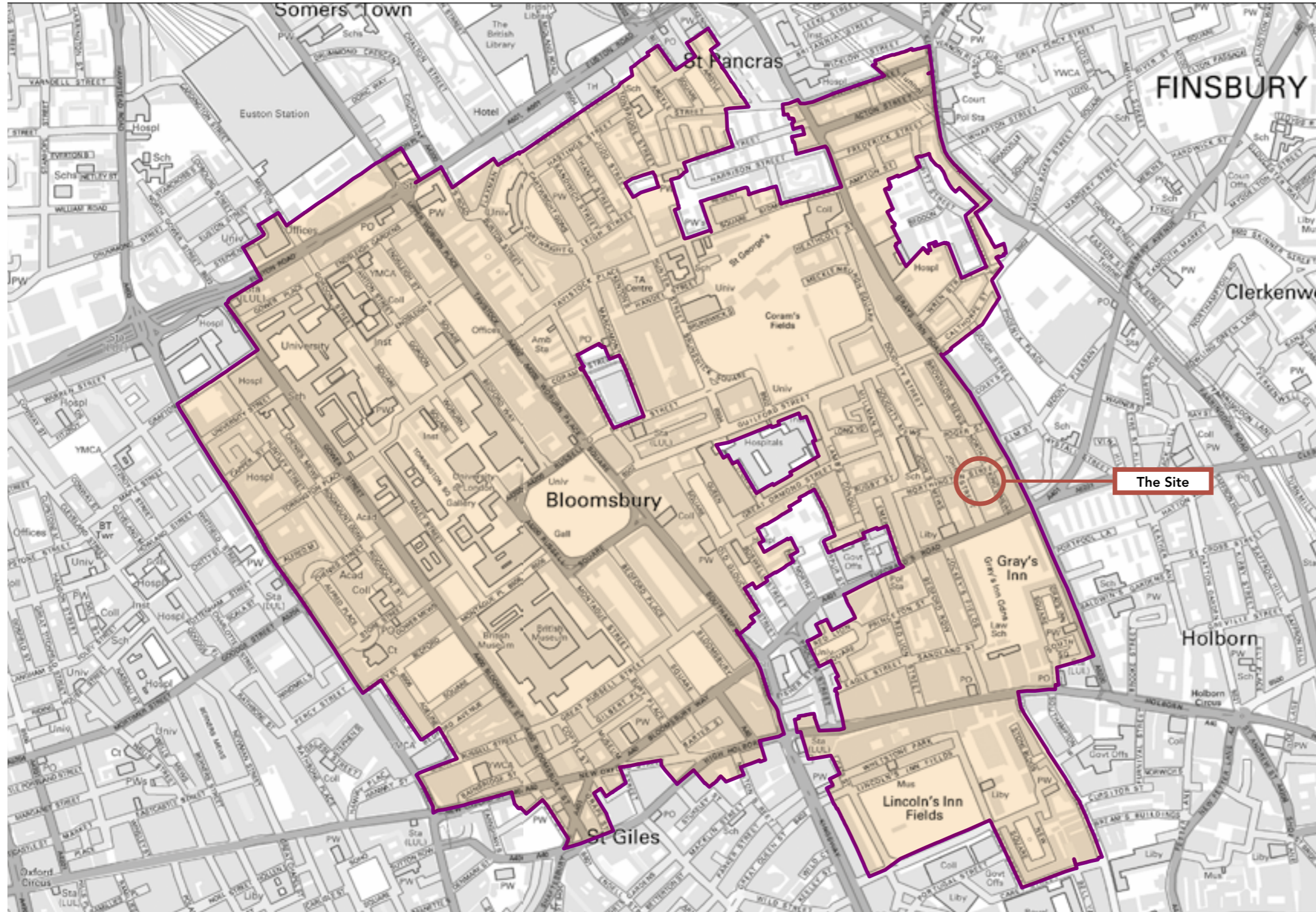
Key :



2.5 Bloomsbury Conservation Area Map

Bloomsbury Conservation Areas Map (2024).

The site is located within the Bloomsbury Conservation Area and is curtilage listed due to its connection with no. 9 John Street. Please refer to heritage report for more details.



Camden Conservation Areas Map (2024).

Key :

