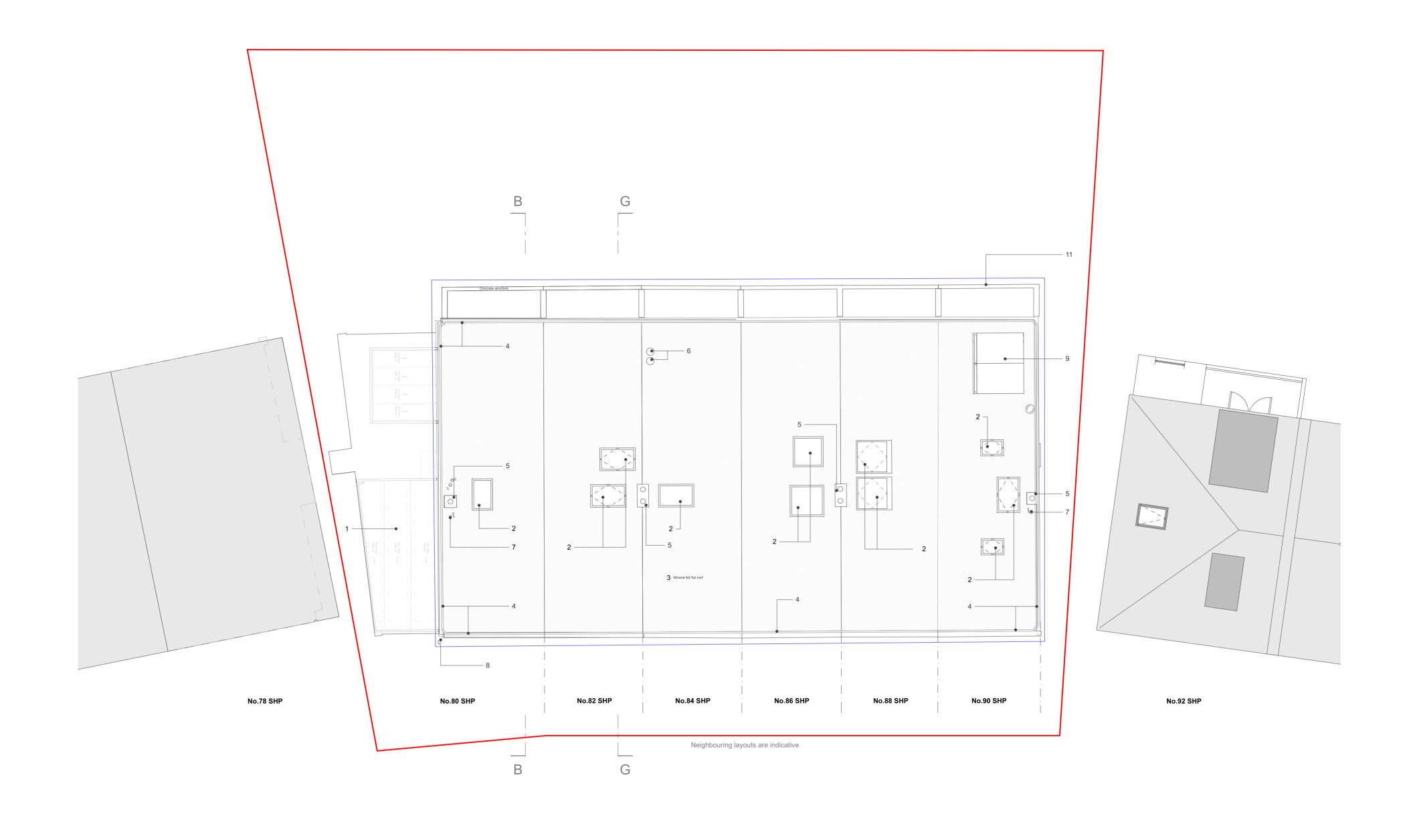
## Appendix 2

Existing drawings



No80 to 90 SHP - Existing Terrace Roof Plan

1:100

Key Existing No80 to 90 South Hill Park, NW3 2SN Development proposal boundary

Site boundary

1. Existing roof extension at no80 SHP - refer to no80 SHP application
2. Existing roof lights
3. Flat roof, felt finish
4. Roof perimeter upstand, with UPVC flashing
5. Existing flue stack
6. Existing stainless steel flue
7. RWP
8. Incongruous SVP

