

Appendix 2

Demolition drawings



050 No80 to 90 SHP - Demolition Roof Plan 1:100

Key

- Existing
- Existing to be demolished/ removed
- No80 to 90 South Hill Park, NW3 2SN Development proposal boundary
- No80 to 90 South Hill Park, NW3 2SN Site boundary

- Existing roof extension at no80 SHP - refer to no80 SHP application ref. 2024/0639/P & 2024/0912/L
- Existing rooflight replaced or refitted within new roof construction
- Flat roof, felt finish replaced
- Roof perimeter upstand and UPVC flashing replaced with new detail
- Existing flue stack repointed
- Existing stainless steel flues retained (unaffected)
- Existing RWP retained
- Incongruous SVP removed
- New opening in roof created or existing opening enlarged to accept new rooflight
- Existing solar panels retained at no90 SHP
- Existing exposed concrete rear beams

THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS

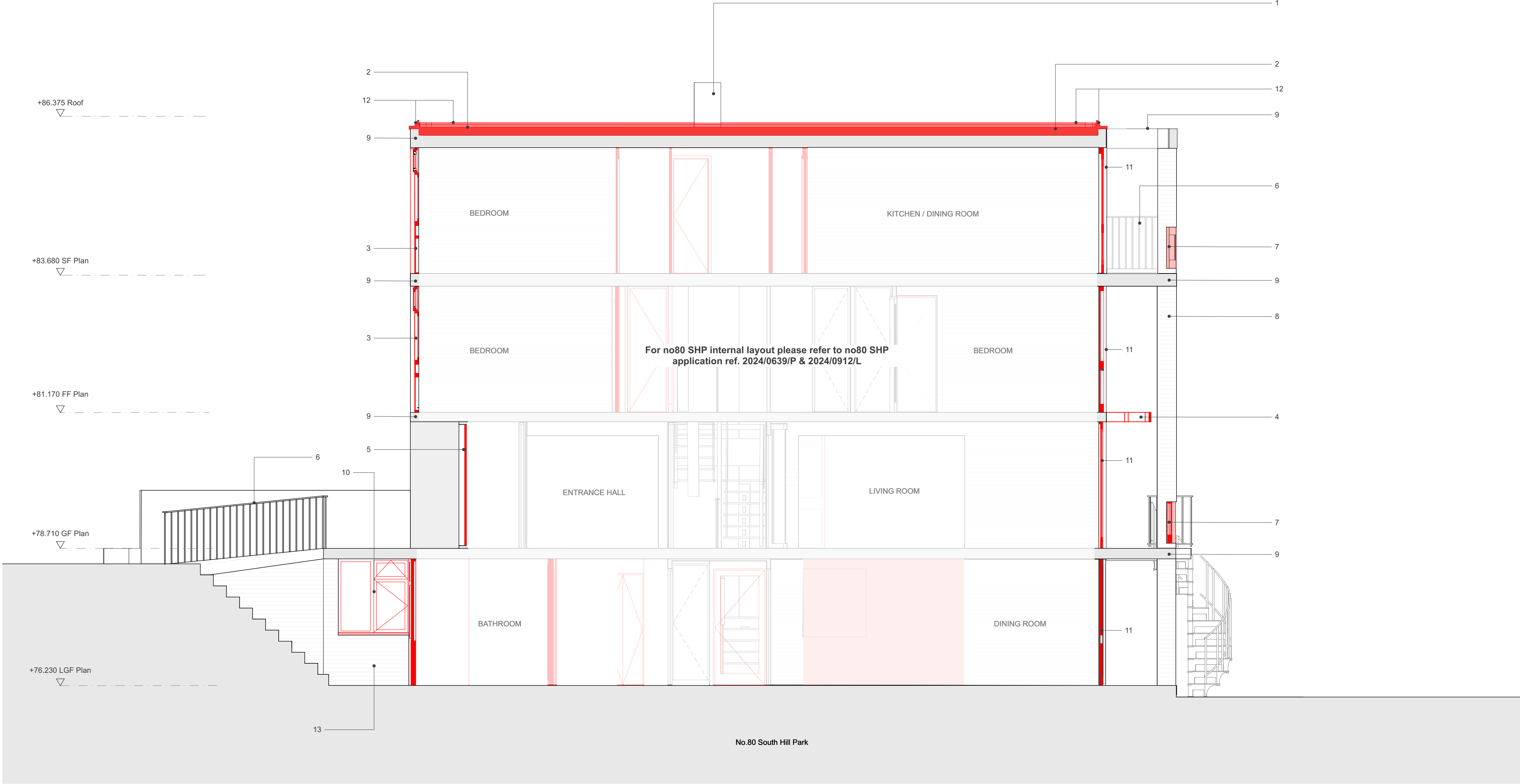
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Rev	Date	Description

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: No80 to 90 SHP - Demolition Roof Plan
Drawing no: 2203-3-050
Rev: Status: Stage 3
Scale: 1:100@A2 Date: 08/03/2024

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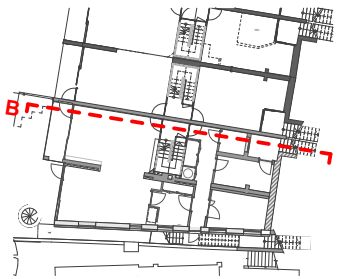
055 No80 to No90 South Hill Park - Section B - Demolition Section B through no80 SHP 1:50

Key

- Existing
- Existing to be demolished/ removed

1.Existing flue stack
2.Existing flat roof insulation and bitumen waterproofing finish replaced with new insulation and waterproofing to comply with current Building Regulations
Existing timber joists and soffit underneath retained where possible
3. Existing front aluminium windows replaced with new double glazed hardwood timber framed windows to match original design from 1950s
4. Dilapidated timber brise soleil to be replaced to match existing
5. Existing single glazed soft timber windows/ doors replaced with new double glazed hardwood timber framed windows to match original design from 1950s
6. Metal railing retained and refurbished
7. Existing glazed timber balustrade replaced where dilapidated or incongruous modern addition with new balustrade to match original design from 1950s.