 Bloomsbury Conservation Area

 The site

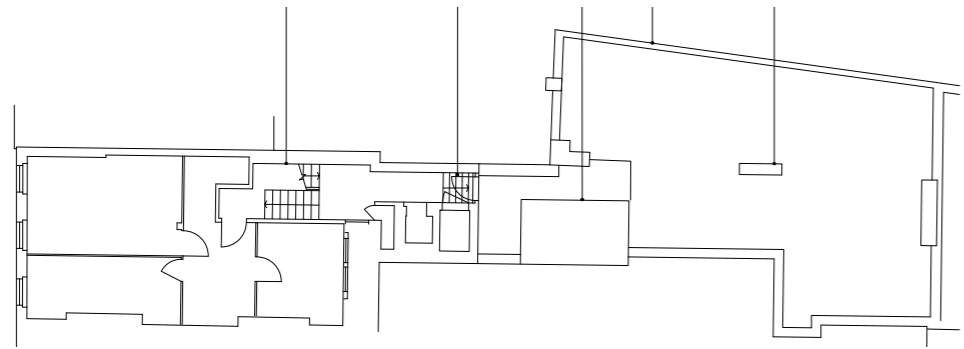


2.6 Planning History: The Site

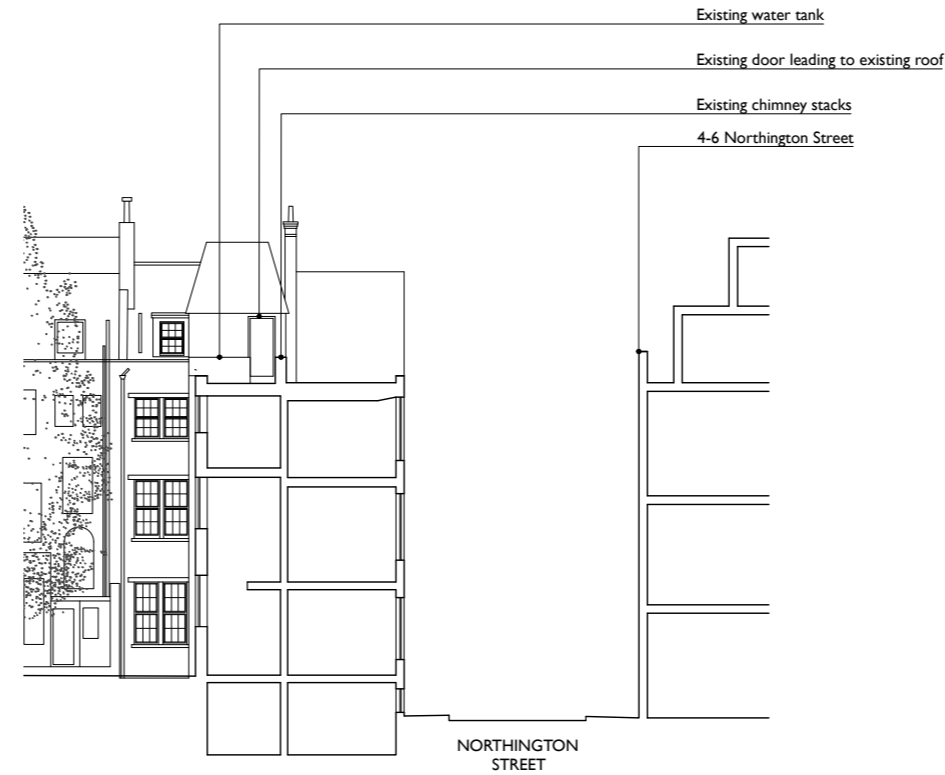
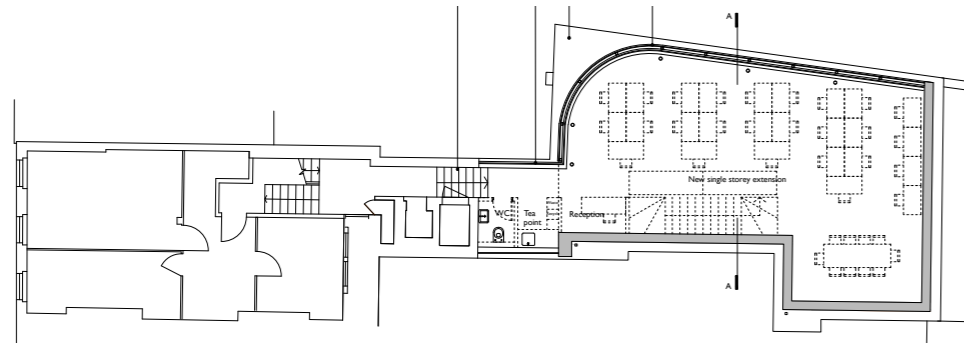
9 Northington Street, WC1N 2JF

- 1 2018/4025/P - **Refused - October 2018**
Erection of single storey roof extension to Northington Street elevation and installation of glazed link at roof level in association with provision of additional office floorspace (B1).
- 1 2018/4339/L - **Refused - October 2018**
Erection of single storey roof extension to Northington Street elevation and installation of glazed link at roof level.

