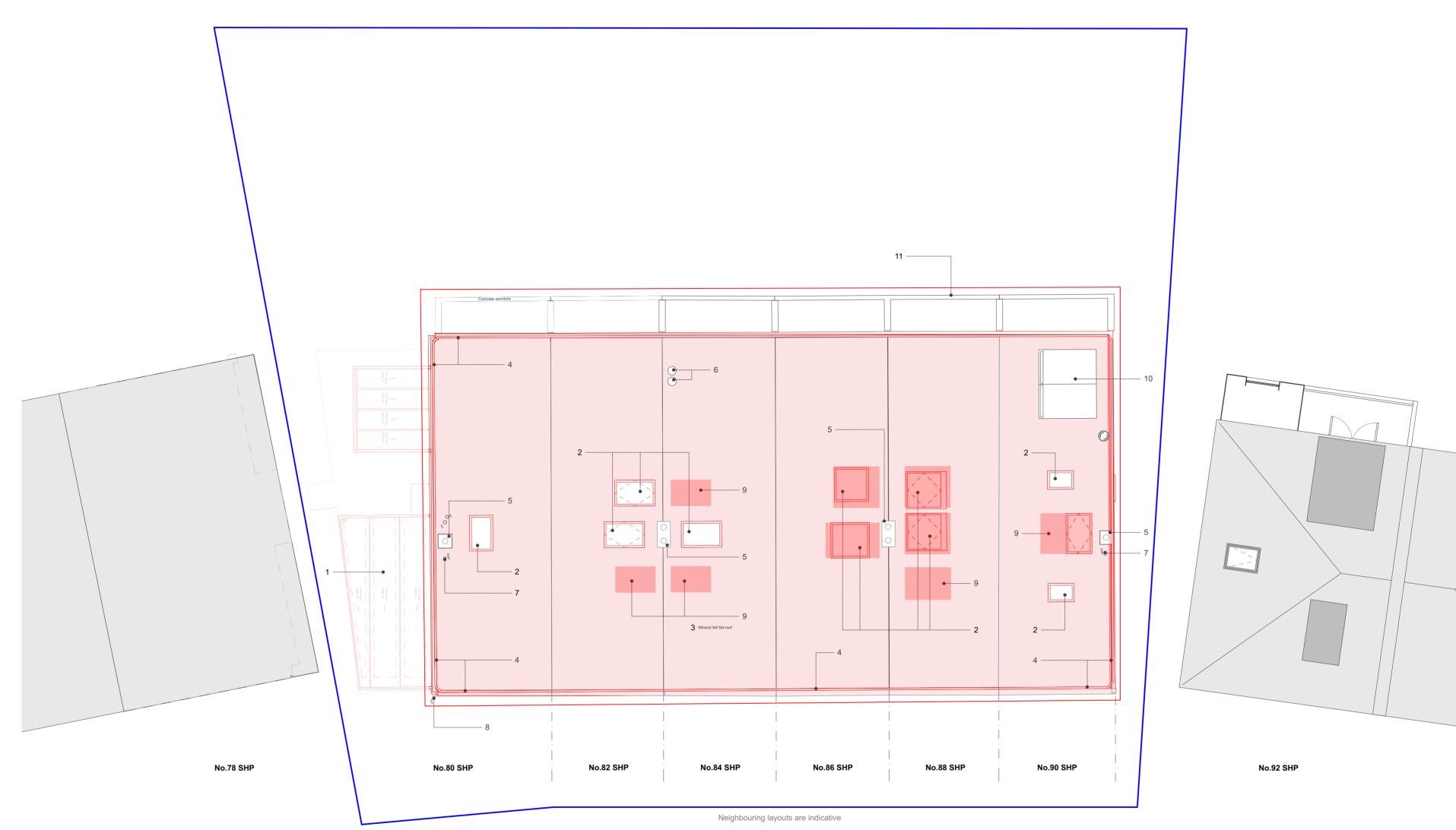
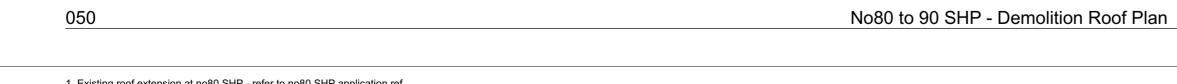
Appendix 2 Demolition drawings