8. Existing brickwork repaired/ repointed as required with matching brickwork/ mortar
9. Exposed concrete slabs/ beams repaired as required
10. Existing UPVC window replaced with new double glazed hardwood timber framed windows to match original design from 1950s
11. Existing single glazed soft timber windows/ doors replaced with new double glazed hardwood timber framed windows to match original design from 1950s, to rear of no80SHP only
12. Existing perimeter upstand and UPVC flashing replaced
13. External front access to Lower Ground Floor
Note: the LGF access layout differs along the terrace units i.e. currently used as external bin store with no access to the LGF at no80 SHP
For the internal layout of no80 SHP, refer to no80 application ref. 2024/0639/P & 2024/0912/L



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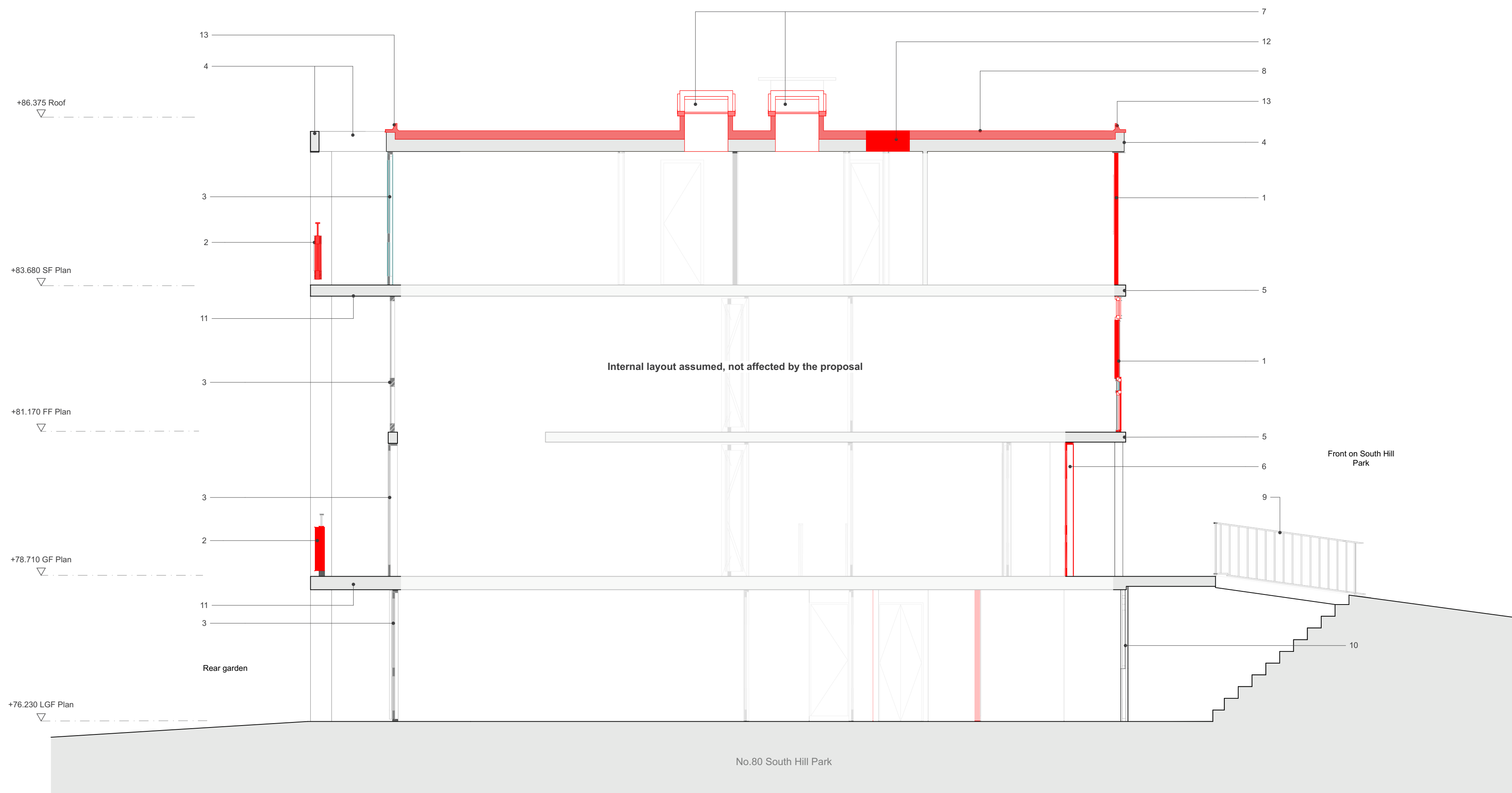
N

0 0.5 1 2m

Rev.	Date:	Description

Project: 2203 South Hill Park Terrace
Client: No80 to No90 South Hill Park
Drawing: Section B - Demolition
Section through no80 SHP
Drawing no: 2203-3-055
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 08/03/2024

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No80 to 90 SHP - Demolition typical Terrace Section through no82 SHP

Key