1 2018/4025/P - Existing 3rd Floor Plan



1 2018/4025/P - Proposed 3rd Floor Plan



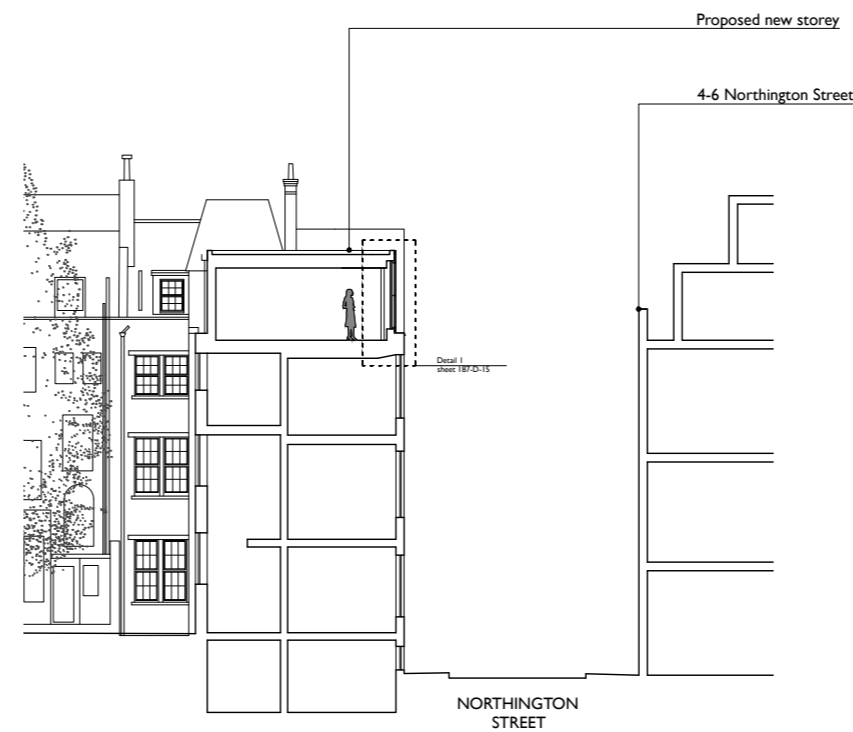
1 2018/4025/P - Existing Section



1 2018/4025/P - Existing Street Context Elevation



1 2018/4025/P - Proposed Street Context Elevation



1 2018/4025/P - Proposed Section

Proposals

Section 3

STUDIO THREE

3.1 Change of Use

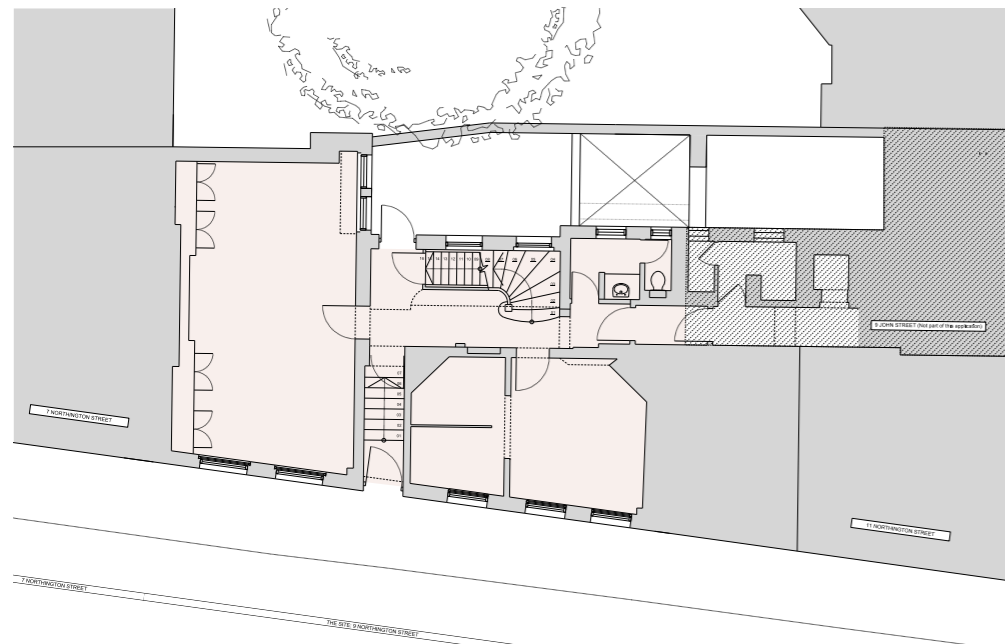
As previously outlined, number 9 Northington Street is currently a vacant office building.

The building has been marketed on a number of different terms and arrangements (sole occupancy or floor by floor).

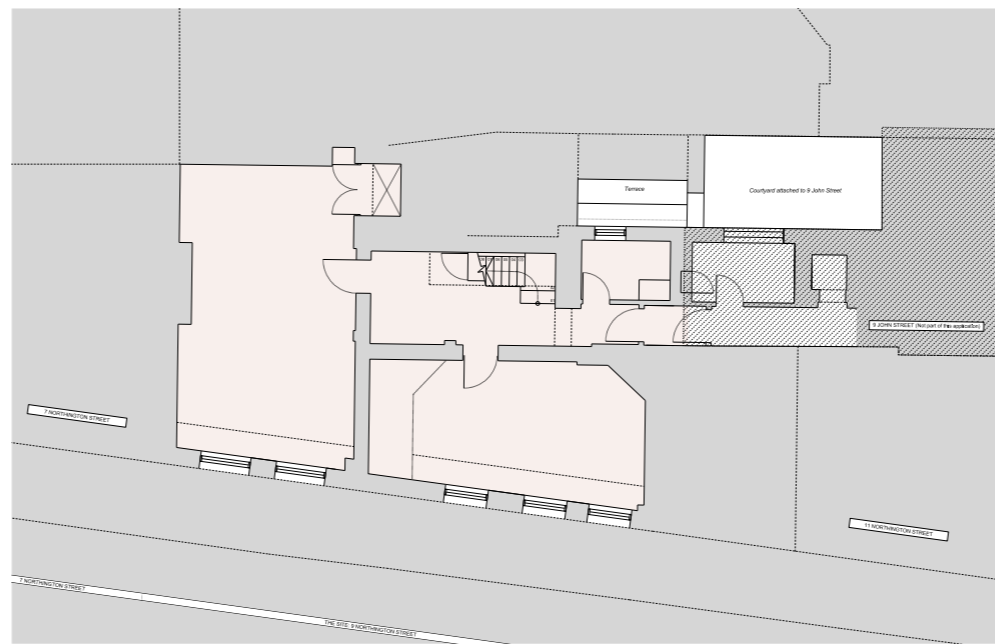
The current configuration is cellular in nature and a departure from modern, open plan office space which is available in abundance in the local area.

