



**DRAWING INFORMATION**

Rev.	Purpose	Date
-	Issued for Planning	01.03.2024

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**Drawing Legend**

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	Existing structure
	Existing flat roof
	Existing slate roof
	9 John St. property Not part of application
	Existing brickwork

Proposed key	
	Proposed structure
	Proposed tile floor
	Proposed timber floor
	Proposed frosted glazing

- Proposed General Notes:**
- Creation of 4no, 2 bedroom apartments
  - Clean and repair existing brickwork
  - Repair existing bricks, window frames and paint as required
  - Secondary glazing to all existing windows to improve thermal performance

- Proposed Notes:**
- Proposed cycle storage- see Design and Access statement for more details
  - Clerestory window to lower ground floor bedroom
  - Lightwell to lower ground floor bedroom covered with metal guard
  - Proposed communal bin storage- see Design and Access statement for full details of refuse strategy
  - Retain and redecorate existing staircase
  - Dedicated general, food and recycling waste- See Design and Access statement for full details of refuse strategy
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  - Timber privacy screen to mitigate overlooking
  - 4no air source heat pumps with timber acoustic enclosure. See Acoustic Report by KP acoustics for full details.
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Phase

# PLANNING

Drawing title  
Proposed Lower Ground Floor Plan

Drawing No.	A_1999	Rev.	-
Drawn	LP	Approved	AA
First revision	01.03.2024	Updated	-

## STUDIO THREE

97 Charlotte Street, London, W1T 4GA <https://www.studiothreearchitects.com>

Project No. 23037  
9 Northington St.  
London WC1N 2JF

Address 9 Northington Street  
London WC1N 2JF

Client MHL Ltd.

Scale 1:50 @ A1 / 1:100 @ A3

N

0m | 1m | 2m | 4m | 5m



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Phase

# PLANNING

Drawing title  
Proposed Ground Floor Plan

Drawing No.	A_2000	Rev.	-
Drawn	LP	Approved	AA
First revision	01.03.2024	Updated	-

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Phase

# PLANNING

Drawing title  
**Proposed First Floor Plan**

Drawing No.	A_2001	Rev.	-
Drawn	LP	Approved	AA
First revision	01.03.2024	Updated	-

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Phase

# PLANNING

Drawing title  
Proposed Second Floor Plan

Drawing No.	A_2002	Rev.	-
Drawn	LP	Approved	AA
First revision	01.03.2024	Updated	-

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Project No. 23037  
9 Northington St.  
London WC1N 2JF

