

Building Regu Studio Three	ມlations requirements. An This drawing cannot be ເ	y errors on drawings or om	y with British Standards and issions should be reported the purposes of valuation. As should not be scaled.
Desvised	-1		
Drawing Leger Existing I		[
	Existing structure		9 John St. property Not part of applicatio
	Existing flat roof		Existing brickwork
	Existing slate roof		
	siate 1001		
Proposed	d key		
	Proposed structure		Proposed timber floor
	Proposed		Dynamous differents d
	tile floor		Proposed frosted glazing
Proposed Gen	eral Notes:		
	on of 4no, 2 bedroom ag and repair existing brickv		
		rames and repaint as requ g windows to improve then	
Proposed Note	es:		
		esign and Access stateme	nt for more details
02 Cleres	story window to lower gr	ound floor bedroom	
		r bedroom covered with I	
04 Propo	osed communal bin stora use strategy	ge- see Design and Access	s statement for full details
Dedic	n and redecorate existing ated gerenal, food and r		and Access statement for
Propo	etails of refuse strategy osed- covered external ar	ea, to front elevation, cre	ating a defensible
	r/boundary to the lower er privacy screen to mitig		
	ir source heat pumps wit oustics for full details.	th timber acoustic enclosu	ıre. See Acoustic Report by
08 Timbe			
08 Timbe		ch doors to private terrace	
08 Timbe 09 4no a KP acc			
08 Timbe 09 4no a KP acc 10 Propo	osed timber framed frenc		
08 Timbe 09 4no a KP acc 10 Propo	osed timber framed frenc		
08 Timbe 09 4no a KP acc 10 Propo	osed timber framed frenc		



Rev.	Purpose	Date:
-	Issued for Planning	01.03.2024









Studio Three Architects Limited. All construction works to comply with Building Regulations requirements. Any errors on drawings or omissions Studio Three. This drawing cannot be used to calculate areas for the pu measurements should be checked on site. These drawings should be checked on site.	s should be reported to rposes of valuation. All
Building Regulations requirements. Any errors on drawings or omissions. Studio Three. This drawing cannot be used to calculate areas for the pumeasurements should be checked on site. These drawings should be checked on site. The should be check	s should be reported to urposes of valuation. All lid not be scaled.
Building Regulations requirements. Any errors on drawings or omissions. Studio Three. This drawing cannot be used to calculate areas for the pu measurements should be checked on site. These drawings should be checked on site. The should be checked on site. These drawings should be checked on site. The sho	s should be reported to urposes of valuation. All lid not be scaled.
Building Regulations requirements. Any errors on drawings or omissions. Studio Three. This drawing cannot be used to calculate areas for the pu measurements should be checked on site. These drawings should be checked on site. The should be chec	s should be reported to urposes of valuation. All lid not be scaled.
Existing key Existing structure Existing flat roof Existing flat roof Existing flat roof	ohn St. property It part of application
Structure No Existing flat roof Exi	ohn St. property It part of application
Existing	
Existing slate roof	isting ickwork
Proposed key	
Proposed Proting	oposed nber floor
Proposed tile floor gla	pposed frosted zing
Proposed General Notes:	
Creation of 4no, 2 bedroom apartments Clean and repair existing brickwork	
Repair existing lintels, window frames and repaint as required Secondary glazing to all existing windows to improve thermal pe	erformance
Proposed Notes: O1 Proposed cycle storage- see Design and Access statement for	more details
O2 Clerestory window to lower ground floor bedroom	more details
U3 Lightwell to lower ground floor bedroom covered with metal a	-
04 of refuse strategy 05 Retain and redecorate existing staircase	
Dedicated gerenal, food and recyling waste- See Design and A full details of refuse strategy	
Proposed- covered external area, to front elevation, creating buffer/boundary to the lower ground floor bedrooms Timber privacy screen to mitigate overlooking	a defensible
4no air source heat pumps with timber acoustic enclosure. Se KP acoustics for full details.	e Acoustic Report by
Proposed timber framed french doors to private terrace 1	
Phase	
	_
PLANNING	•
PLANNING Drawing title	

Drawing No.	A_2100	Rev.	-
Drawn	LP	Approved	AA
First revision	01 03 2024	Updated	_

STUDIO THREE

	9 Northington St.	London WC1N 2JF	
nt	MHL Ltd.		