No80 to 90 South Hill 8. Incongruous SVP Park, NW3 2SN

9. Existing solar panels at no90 SHP 10. Existing greenhouse - refer to no80 SHP application ref. 2024/0639/P &

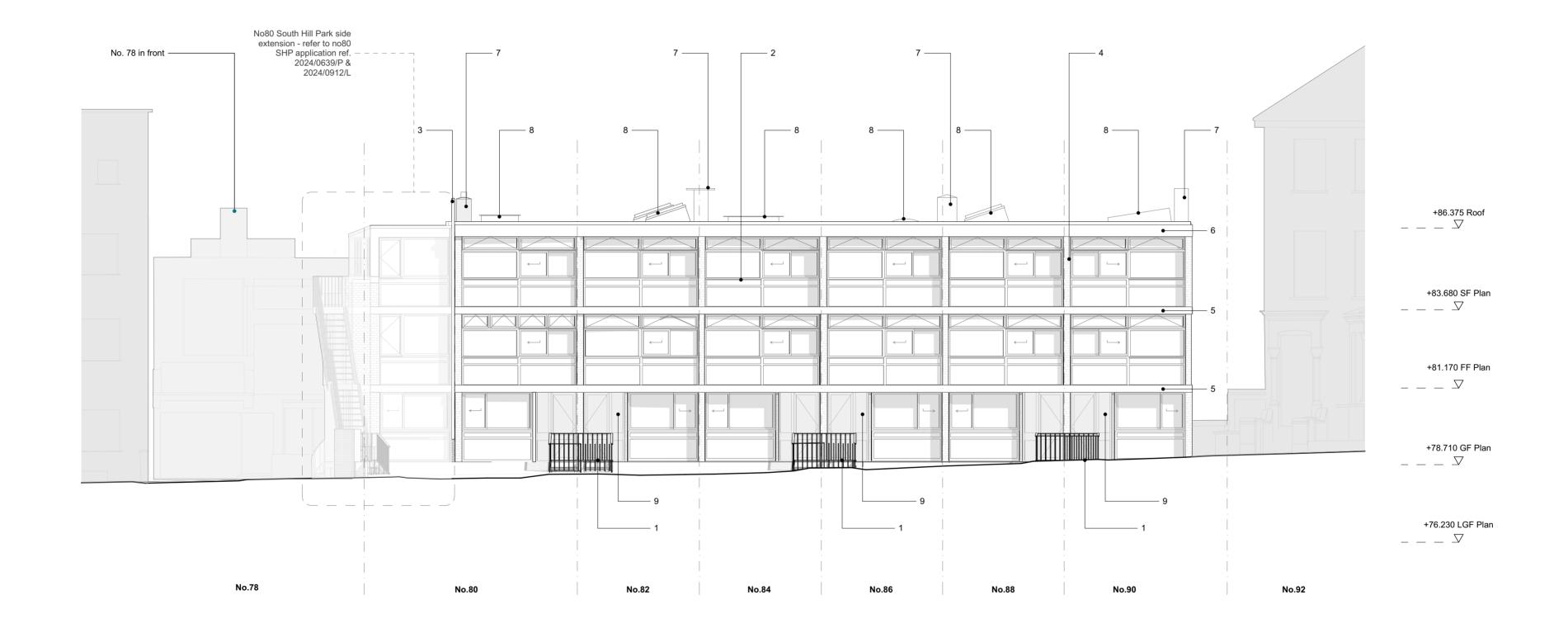
2024/0912/L 11. Exposed concrete beams THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS

0 1 2 3m

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Project: 2203 South Hill Park Terrace Client: No80 to No90 South Hill Park Drawing: No80 to 90 SHP Existing Roof Plan Drawing no: 2203-3-010

Rev: Status: Stage 3 Scale: 1:100@A2 Date: 08/03/2024 citizens**design**bureau t: 0203 095 9732 w: www.citizensdesignbureau.net



No80 to 90 SHP - Existing Front Terrace Elevation in Context

1:100

Key

Existing

Note: No works proposed to greyed out areas other than masonry / concrete repairs. Refer to Design and Access Statement for more information. For more information regarding works to no80 SHP refer to specific application ref. 2024/0639/P & 2024/0912/L

Existing metal balustrade
 Existing aluminium windows
 Incongruous SVP
 Existing brickwork
 Existing concrete slab
 Existing concrete ring beam
 Secretary fluoratories

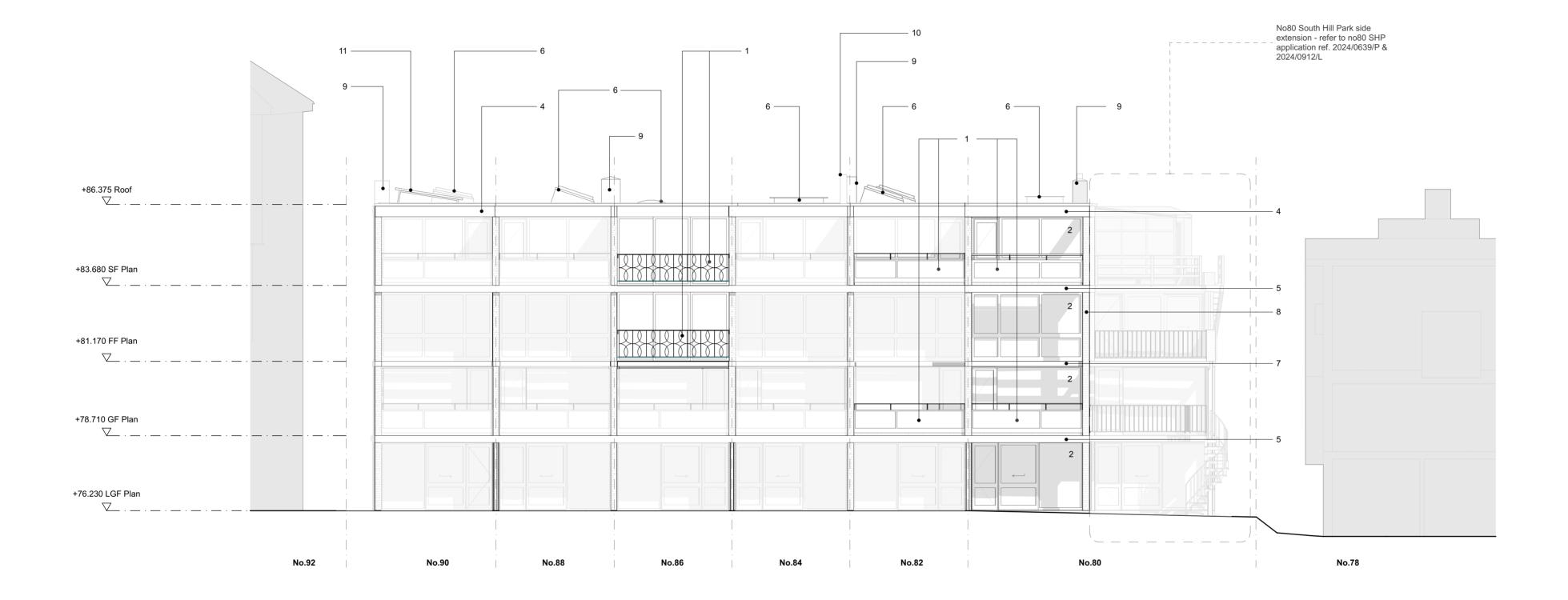
7. Existing flue stacks 8. Existing rooflights 9. Existing porch entrances

THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS THE DRAWING AND THE WORKS DEPICTED ARE THE COPYRIGHT OF THIS PRACTICE AND MAY NOT BE REPRODUCED EXCEPT BY WRITTEN PERMISSION

0 1 2 3m

Project: 2203 80-90 South Hill Park
Client: No80 to No90 South Hill Park
Drawing: No80 to 90 SHP - Existing
Front Terrace Elevation in
Context
Drawing no: 2203-3-015 Rev: Status: Stage 3
Scale: 1:100@A2 Date: 08/03/2024

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No80 to 90 SHP - Existing Rear Terrace Elevation in Context

1:100

Key Existing

Note: No works proposed to greyed out areas other than masonry / concrete repairs. Refer to Design and Access Statement for more information. For more information regarding works to no80 SHP refer to specific application ref. 2024/0639/P & 2024/0912/L

Existing balustrade dilapidated or incongruous modern addition
 Existing single glazed soft timber windows/ doors
 Existing flat roof insulation and bitumen waterproofing finish
 Existing concrete ring beam
 Existing concrete slab
 Existing rooflight
 Dilapidated timber brise soleil
 Existing brickwork
 Existing flue stack
 Existing salinless steel flues
 Existing solar panels at no90 SHP



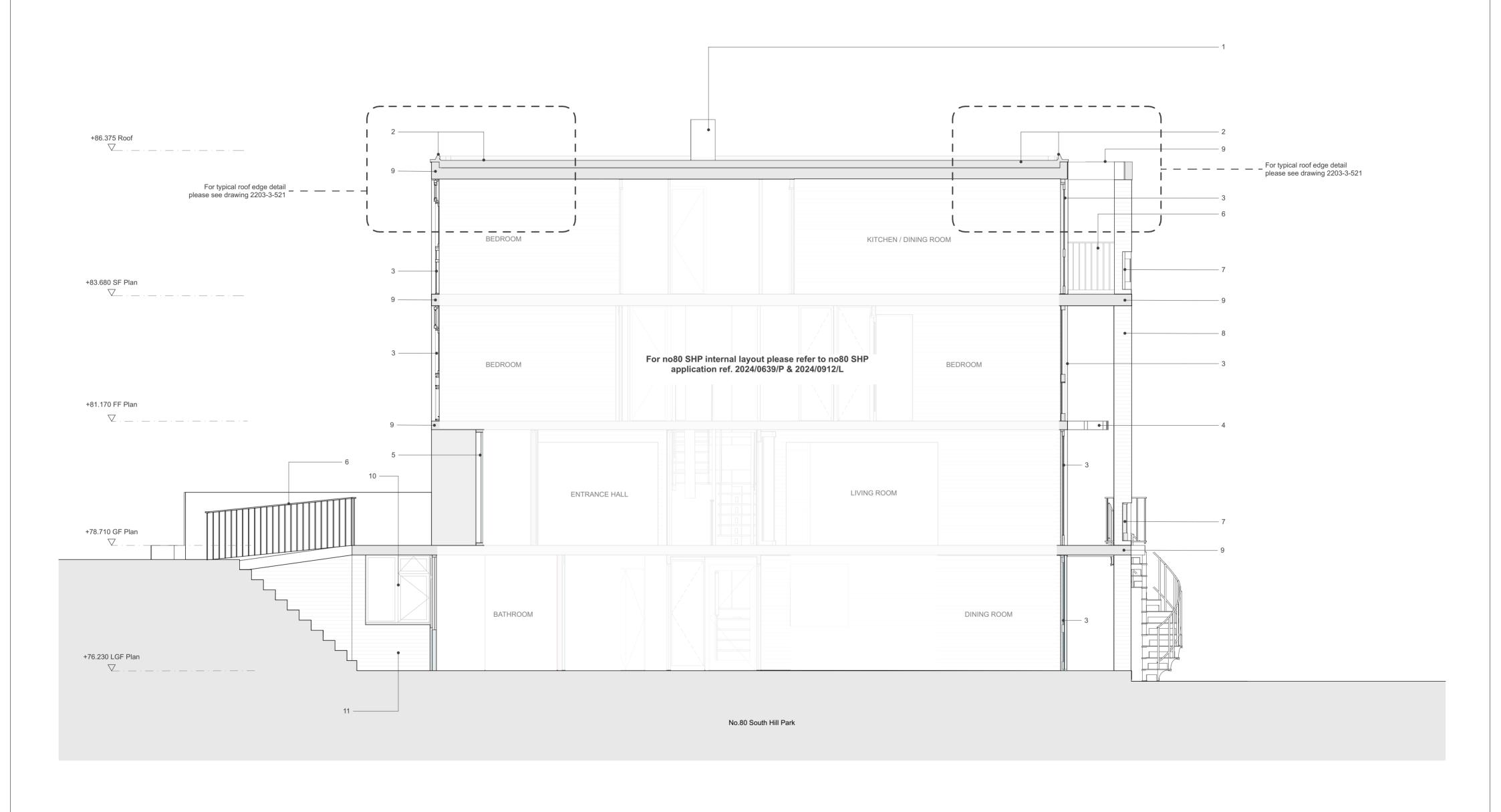
THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS

THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS THE DRAWING AND THE WORKS DEPICTED ARE THE COPYRIGHT OF THIS PRACTICE AND MAY NOT BE REPRODUCED EXCEPT BY WRITTEN PERMISSION

0 1 2 3m

Project: 2203 80-90 South Hill Park
Client: No80 to No90 South Hill Park
Drawing: No80 to 90 SHP - Existing
Rear Terrace Elevation in
Context
Drawing no: 2203-3-016 Status: Stage 3 Scale: 1:100@A2 Date: 08/03/2024 citizens **design** bureau

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No80 to No90 South Hill Park - Existing Section B through No80 SHP

1:50

Key Existing

1. Existing flue stack
2. Existing flat roof and UPVC flashing edge detail
3. Aluminium windows
4. Dilapidated timber brise soleil
5. Existing single glazed soft timber windows/ doors
6. Metal railing
7. Timber balustrade
8. Existing brickwork
9. Exposed concrete slabs/ beams
10. UPVC window

11. External front access to Lower Ground Floor. Note the LGF access layout differs along the terrace units i.e. currently used as external bin store with no access to the LGF at no80 SHP For the internal layout of no80 SHP, refer to no80 application ref. 2024/0639/P & 2024/0912/L



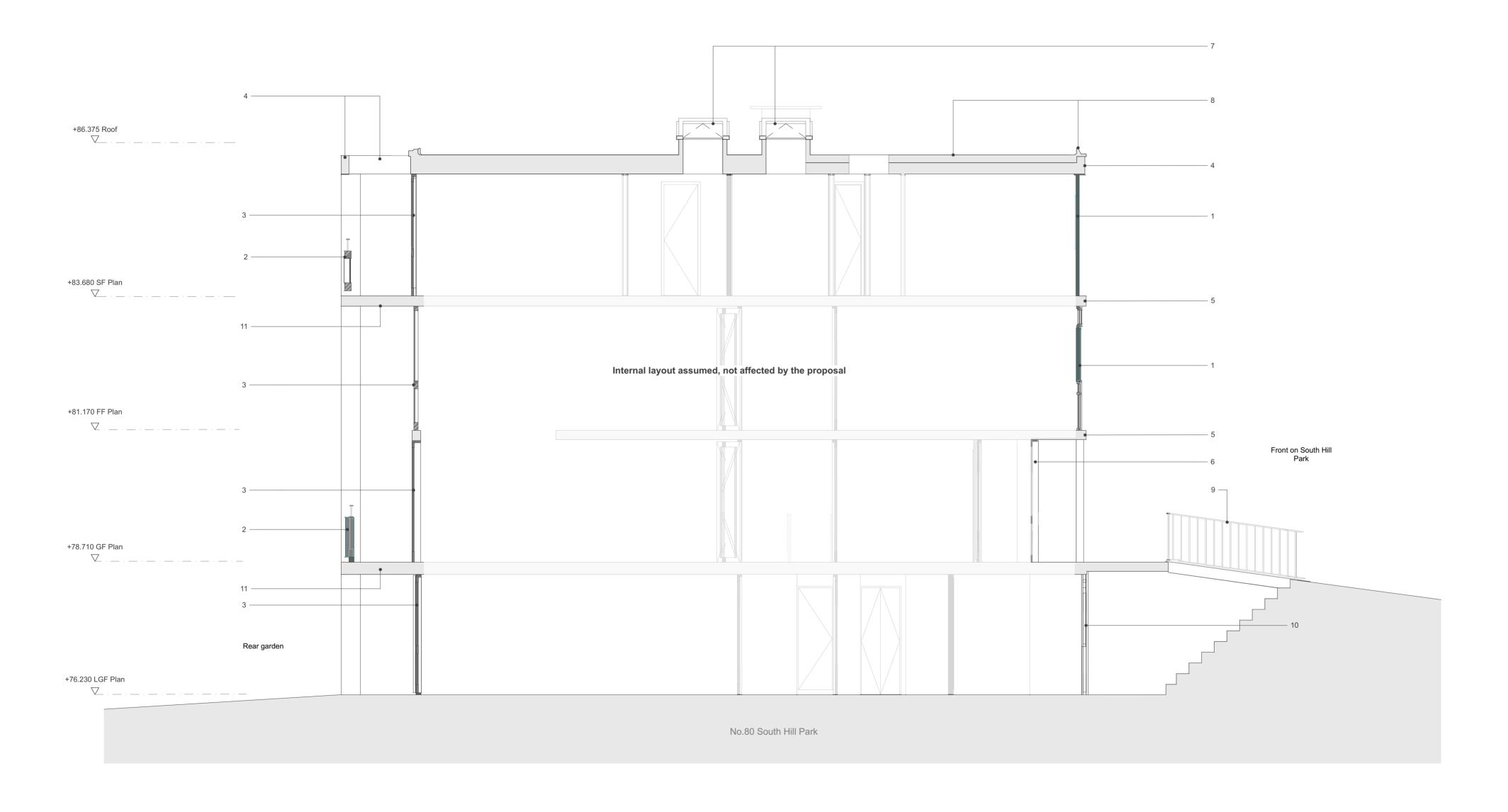
THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS

0.5

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Project: 2203 South Hill Park Terrace Client: No80 to No90 South Hill Park Drawing: Section B - Existing Section through no80 SHP Drawing no: 2203-3-025 Rev: Status: Stage 3
Scale: 1:50@A2 Date: 08/03/2024

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No80 to 90 SHP - Existing Typical Section G

1:50

Key Existing

1. Existing front aluminium windows
2. Existing glazed timber balustrade
3. Existing windows at rear (construction and materials varies)
4. Existing concrete ring beam
5. Existing concrete slab
6. Existing front porch entrance
7. Existing rooflights
8. Existing flat roof, with bitumen finish and UPVC flashing edge detail
9. Metal railing
10. Existing Lower Ground Floor entrance
11. Concrete rear balcony

THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS THE DRAWING AND THE WORKS DEPICTED ARE THE COPYRIGHT OF THIS PRACTICE AND MAY NOT BE REPRODUCED EXCEPT BY WRITTEN PERMISSION

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Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: Section G - Existing typical
terrace Section through no82
SHP
Drawing no: 2203-3-026 Rev: Status: Stage 3
Scale: 1:50@A2 Date: 08/03/2024

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