Кеу	 Existing roof extension at no80 SHP - refer to no80 SHP application ref. 2024/0639/P & 2024/0912/L
Existing	2. Existing rooflight replaced or refitted within new roof construction
Existing to be demolished/ removed	 Flat roof, felt finish replaced Roof perimeter upstand and UPVC flashing replaced with new detail Existing flue stack repointed
No80 to 90 South Hill Park, NW3 2SN Development proposal boundary	 Existing stainless steel flues retained (unaffected) Existing RWP retained Incongruous SVP removed New opening in roof created or existing opening enlarged to accept new
 No80 to 90 South Hill Park, NW3 2SN Site boundary 	rooflight 10. Existing solar panels retained at no90 SHP 11. Existing exposed concrete rear beams

THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS THE DRAWING AND THE WORKS DEPICTED ARE THE COPYRIGHT OF THIS PRACTICE AND MAY NOT BE REPRODUCED EXCEPT BY WRITTEN PERMISSION		Project: 2203 South Hill Park Terrace Client: No80 to No90 South Hill Park Drawing: No80 to 90 SHP - Demolition Roof Plan Drawing no: 2203-3-050 Rev: Status: Stage 3 Scale: 1:100@A2 Date: 08/03/2024
N 0 1 2 3m	Rev: Date: Description	Citizens design bureau Ground Floor Units 1 & 3 6 Westgate Street, London, EB 3RN t : 0203 095 9732 w : www.citizensdesignbureau.net



052

No80 to 90 SHP - Demolition Front Terrace Elevation in Context

Key

Existing

Existing to be demolished/ removed

Note: No works proposed to greyed out areas other than masonry / concrete repairs. Refer to Design and Access Statement for more information. For more information regarding works to no80 SHP refer to specific application ref. 2024/0639/P & 2024/0912/L

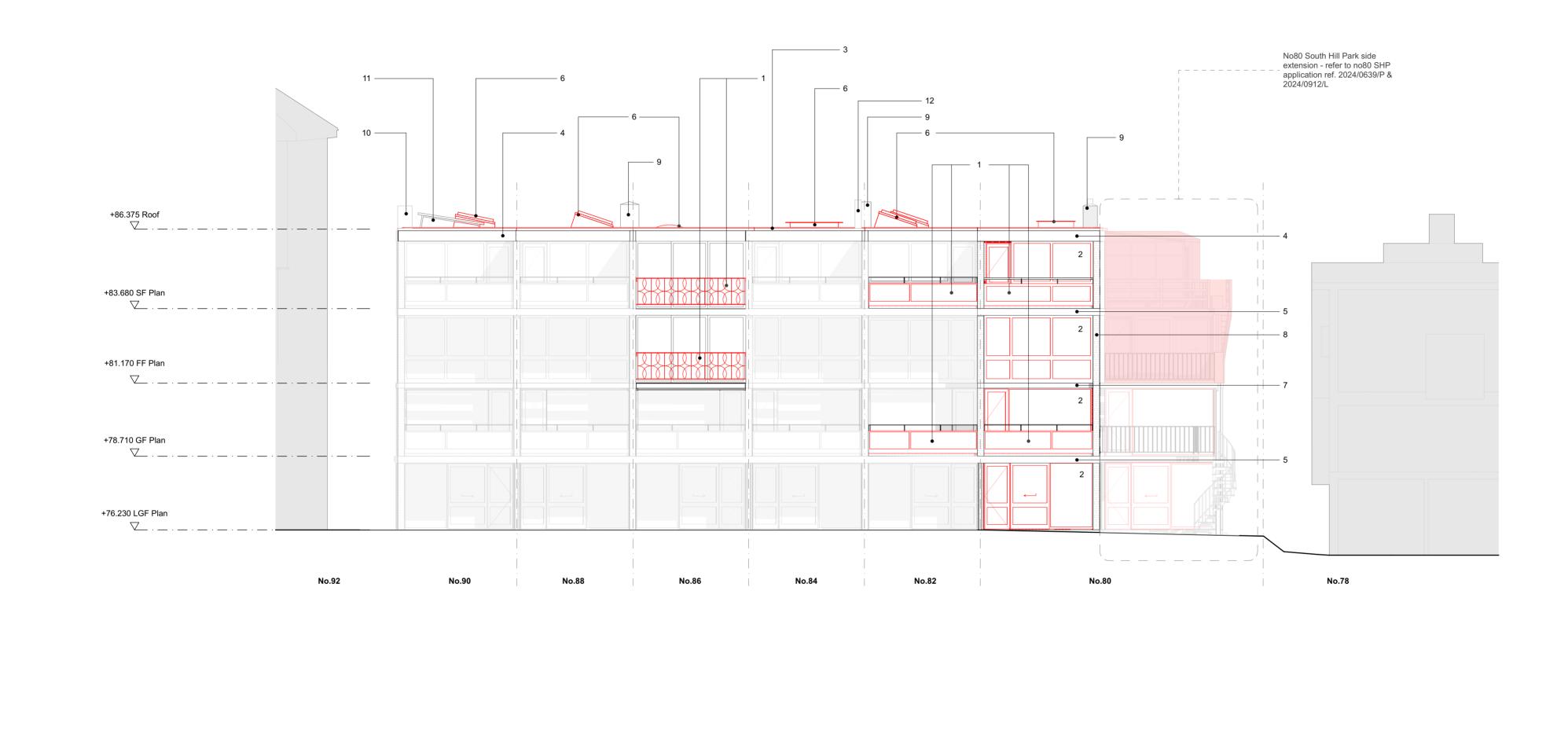
Metal railing retained and refurbished
 Existing front aluminium windows replaced with new double glazed hardwood timber framed windows to match original design from 1950s
 Incongruous SVP removed and brickwork repaired with matching brickwork
 Existing brickworks repaired/ repointed with matching bricks and mortar
 Exposed concrete slabs/ beams repaired as required