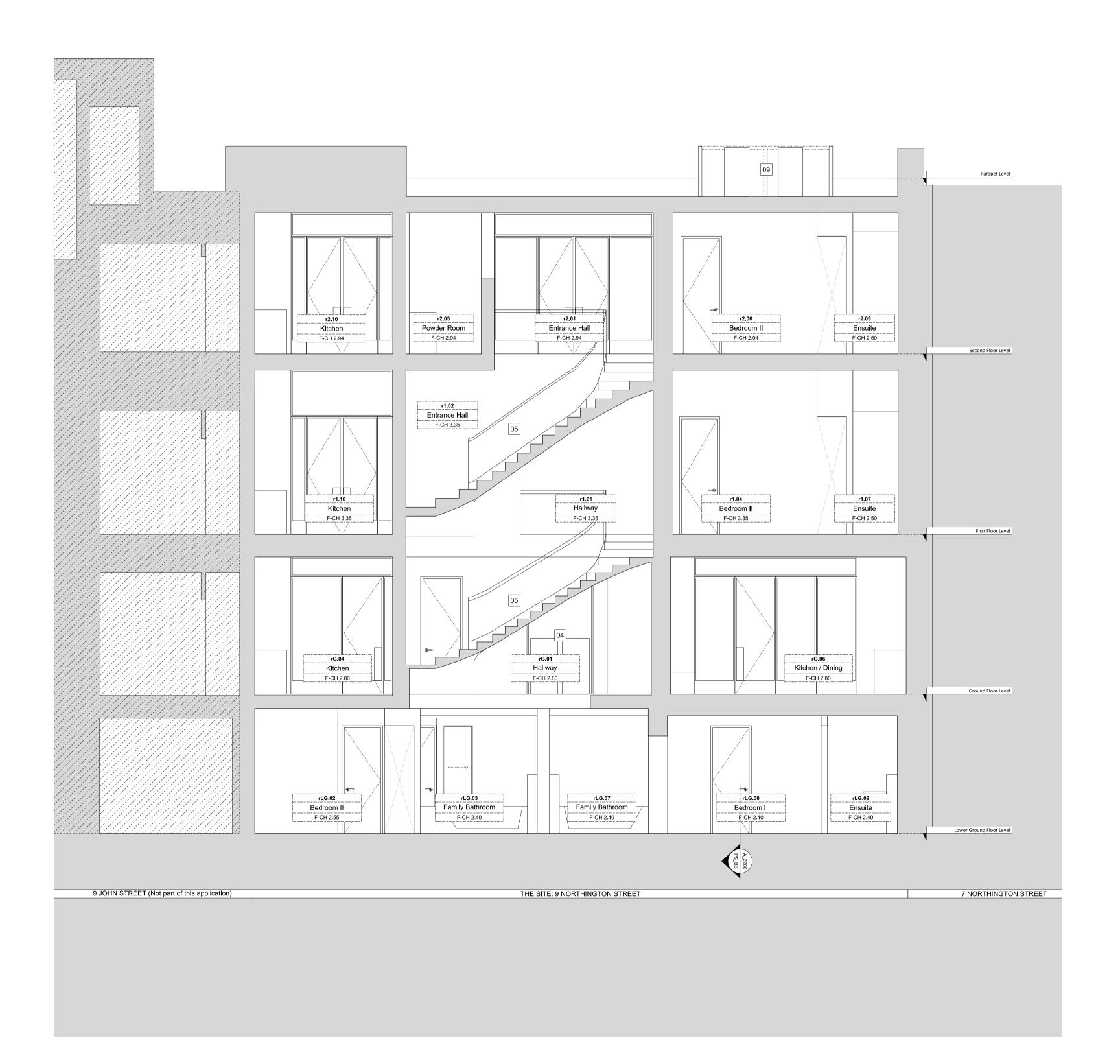


Studio Three Architects Limited. All constr Building Regulations requirements. Any err Studio Three. This drawing cannot be used measurements should be checked or	ors on drawings or on to calculate areas for	nissions should be reported the purposes of valuation.