A full marketing report by Gale Priggen has been provided demonstrating the extensive marketing history of the building and the planning statement by Montagu Evans provides a detailed analysis of this against policy.

Please refer to both of those documents for justification for the change of use.



Existing Ground Floor Plan



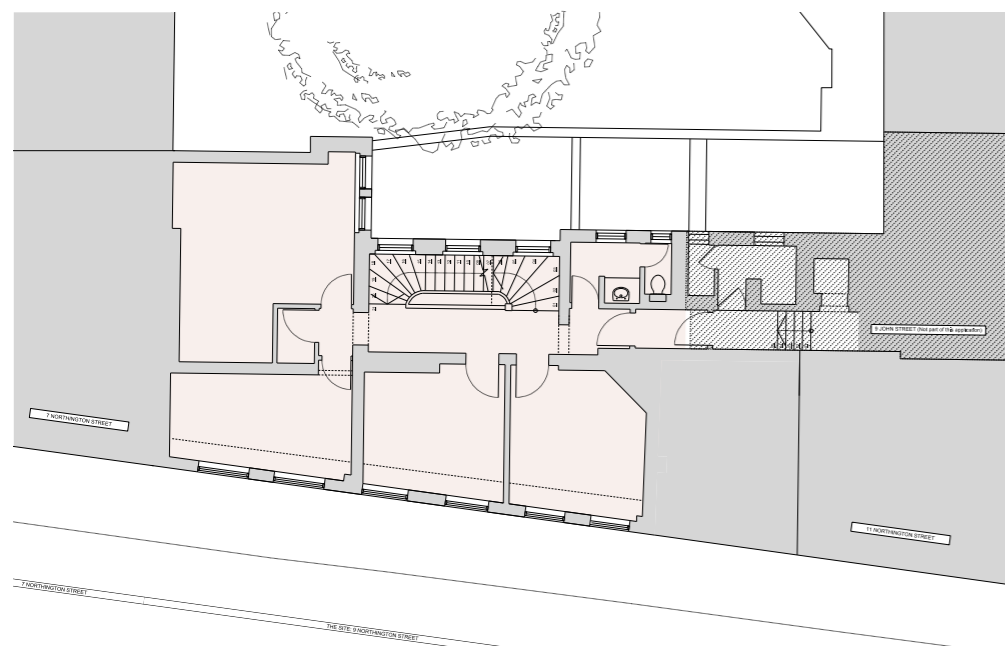
Existing Lower Ground Floor Plan

3.2 Existing Plans

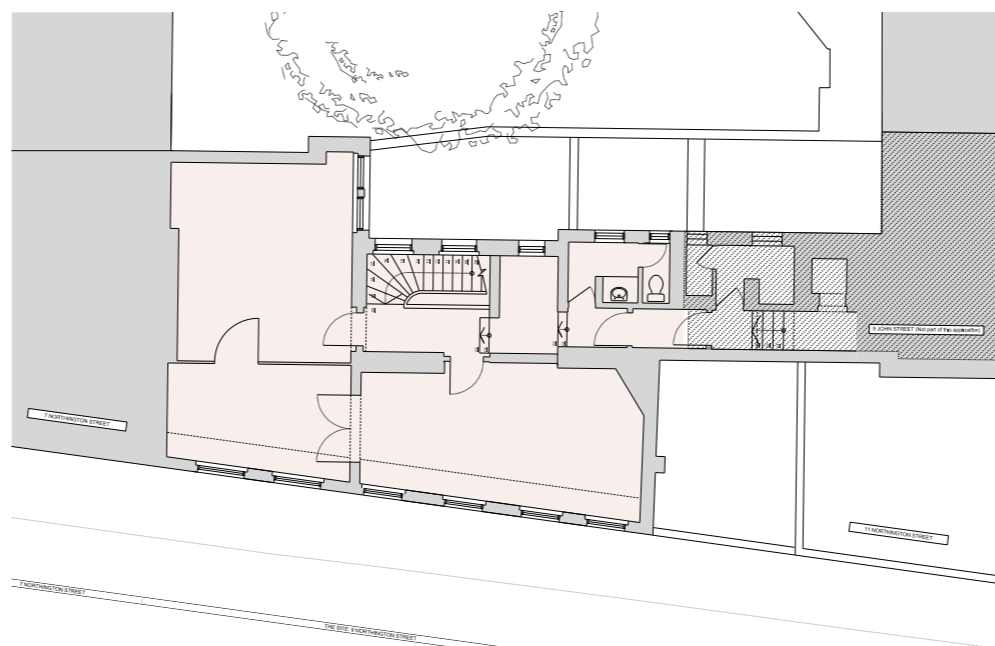
The existing building at number 9 Northington Street offers 365sqm of Gross Internal Area and 250 sqm of lettable floor space.

The space is configured over Lower Ground, Raised Ground, First and Second Floor Levels.