6. Existing flue stacks repaired/ repointed

Consider the stacks repaired reported
 Copening in roof created or existing opening enlarged to accept new rooflight
 Existing porch entrance single glazed soft timber windows/ doors replaced with new double glazed hardwood timber framed windows to match original design from 1950s

9.Existing flat roof insulation and bitumen waterproofing finish replaced with new insulation and waterproofing to comply with current Building Regulations Existing perimeter upstand and UPVC flashing replaced Existing timber joists and soffit underneath retained where possible

THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS THE DRAWING AND THE WORKS DEPICTED ARE THE COPYRIGHT OF THIS PRACTICE AND MAY NOT		Project: 2203 80-90 South Hill Park Client: No80 to No90 South Hill Park Drawing: No80 to 90 SHP - Demolition Front Terrace Elevation in Context Drawing no: 2203-3-051 Rev: Status: Stage 3 Scale: 1:100@A2 Date: 08/03/2024
BE REPRODUCED EXCEPT BY WRITTEN PERMISSION	/ Date: Description	Citizens design bureau Ground Floor Units 1 & 3 6 Westgate Street, London, E8 3RN 1 : 0203 095 9732 w : www.citizensdesignbureau.net





No80 to 90 SHP - Demolition Front Terrace Elevation in Context

Key

Existing

Existing to be demolished/ removed

Note: No works proposed to greyed out areas other than masonry / concrete repairs. Refer to Design and Access Statement for more information. For more information regarding works to no80 SHP refer to specific application **ref. 2024/0639/P & 2024/0912/L**