Drawing Legend Existing key		
Existing structure		9 John St. property Not part of applicatio
Existing flat roof		Existing brickwork
Existing slate roof		
Proposed key Proposed structure		Proposed timber floor
Proposed tile floor		Proposed frosted
the nest		glazing
Proposed General Notes: 1. Creation of 4no, 2 bedroom apartn	nents	
 Clean and repair existing brickwork Repair existing lintels, window frame 	es and repaint as requ	
Secondary glazing to all existing wir Proposed Notes:	ndows to improve the	mal performance
01 Proposed cycle storage- see Design	n and Access stateme	ent for more details
O2 Clerestory window to lower ground Clerestory window to lower ground floor beautiful to lower ground floor ground fl		metal guard
Proposed communal bin storage-s of refuse strategy	see Design and Acces	s statement for full details
Retain and redecorate existing stai Dedicated gerenal, food and recyli full details of refuse strategy		n and Access statement for
07 Proposed- covered external area, the buffer/boundary to the lower grounds.	to front elevation, cr und floor bedrooms	eating a defensible
Timber privacy screen to mitigate of the scr		ure. See Acoustic Report b
KP acoustics for full details. Proposed timber framed french do	oors to private terrac	e
Frosted glazing to mitigate overloc	bking	
Phase		
Phase PLAN	ININ	G
		G
PLAN Drawing title		G
PLAN Drawing title Proposed South Electors Drawing No.	vation	G
PLAN Proposed South Electors Drawing No. A_2101	vation Rev.	-
PLAN Proposed South Electors Drawing No. A_2101 Drawn LP	Rev. Approved Updated	- AA -
PLAN Proposed South Electron Drawing No. A_2101 Drawn LP First revision 01.03.2024	Rev. Approved Updated https://	- AA - HREE /www.studiothreearchtiects.co
Drawing title Proposed South Elector Drawing No. A_2101 Drawn LP First revision 01.03.2024 STUDIC 97 Charlotte Street, London, W1T 4QA Project No. 23037	Rev. Approved Updated Updated Address 9 Nor Londo	- AA - HREE /www.studiothreearchtiects.co

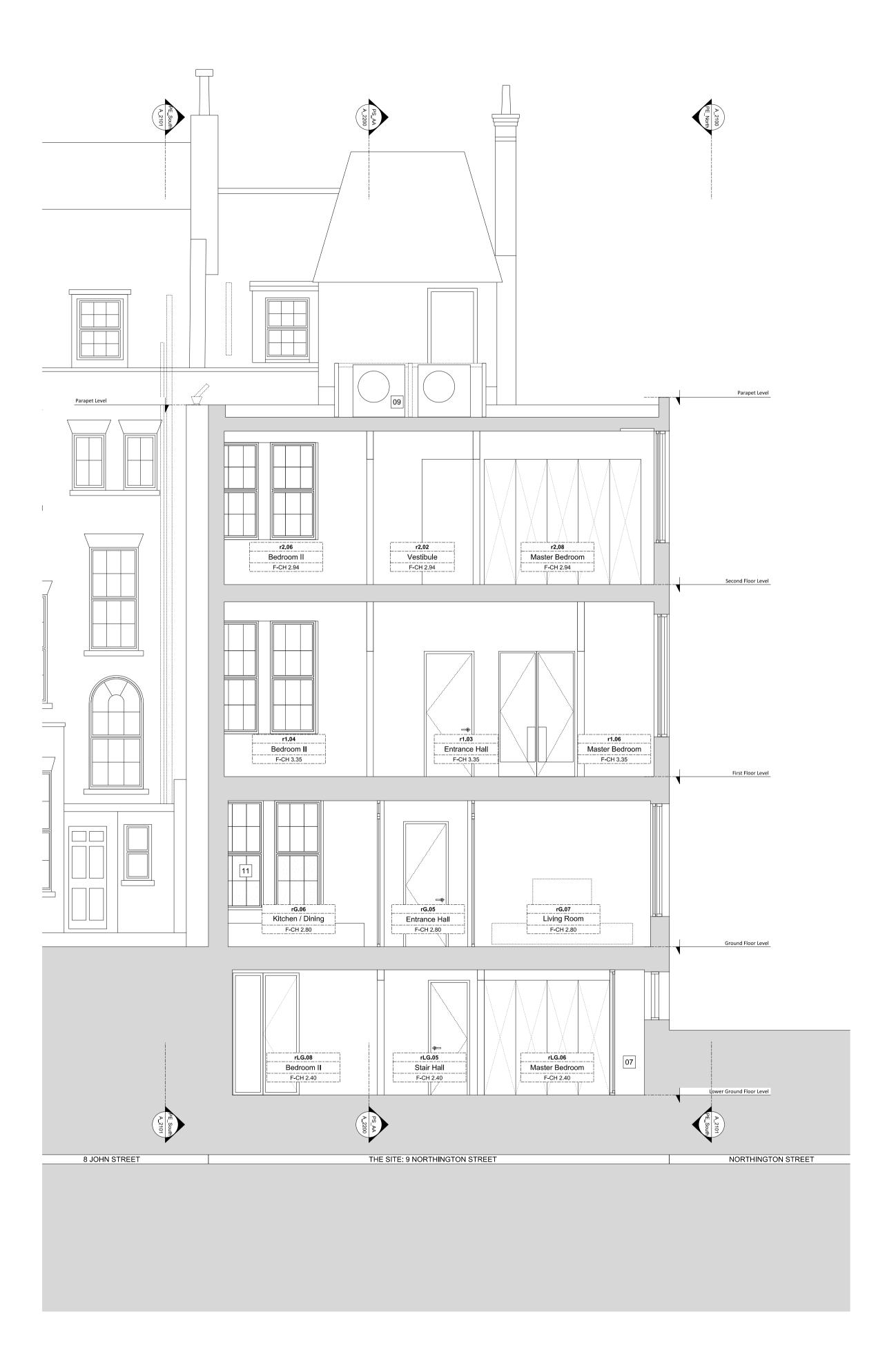


Building Regula Studio Three. 1	Architects Limited. All const ations requirements. Any er This drawing cannot be usec ements should be checked o	rors on drawings or on I to calculate areas for	nissions should be reported the purposes of valuation.
Drawing Legend			
	Existing structure		9 John St. property Not part of applicatio
	Existing flat roof		Existing brickwork
	Existing slate roof		
Proposed	key		
	Proposed structure		Proposed timber floor
	Proposed tile floor		Proposed frosted glazing
	ral Notes: on of 4no, 2 bedroom apart and repair existing brickwork		
3. Repair	existing lintels, window fram lary glazing to all existing wi	es and repaint as requ	
Proposed Notes			
	ed cycle storage- see Desig cory window to lower grour		ent for more details
03 Lightwo	ell to lower ground floor be	edroom covered with	metal guard
04 Propos of refu	ed communal bin storage- se strategy	see Design and Acces	s statement for full details
	and redecorate existing sta		
full det	ted gerenal, food and recyl ails of refuse strategy		
07 Propos buffer/	ed- covered external area, boundary to the lower gro	to front elevation, cre und floor bedrooms	eating a defensible
	privacy screen to mitigate		uro Soo Acquetie Bonort h
WP aco	source heat pumps with ti ustics for full details.		
Lane Berein	ed timber framed french d d glazing to mitigate overlo	oors to private terrac	e
		oking	
	a Biazing to integate overlo	oking	
	a grazing to integric overio	oking	
	s guzzing communique overlo	oking	
	s guzzing communicate overlo	oking	
		oking	
11 Frosted		oking	
11 Frosted			~
	PLAN		G
11 Frosted		NIN	G