The lettable space is split over 9 cellular office spaces arranged around a central core. The space is poor in quality when compared to neighbouring office buildings.



Existing First Floor Plan

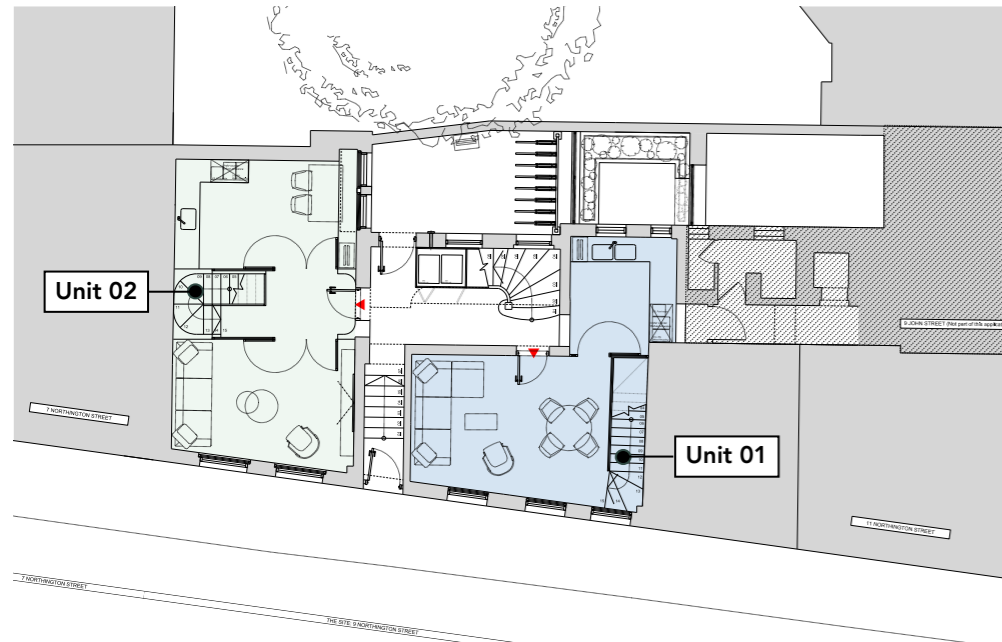


Existing Second Floor Plan

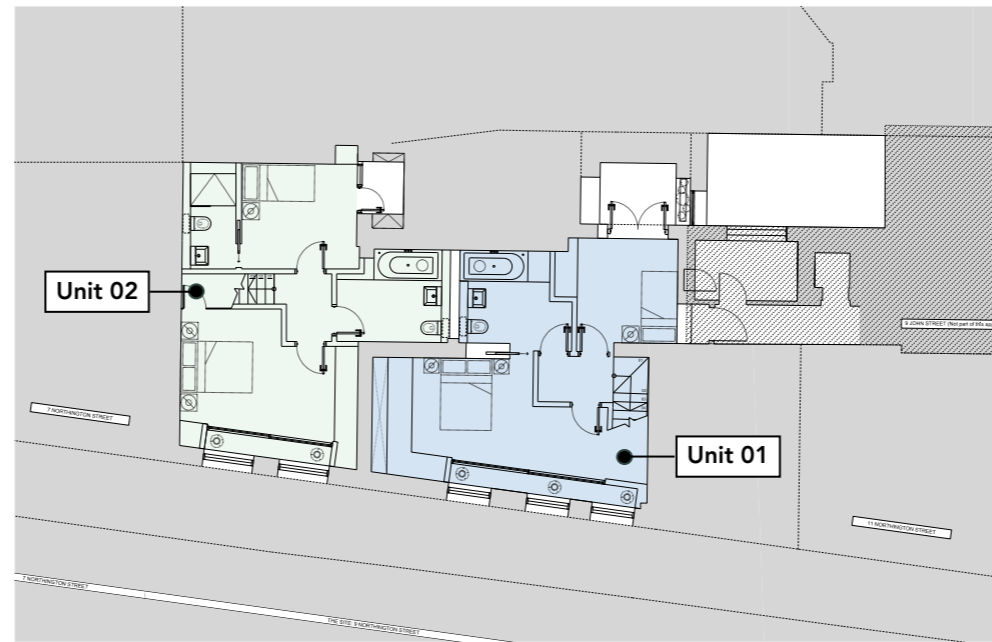
Key - scale 1.200 :