Address 9 Northington Street  
London WC1N 2JF

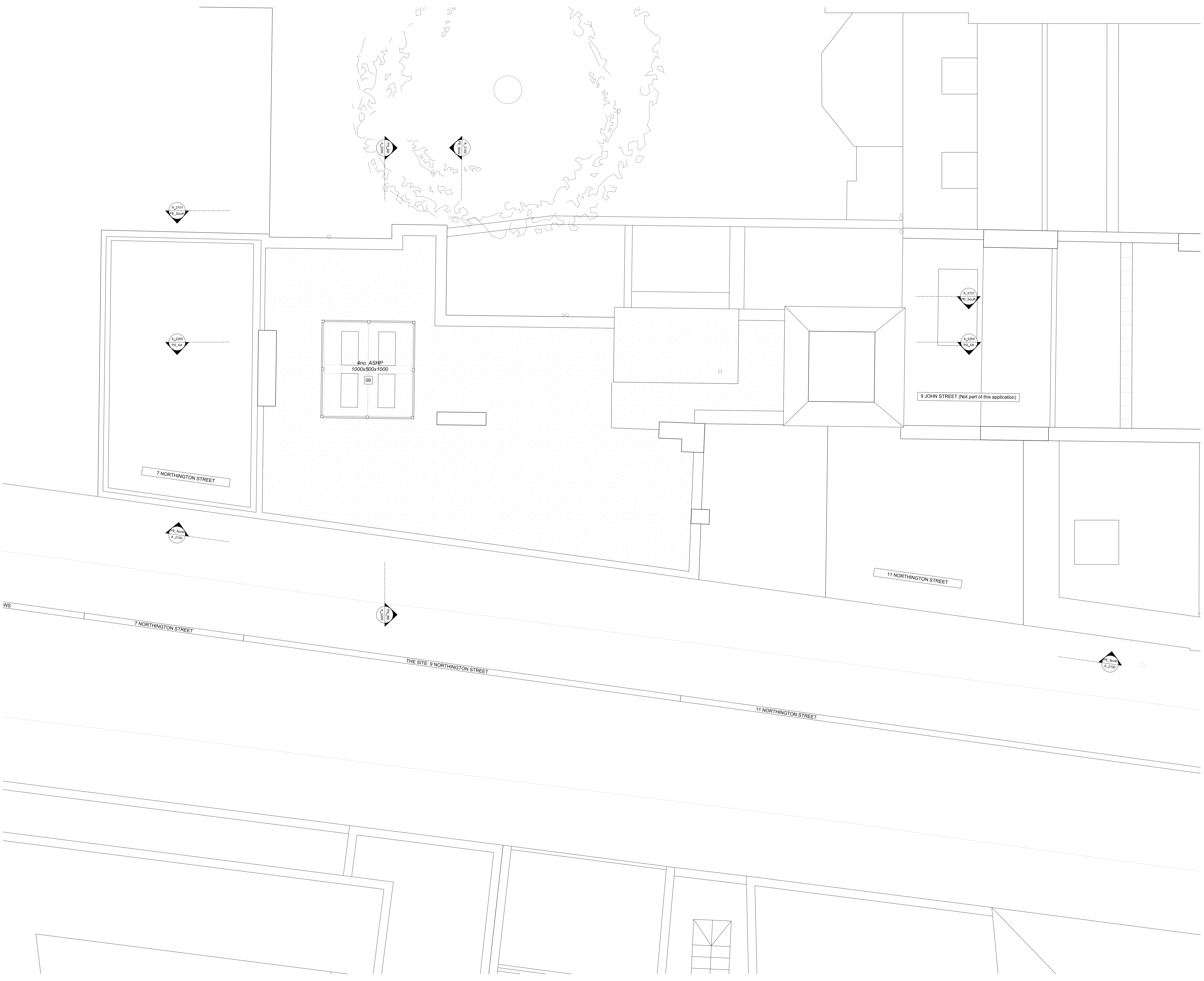
Client MHL Ltd.

Scale 1:50 @ A1 / 1:100 @ A3

N







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**Drawing Legend**

Existing key

	Existing structure		9 John St. property Not part of application
	Existing flat roof		Existing brickwork
	Existing slate roof		

Proposed key

	Proposed structure		Proposed timber floor
	Proposed tile floor		Proposed frosted glazing

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Phase

# PLANNING

Drawing title

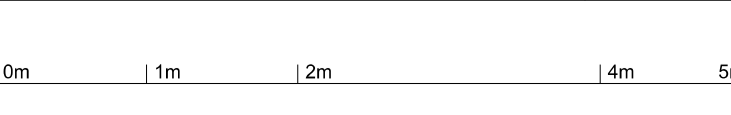
## Proposed Roof Plan

Drawing No.	A_2004	Rev.	-
Drawn	LP	Approved	AA
First revision	01.03.2024	Updated	-

**STUDIO THREE**  
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Client MHL Ltd.  
 Scale 1:50 @ A1 / 1:100 @ A3





14 KING'S MEWS      7 NORTHINGTON STREET      THE SITE: 9 NORTHINGTON STREET      11 NORTHINGTON STREET

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Phase

# PLANNING

Drawing title  
Proposed North Elevation

Drawing No.	A_2100	Rev.	-
Drawn	LP	Approved	AA
First revision	01.03.2024	Updated	-

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Phase

# PLANNING

Drawing title  
Proposed South Elevation

Drawing No.	A_2101	Rev.	-
Drawn	LP	Approved	AA
First revision	01.03.2024	Updated	-

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Client MHL Ltd.  
Scale 1:50 @ A1 / 1:100 @ A3

0m | 1m | 2m | 4m | 5m



9 JOHN STREET (Not part of this application) | THE SITE: 9 NORTHINGTON STREET | 7 NORTHINGTON STREET



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Phase

# PLANNING

Drawing title

## Proposed West (Rear) Elevation

Drawing No.	A_2102	Rev.	-
Drawn	LP	Approved	AA
First revision	01.03.2024	Updated	-

# STUDIO THREE

97 Charlotte Street, London, W1T 4QA <https://www.studiothreearchitects.com>

Project No. 23037  
9 Northington St.