11 Frosted	PLAN	NIN	G
11 Frosted Phase Drawling title Pro	PLAN	ININ ar) Elevation	- AA
11 Frosted Phase Proposition of the Proposition of	PLAN posed West (Re	ar) Elevation	<u>-</u>
11 Frosted Phase Proposition	PLAN Oposed West (Re A_2102 LP 01.03.2024	ANIN ar) Elevation Rev. Approved Updated	- AA -
11 Frosted Phase Proposition	PLAN posed West (Re A_2102 LP 01.03.2024	ANIN ar) Elevation Rev. Approved Updated	- AA
Thase Phase Proportion of the proportion of th	PLAN pposed West (Re A_2102 LP 01.03.2024 TUDIC reet, London, W1T 4QA	Address	- AA - HREE /www.studiothreearchtiects.com
The product of the pr	PLAN pposed West (Re A_2102 LP 01.03.2024 TUDIC reet, London, W1T 4QA	Address 9 Nor Londo	- AA - HREE /www.studiothreearchtiects.com





Studio Three Architects Limited, All construction works to comply with British Standards an Building Regulations requirements. Any errors on dealings or orinistions about for reported Studio Fine Principles of the Control of the Co		Issued for Planning		Date: 01.03.2024
Existing structure Existing flat roof Existing flat roof Existing flat roof Existing flat roof Existing slate roof Existing slate roof Existing slate roof Existing brickwork Proposed structure Proposed timber floor Proposed tile floor Proposed frosted glazing Proposed General Notes: 1. Creation of 4no, 2 bedroom apartments 2. Clean and repair existing brickwork 3. Repair existing lintels, window frames and repaint as required 4. Secondary glazing to all existing windows to improve thermal performance Proposed Notes: O1 Proposed cycle storage- see Design and Access statement for more details O2 Clerestory window to lower ground floor bedroom O3 Lightwell to lower ground floor bedroom covered with metal guard O4 Proposed communal bin storage- see Design and Access statement for full details of refuse strategy O5 Retain and redecorate existing staircase Dedicated genenal, food and recyling waste- See Design and Access statement for full details of refuse strategy O7 Proposed- covered external area, to front elevation, creating a defensible buffer/boundary to the lower ground floor bedrooms Timber privacy screen to mitigate overlooking O9 Reaccustics for full details. 10 Proposed timber framed french doors to private terrace	Building Studio T	Regulations requirements. Any hree. This drawing cannot be use	errors on drawings or on sed to calculate areas for	issions should be reported the purposes of valuation.
Existing flat roof Existing slate roof Existing brickwork Existing slate roof Existing brickwork Proposed key Proposed structure Proposed structure Proposed frosted glazing Proposed frosted glazing Proposed General Notes: 1. Creation of 4no, 2 bedroom apartments 2. Clean and repair existing brickwork 3. Repair existing lintels, window frames and repaint as required 4. Secondary glazing to all existing windows to improve thermal performance Proposed Notes: O1 Proposed cycle storage- see Design and Access statement for more details O2 Clerestory window to lower ground floor bedroom O3 Lightwell to lower ground floor bedroom covered with metal guard Proposed communal bin storage- see Design and Access statement for full details of refuse strategy O5 Retain and redecorate existing staircase O6 Did idetails of refuse strategy Proposed-covered external area, to front elevation, creating a defensible buffer/boundary to the lower ground floor bedrooms Timber privacy screen to mitigate overlooking O9 Ano air source heat pumps with timber acoustic enclosure. See Acoustic Report b KP acoustics for full details.				
