

Appendix 2

Existing drawings



010 No80 to 90 SHP - Existing Terrace Roof Plan 1:100

- Key**
- Existing
 - No80 to 90 South Hill Park, NW3 2SN Development proposal boundary
 - No80 to 90 South Hill Park, NW3 2SN Site boundary
- Existing roof extension at no80 SHP - refer to no80 SHP application
 - Existing roof lights
 - Flat roof, felt finish
 - Roof perimeter upstand, with UPVC flashing
 - Existing flue stack
 - Existing stainless steel flue
 - RWP
 - Incongruous SVP
 - Existing solar panels at no90 SHP
 - Existing greenhouse - refer to no80 SHP application ref. 2024/0639/P & 2024/0912/L
 - Exposed concrete beams

THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS

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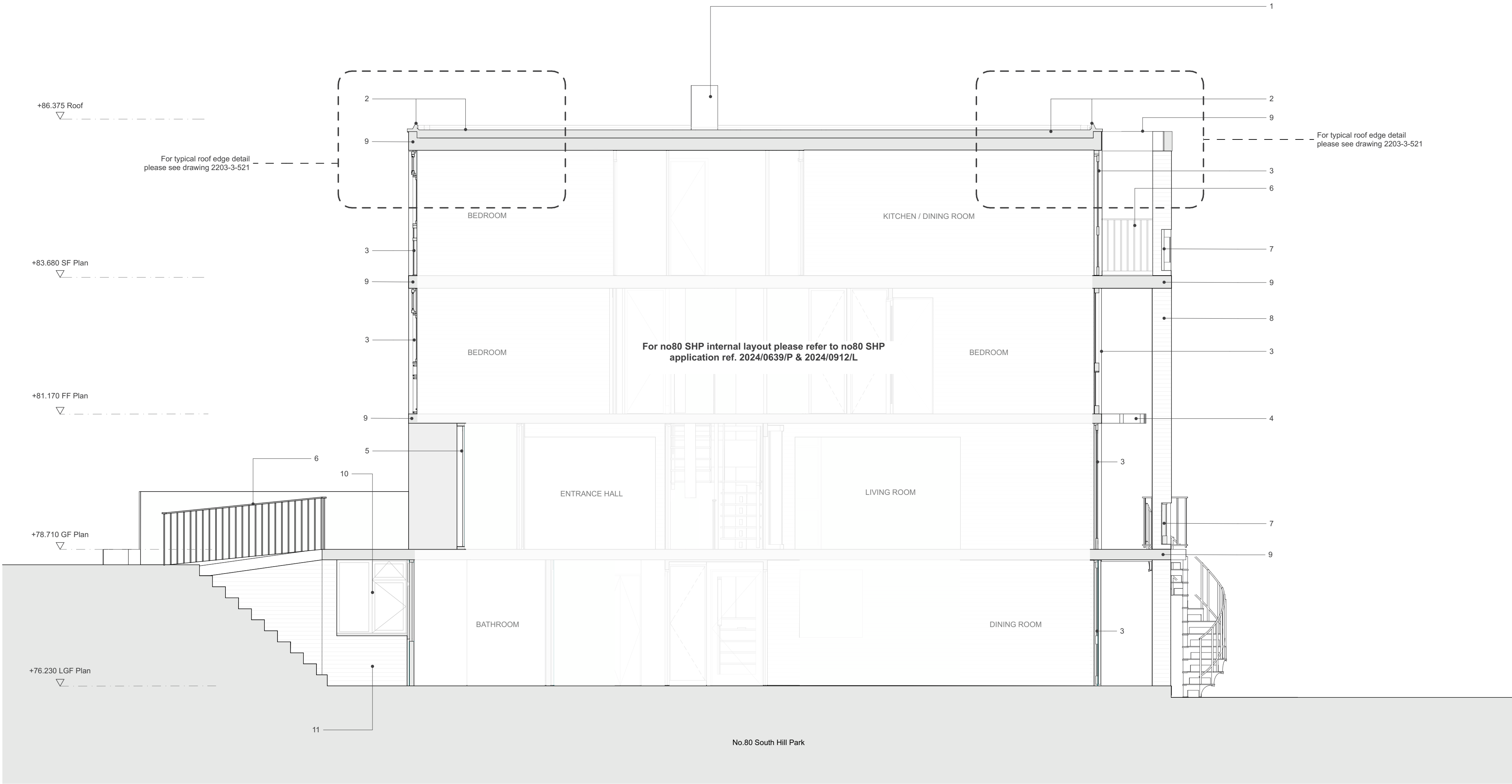


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Rev.	Date:	Description

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: No80 to 90 SHP Existing Roof Plan
Drawing no: 2203-3-010
Rev: Status: Stage 3
Scale: 1:100@A2 Date: 08/03/2024

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No80 to No90 South Hill Park - Existing Section B through No80 SHP

1:50

Key

Existing

1. Existing flue stack

2. Existing flat roof and UPVC flashing edge detail

3. Aluminium windows

4. Dilapidated timber brise soleil

5. Existing single glazed soft timber windows/ doors

6. Metal railing

7. Timber balustrade

8. Existing brickwork

9. Exposed concrete slabs/ beams

10. UPVC window

11. External front access to Lower Ground Floor.

Note the LGF access layout differs along the terrace units i.e. currently used as external bin store with no access to the LGF at no80 SHP

For the internal layout of no80 SHP, refer to no80 application ref. 2024/0639/P & 2024/0912/L

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Rev.	Date:	Description

Project: 2203 South Hill Park Terrace

Client: No80 to No90 South Hill Park

Drawing: Section B - Existing Section through no80 SHP

Drawing no: 2203-3-025

Rev: Status: Stage 3

Scale: 1:50@A2 Date: 08/03/2024

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This architectural floor plan shows a building with a complex internal layout. A red dashed line, labeled 'GL' at the left end and 'L' at the right end, runs diagonally across the plan, likely representing a structural element or a boundary. The plan includes various rooms, corridors, and a central staircase area. A north arrow is located in the bottom left corner.

Rev:	Date:	Description

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: Section G - Existing typical
terrace Section through no82
SHP
Drawing no: 2203-3-026
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 08/03/2024

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