Office floor space

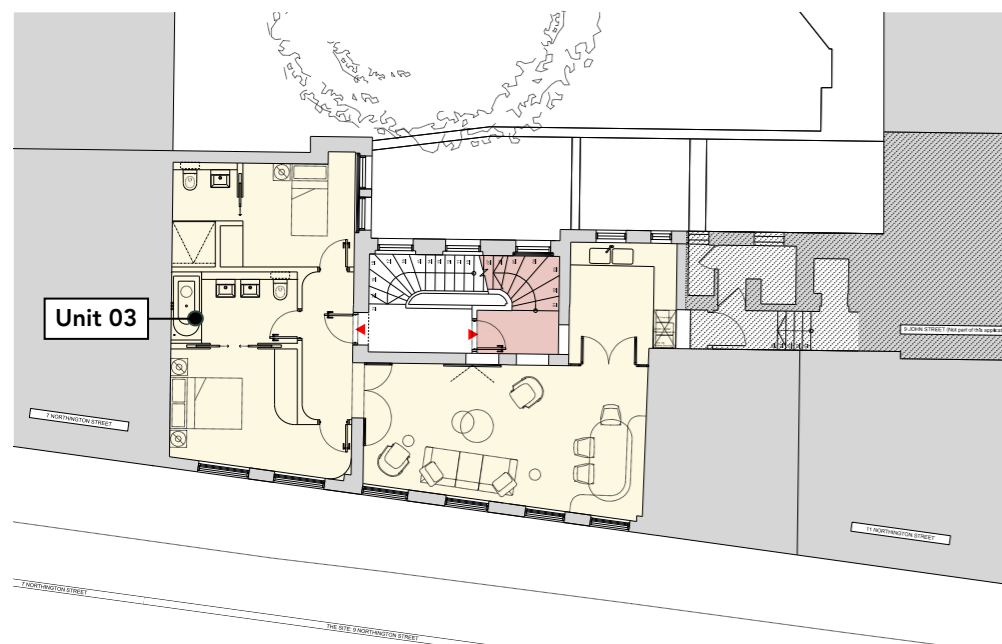




Proposed Ground Floor Plan



Proposed Lower Ground Floor Plan



Proposed First Floor Plan



Proposed Second Floor Plan

Key - scale 1.200 :

- Unit 01 _ 2B3P _ 74.5 sqm (801 sqft)
 - Unit 02 _ 2B3P _ 81.0 sqm (872 sqft)
- Unit 03 _ 2B3P _ 76.3 sqm (821 sqft)
 - Unit 04 _ 2B3P _ 97.9 sqm (1054 sqft)

3.3 Proposals

Proposals seek to convert the existing floor space into 4, 2 bedroom residential apartments. Each unit will exceed the minimum space standards required under the London Plan and offer a high quality environment to future occupants.

All units will also benefit from dual aspect.

Unit 01 and Unit 02

At raised ground and lower ground floor levels the introduction of 2no, 2 bedroom duplex apartments is proposed. Living and kitchen accommodation is located at raised ground with bedrooms at lower ground. A covered external area to the front bedrooms at lowerground floor level is proposed to create a defensible boundary between the habitable space and pavement. This means, occupants could have access to fresh air whilst maintaining a secure and safe relationship with public spaces. This arrangement will also improve acoustic performance (see acoustic report for full details and confirmation that the units meet requirements).

Unit 03 and Unit 04

At first and second floor, 2no, 2 bedroom lateral apartments are proposed. Both apartments have large open plan living kitchen dining areas with separate bedrooms with 2no bathrooms.



3.5 Noise Impact Assessment

A comprehensive background noise test was undertaken by KP acoustics whose report has been submitted as part of this application.

The findings of the report confirms that the internal spaces meet the required targets for residential accomodation. In addition, their report includes commentary on the noise created.

**9 Northington Street Camden
London WC1N 2ES**

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t: +44 (0)20 886 6174
www.kpacoustics.com

**9 Northington Street Camden
London WC1N 2ES**

Prepared by:
MHL Limited
MIOA MInstP
Acoustic Consultant

Noise Impact Assessment Report
Report 27846.NIA.01 Rev.B

MHL Limited

IEMA
Acclaim
BSI

Block at North Street.
seating indicated to the west.
the west.

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Appendix A Glossary of Acoustics Terminology

3.6 Sustainability

The client and design team are committed to sustainable development through the use of a variety of methods including, but not limited to, renewable technologies.

The proposals have been developed in collaboration with Webb Yates Sustainability team who have assisted in specifying thermal upgrades to the buildings fabric.

In addition, the apartments will be heated through the use of air source heat pumps.

It is also proposed to fit secondary glazing to the existing windows within the units, as per the existing North facing Ground Floor windows.

Full details of our sustainability strategy, showing the development achieves compliance with Building Regulations, Local and London planning policy, can be found in the accompanying report by Webb Yates Associates.

WEBB
YATES

Sustainability Statement
J5653 9 Northington Street

Ref: J5653-B-RP-0001
Revision: 04
Status: S2

Webb Yates Engineers Ltd
48-50 Scrutton Street
London, EC2A 4HH
020 3696 1550
london@webbyates.com
www.webbyates.com
Registered in England & Wales No: 5393930

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Appendix A Glossary of Acoustics Terminology