Existing slate roof Proposed key Proposed structure Proposed deneral Notes: 1. Creation of Ano, 2 bedroom apartments 2. Clean and repair existing brickwork 3. Repair existing linlets, window frames and repaint as required 4. Secondary glazing to all existing windows to improve thermal performance Proposed Notes: 01 Proposed cycle storage- see Design and Access statement for more details 02 Clerestory window to lower ground floor bedroom 03 Lightwell to lower ground floor bedroom 04 Proposed communal bin storage- see Design and Access statement for full details of refuse strategy 05 Retain and redecorate existing staircase 06 Dedicated gerenal, food and recyling waste- See Design and Access statement for full details of refuse strategy 07 Differibundary to the lower ground floor bedrooms 08 Timber privacy screen to mitigate overlooking 09 Ye acoustics for full details.		Existing structure		9 John St. property Not part of application
Proposed key Proposed structure Proposed timber floor Proposed tile floor Proposed forested glazing Proposed file floor Proposed file floor Proposed forested glazing Proposed file floor Proposed forested glazing Proposed forested glazing Proposed forested glazing Proposed forested glazing Repair existing lintels, window frames and repaint as required Secondary glazing to all existing windows to improve thermal performance Proposed Notes: Proposed cycle storage- see Design and Access statement for more details Clerestory window to lower ground floor bedroom Lightwell to lower ground floor bedroom covered with metal guard Proposed communal bin storage- see Design and Access statement for full details of refuse strategy Retain and redecorate existing staircase Dedicated gerenal, food and recyling waste- See Design and Access statement for full details of refuse strategy Timber privacy screen to mitigate overlooking Timber privacy screen to mitigate overlooking Proposed timber framed french doors to private terrace		Existing flat roof		Existing brickwork
Proposed structure Proposed structure Proposed timber floor Proposed frosted glazing 1. Creation of 4no, 2 bedroom apartments 2. Clean and repair existing brickwork 3. Repair existing lintels, window frames and repaint as required 4. Secondary glazing to all existing windows to improve thermal performance Proposed Notes: O1 Proposed cycle storage- see Design and Access statement for more details O2 Clerestory window to lower ground floor bedroom O3 Lightwell to lower ground floor bedroom covered with metal guard O4 Proposed communal bin storage- see Design and Access statement for full details of refuse strategy O5 Retain and redecorate existing staircase O6 Dedicated gerenal, food and recyling waste- See Design and Access statement for full details of refuse strategy O7 Proposed- covered external area, to front elevation, creating a defensible buffer/boundary to the lower ground floor bedrooms O8 Timber privacy screen to mitigate overlooking 4no air source heat pumps with timber acoustic enclosure. See Acoustic Report b KP acoustics for full details.		Existing slate roof		
Proposed structure Proposed timber floor Proposed tile floor Proposed frosted glazing Clean and repair existing brickwork Repair existing lintels, window frames and repaint as required Secondary glazing to all existing windows to improve thermal performance Proposed Notes: O1 Proposed cycle storage- see Design and Access statement for more details O2 Clerestory window to lower ground floor bedroom O3 Lightwell to lower ground floor bedroom covered with metal guard O4 Proposed communal bin storage- see Design and Access statement for full details of refuse strategy O5 Retain and redecorate existing staircase O6 Dedicated gerenal, food and recyling waste- See Design and Access statement for full details of refuse strategy O7 Proposed- covered external area, to front elevation, creating a defensible buffer/boundary to the lower ground floor bedrooms O8 Timber privacy screen to mitigate overlooking O9 Ano air source heat pumps with timber acoustic enclosure. See Acoustic Report be KP acoustics for full details.				