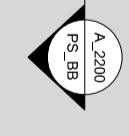
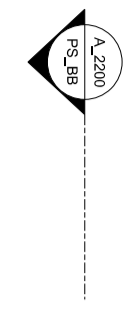
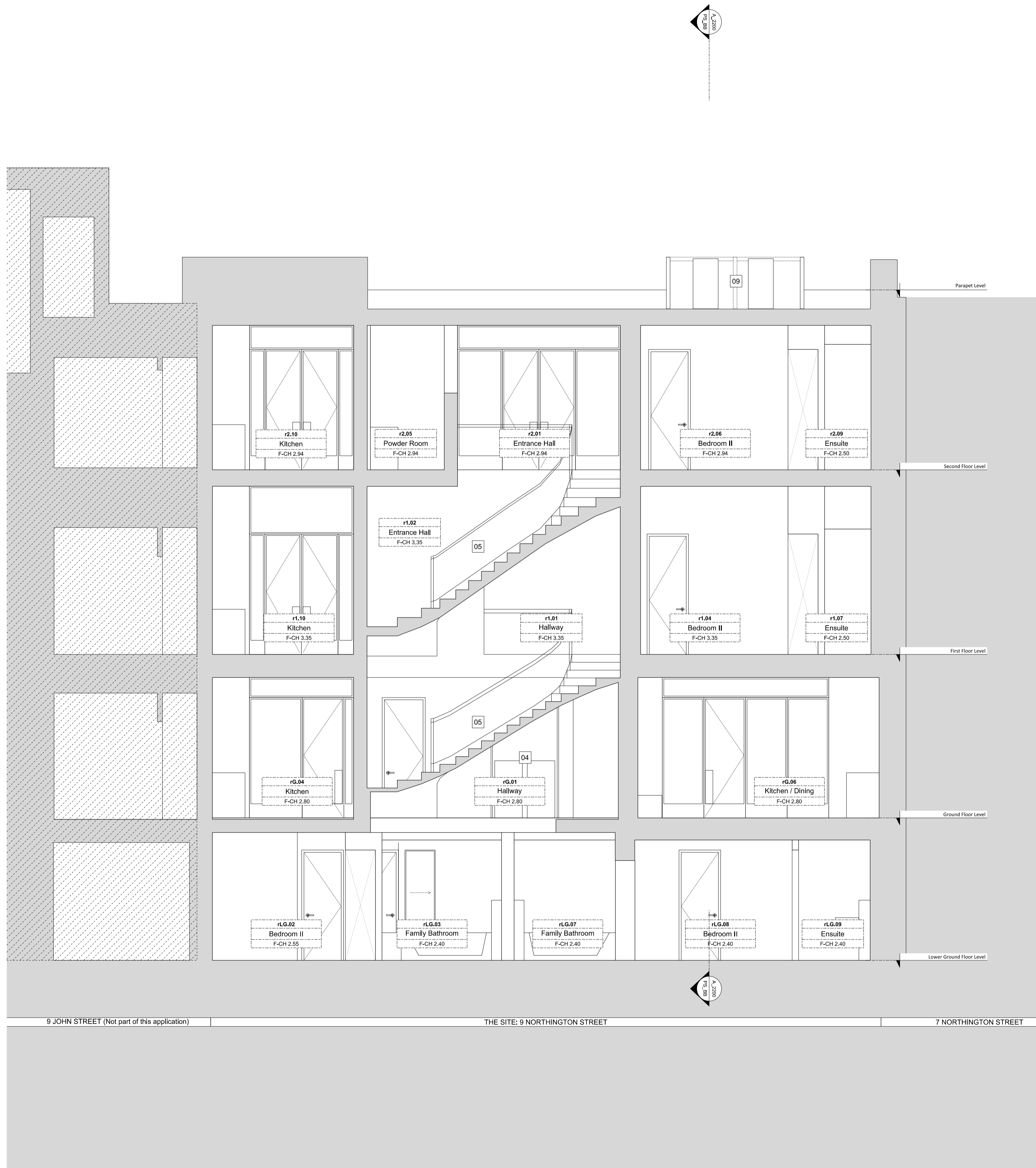
Address 9 Northington Street  
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# PLANNING

Drawing title: Proposed Section AA

Drawing No.	A_2200	Rev.	-
Drawn	LP	Approved	AA
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Phase

# PLANNING

Drawing title

## Proposed Section BB

Drawing No.	A_2201	Rev.	-
Drawn	LP	Approved	AA
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