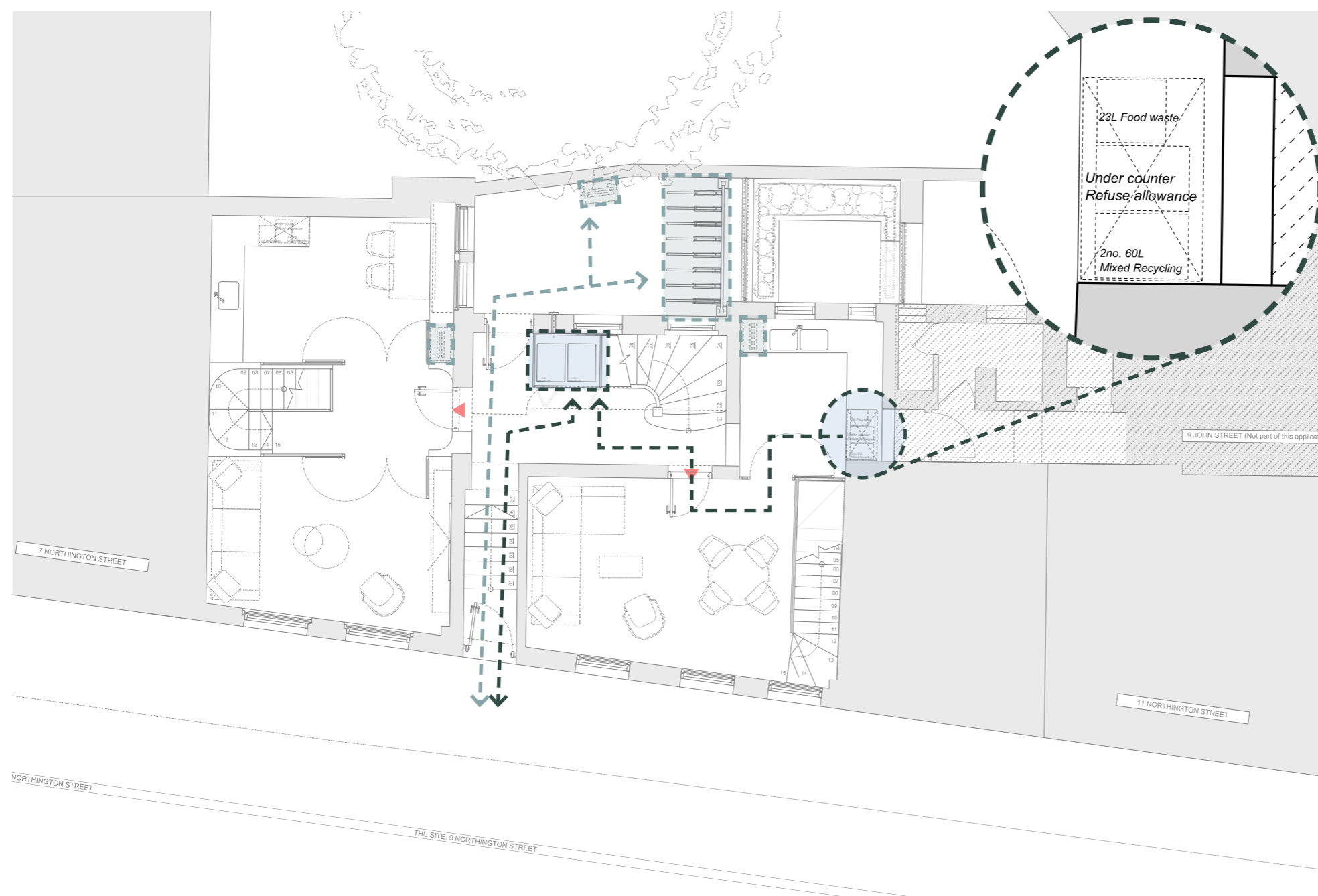


Servicing & Access

Section 4

STUDIO THREE

4.1 Cycle and Waste



Proposed Ground Floor Plan

The refuse and recycling enclosure has been provided for the new flats and is accessible at ground floor level. The proposed refuse storage will be in accordance with the CPG1 DESIGN Storage and collection of recycling and waste, as indicated in the table below.

In addition, dedicated temporary refuse storage for general, mixed recycling and food waste have been included within the kitchen of each unit.

Camden’s Environment Service technical guidance for recycling and waste - Camden Planning Guidance (CPG) - Design - section 8 (Jan 2021)

8no. bicycle spaces have been provided at Ground Floor Level in the protected rear courtyard, as well as 2 stacked bi-fold cycle lockers. This proposal is in line with the Local Plan Policy T1 as well as an additional 20% over and above the London Plan standard.

1no. bi-fold cycle private locker in unit 01 and in unit 02 have also been proposed.

This provides a total of 12 cycle spaces throughout the scheme.

Communal Refuse / Recycling Storage		
	Contained Flats	Proposed storage
General Waste storage at Ground Floor Level	4 dwellings	2 x 240L Wheeled Containers

Dedicated Refuse / Recycling Storage		
	Contained Flats	Proposed storage per flat
General Waste & Mixed Recycling	per flat (Total over 4 dwellings)	2 x 60L Sacks (8 x 60L in total)
Food Waste	per flat (Total over 4 dwellings)	1 x 23L Caddy (4 x 23L Caddy)

Key - scale 1.200 :