Proposed General Notes: 1. Creation of 4no, 2 bedroom apartments 2. Clean and repair existing brickwork 3. Repair existing lintels, window frames and repaint as required 4. Secondary glazing to all existing windows to improve thermal performance Proposed Notes: O1 Proposed cycle storage- see Design and Access statement for more details O2 Clerestory window to lower ground floor bedroom O3 Lightwell to lower ground floor bedroom O4 Proposed communal bin storage- see Design and Access statement for full details of refuse strategy O5 Retain and redecorate existing staircase O6 Dedicated gerenal, food and recyling waste- See Design and Access statement for full details of refuse strategy O7 Proposed- covered external area, to front elevation, creating a defensible buffer/boundary to the lower ground floor bedrooms O8 Timber privacy screen to mitigate overlooking O9 4no air source heat pumps with timber acoustic enclosure. See Acoustic Report b KP acoustics for full details.	Pro	Proposed		Proposed timber floor
Proposed General Notes: 1. Creation of 4no, 2 bedroom apartments 2. Clean and repair existing brickwork 3. Repair existing lintels, window frames and repaint as required 4. Secondary glazing to all existing windows to improve thermal performance Proposed Notes: O1 Proposed cycle storage- see Design and Access statement for more details O2 Clerestory window to lower ground floor bedroom O3 Lightwell to lower ground floor bedroom covered with metal guard O4 Proposed communal bin storage- see Design and Access statement for full details of refuse strategy O5 Retain and redecorate existing staircase O6 Dedicated gerenal, food and recyling waste- See Design and Access statement for full details of refuse strategy O7 Proposed- covered external area, to front elevation, creating a defensible buffer/boundary to the lower ground floor bedrooms O8 Timber privacy screen to mitigate overlooking 4no air source heat pumps with timber acoustic enclosure. See Acoustic Report & KP acoustics for full details. 10 Proposed timber framed french doors to private terrace		Proposed tile floor		
 Creation of 4no, 2 bedroom apartments Clean and repair existing brickwork Repair existing lintels, window frames and repaint as required Secondary glazing to all existing windows to improve thermal performance Proposed Notes: Proposed cycle storage- see Design and Access statement for more details Clerestory window to lower ground floor bedroom Lightwell to lower ground floor bedroom covered with metal guard Proposed communal bin storage- see Design and Access statement for full details of refuse strategy Retain and redecorate existing staircase Dedicated gerenal, food and recyling waste- See Design and Access statement for full details of refuse strategy Proposed- covered external area, to front elevation, creating a defensible buffer/boundary to the lower ground floor bedrooms Timber privacy screen to mitigate overlooking Ano air source heat pumps with timber acoustic enclosure. See Acoustic Report b KP acoustics for full details. Proposed timber framed french doors to private terrace 				
	06 { 07 } 08 09 {	Dedicated gerenal, food and re full details of refuse strategy Proposed- covered external are puffer/boundary to the lower g Fimber privacy screen to mitigate Ano air source heat pumps with KP acoustics for full details.	cyling waste- See Design ea, to front elevation, cre fround floor bedrooms ate overlooking a timber acoustic enclose a doors to private terrace	eating a defensible ure. See Acoustic Report b
	11 5	PLA	NNIN	G
Drawing title Proposed Section AA	11 F			G
Proposed Section AA	Phase Drawling title	Proposed Section	AA	G
Proposed Section AA Drawing No. A_2200 Rev	Phase Drawling title	Proposed Section A_2200	AA Rev.	-
Proposed Section AA Drawing No. A_2200	Phase Drawing title Drawing No.	Proposed Section A_2200 LP	Rev.	-
Drawing No. A_2200 Rev. - Drawn LP Approved AA	Phase Drawing No. Drawn First revision	Proposed Section A_2200 LP 01.03.2024	Rev. Approved Updated	- AA -
Drawing No. A_2200 Rev. - Drawn LP Approved AA First revision 01.03.2024 - Updated -	Phase Drawing No. Drawing No. Prawing No. Prawing No. Prawing No. Prawing No.	A_2200 LP 01.03.2024 CTUDIC dotte Street, London, W1T 4QA	Rev. Approved Updated Updated Address 9 Nor-Londo	- AA - HREE www.studiothreearchtiects.co
Proposed Section AA Prawing No. A_2200	Thase Drawing No. Drawing No. Project No.	Proposed Section A_2200 LP 01.03.2024 TUDI dotte Street, London, W1T 4QA 23037 9 Northington St.	Rev. Approved Updated Updated Address 9 Nor-Londo	- AA - HREE www.studiothreearchtiects.co



Studio Three Architects Limited. All Building Regulations requirements. Ar Studio Three. This drawing cannot be measurements should be check	ny errors on drawings or om used to calculate areas for	ssions should be repor he purposes of valuation
Drawing Legend Existing key		
Existing structure		9 John St. propert Not part of applica
Existing flat roof		Existing brickwork
Existing slate roof		
Proposed key		
Proposed structure		Proposed timber floor
Proposed tile floor		Proposed frosted glazing
Proposed General Notes: 1. Creation of 4no, 2 bedroom a	partments	
Clean and repair existing brick Repair existing lintels, window Secondary glazing to all existing	frames and repaint as requi	
Proposed Notes:		
Proposed cycle storage- see I Clerestory window to lower g	-	nt for more details
03 Lightwell to lower ground flo		netal guard
Proposed communal bin stor of refuse strategy Retain and redecorate existing		statement for full det
Dedicated gerenal, food and full details of refuse strategy		and Access statement
07 Proposed- covered external a buffer/boundary to the lower	r ground floor bedrooms	ating a defensible
O8 Timber privacy screen to miti 4no air source heat pumps w KP acoustics for full details.		re. See Acoustic Repoi
10 Proposed timber framed frem		
11 Frosted glazing to mitigate ov	verlooking	
	NNIN	G
PLA		G
PLA		G
Proposed Section		G
Drawing title Proposed Section Drawing No.	n BB	G
Proposed Section Prawing No. A_2201 Drawn LP	n BB	-
PLA Drawing title Proposed Section Drawing No. A_2201 Drawn LP First revision 01.03.2024	Rev. Approved Updated	- AA -
PLA Drawing title Proposed Section A_2201 Drawn LP First revision 01.03.2024 STUDI 97 Charlotte Street, London, W1T 4QA Project No.	Rev. Approved Updated OTH https://A	- AA -
PLA Drawing title Proposed Section A_2201 Drawn LP First revision 01.03.2024 STUDI 97 Charlotte Street, London, W1T 4QA	Rev. Approved Updated OTH https://A	- AA - IREI www.studiothreearchtiects
Proposed Section Proposed Section Prawing No. A_2201 Drawn LP First revision 01.03.2024 STUDI 97 Charlotte Street, London, W1T 4QA Project No. 23037	Rev. Approved Updated Address 9 Nort Londo	- AA - IREI www.studiothreearchtiects