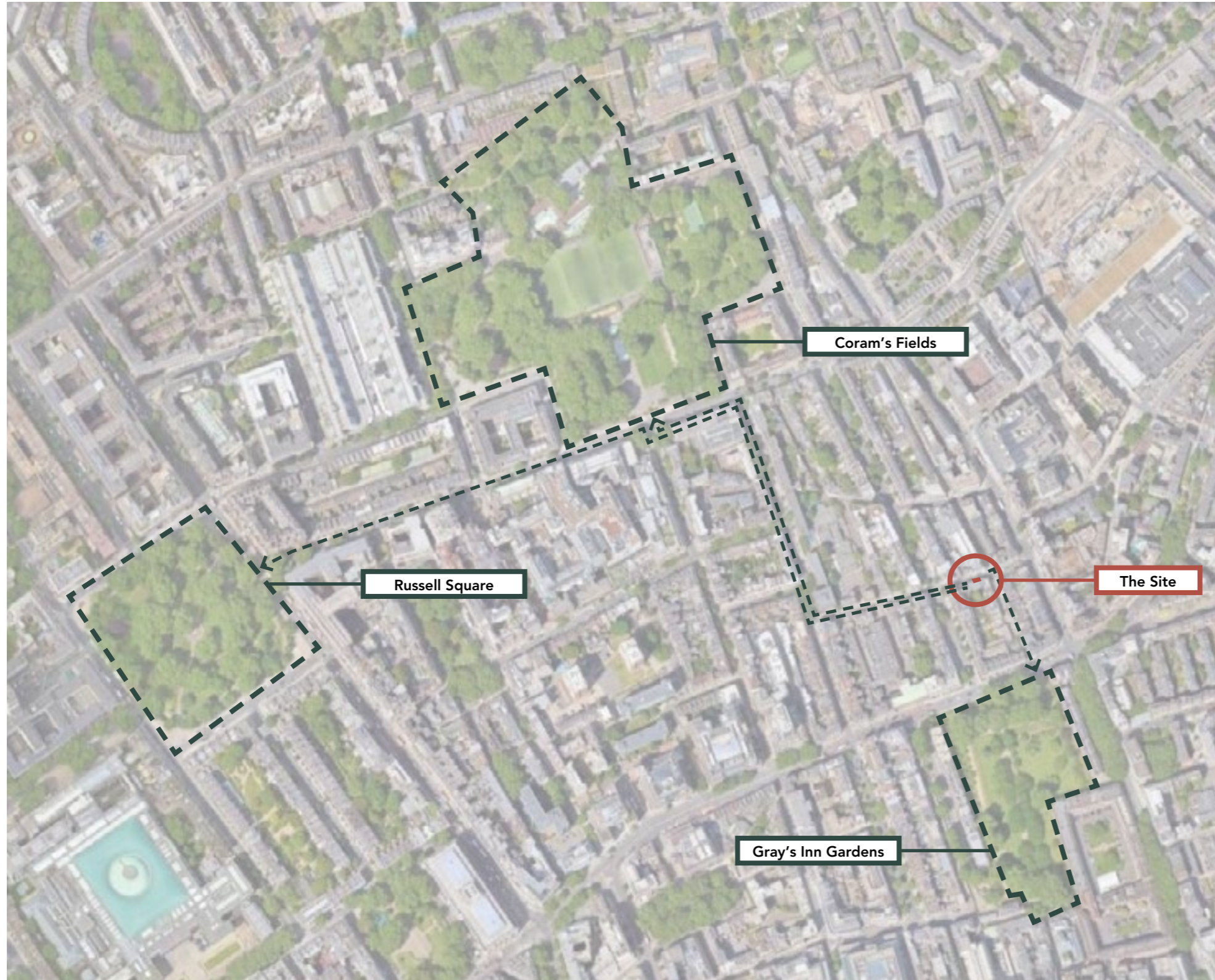
←--- Cycle access

←--- Waste access

--- Cycle storage

--- Waste storage





4.2 External Amenity Space

The opportunities to offer on site private or communal amenity space is extremely limited due to the large footprint of the building in relation to the site. The majority of the site is developed and the external space that is afforded within the curtilage of the site has been utilised as best as possible. There is a proposed private terrace located at lower ground floor level to unit 01 and a small external lightwell to unit 02.

The shortfall in private amenity space has in part been mitigated through the creation of dwellings which exceed the minimum space standards. Additionally the diagrams shown in this section demonstrate that future occupants will have excellent access to high quality public green spaces within a 5 minute walk. The closest being just 130m away.

Walking distance and time to public amenities:

Site to Gray's Inn Gardens

130 m - 2 mn walk

Site to Coram's Fields

450 m - 6 mn walk

Site to Russell Square

850 m - 12 mn walk

Key :



Areas

Section 5

STUDIO THREE

5.1 Area Schedules

Existing & Proposed Gross Internal Areas (GIA)

EXISTING GIA			
Level	SQM	SQFT	
Lower Ground Floor	89.00	957.99	
Ground Floor	91.32	982.96	
First Floor	92.34	993.94	
Second Floor	92.49	995.55	
Total GIA	365.15	3,930.44	

PROPOSED GIA			
Level	SQM	SQFT	
Lower Ground Floor	88.03	947.55	
Ground Floor	91.32	982.96	
First Floor	92.79	998.78	
Second Floor	92.91	1,000.07	
Total GIA	365.05	3,929.36	

Proposed Units Gross Internal Areas (GIA)

PROPOSED GIA								
Level	Unit 01		Unit 02		Unit 03		Unit 04	
	2B - 3P		2B - 3P		2B - 3P		2B - 3P	
	SQM	SQFT	SQM	SQFT	SQM	SQFT	SQM	SQFT
Lower Ground Floor	42.62	458.76	42.52	457.68				
Ground Floor	31.83	342.61	38.45	413.87				
First Floor					76.29	821.18	4.99	53.71
Second Floor							92.91	1,000.07
Total Units GIA	74.45	801.37	80.97	871.55	76.29	821.18	97.90	1,053.79