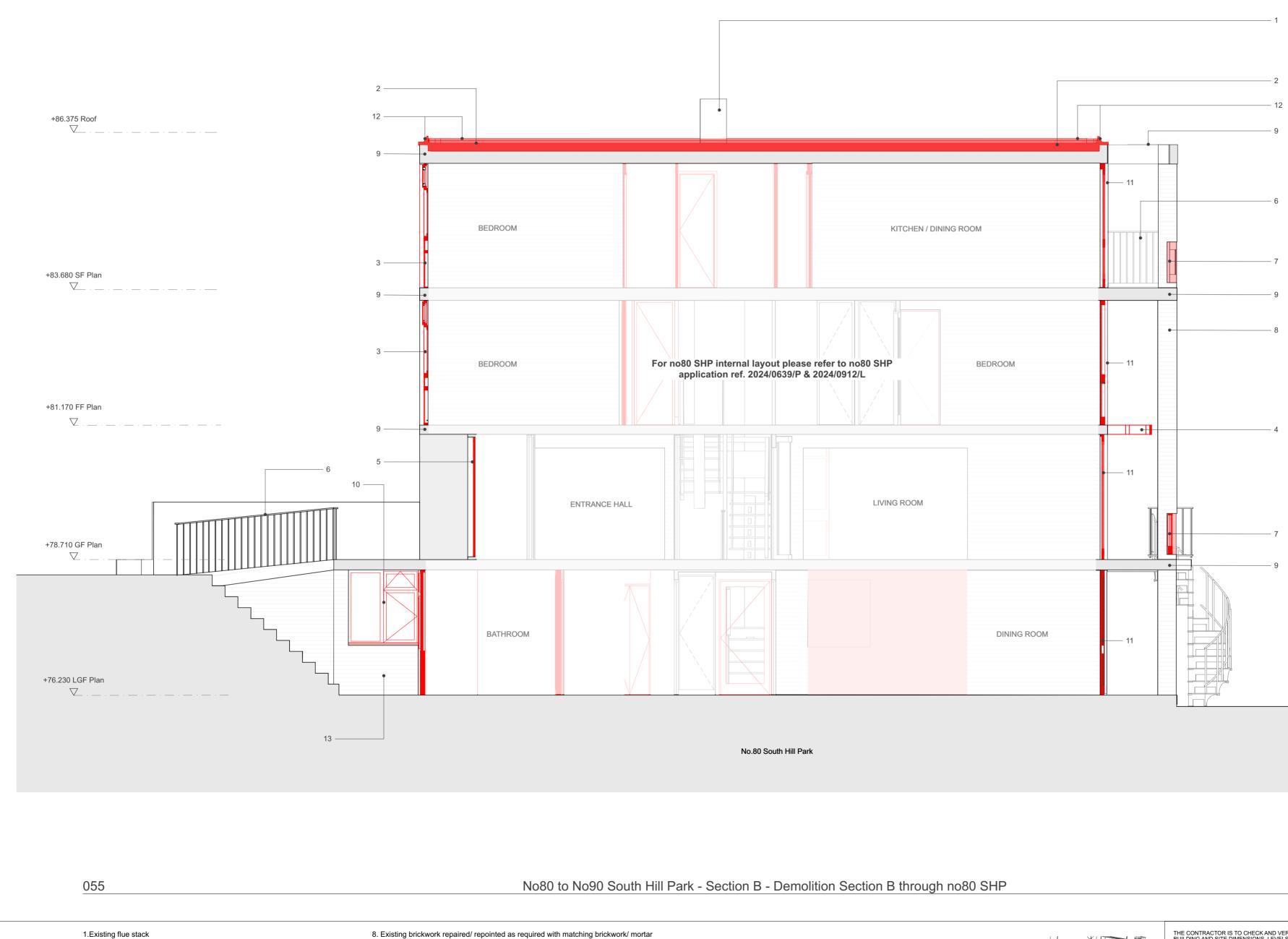
1. Existing balustrade replaced where dilapidated or incongruous modern addition with new balustrade to match original design from 1950s 2. Existing single glazed soft timber windows/ doors replaced with new double glazed hardwood timber framed windows to match original design from 1950s, to

glazed hardwood timber framed windows to match original design from 1950s, to rear of no. 80SHP only 3.Existing flat roof insulation and bitumen waterproofing finish replaced with new insulation and waterproofing to comply with current Building Regulations. Existing perimeter upstand and UPVC flashing replaced Existing timber joists and soffit underneath retained where possible 4. Existing concrete ring beam repaired as required

5. Existing concrete slab repaired as required

- 6. Opening in roof created or existing opening enlarged to accept new
- rooflight
- 7. Dilapidated timber brise soleil replaced to match existing
- 8. Existing brickwork repaired/ repointed as required with matching brickwork/
- mortar 10. Existing flue stack retained and repaired
 11. Existing solar panels at no90 SHP retained
 12. Existing stainless steel flues retained

	THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWING SO THE DRAWING AND THE WORKS DEPICTED ARE THE COPYRIGHT OF THIS PRACTICE AND MAY NOT BE REPRODUCED EXCEPT BY WRITTEN PERMISSION N 0 1 2 3m	Image: Constraint of the second se	Project: 2203 80-90 South Hill Park Client: No80 to No90 South Hill Park Drawing: No80 to 90 SHP - Demolition Rear Terrace Elevation in Context Drawing no: 2203-3-052 Rev: Status: Stage 3 Scale: 1:100@A2 Date: 08/03/2024 Citizensdesign bureau Ground Floor Unite 1 & 3 8 Westgate Street, London, E8 3RN t: 0203 095 9732 w : www.citizensdesignbureau.net
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removed

1.Existing flue stack 2.Existing flat roof insulation and bitumen waterproofing finish replaced with new insulation and waterproofing to comply with current Building Regulations insulation and waterproofing to comply with current Building Regulations
Existing timber joists and soffit underneath retained where possible
3. Existing front aluminium windows replaced with new double glazed hardwood
timber framed windows to match original design from 1950s
4. Dilapidated timber brise soleil to be replaced to match existing
5. Existing single glazed soft timber windows/ doors replaced with new double
glazed hardwood timber framed windows to match original design from 1950s
6. Metal railing retained and refurbished
7. Existing glazed timber balustrade replaced where dilapidated or incongruous
modern addition with new balustrade to match original design from 1950s.

9. Exposed concrete slabs/ beams repaired as required 10. Existing UPVC window replaced with new double glazed hardwood timber framed

windows to match original design from 1950s 11. Existing single glazed soft timber windows/ doors replaced with new double glazed

hardwood timber framed windows to match original design from 1950s, to rear of

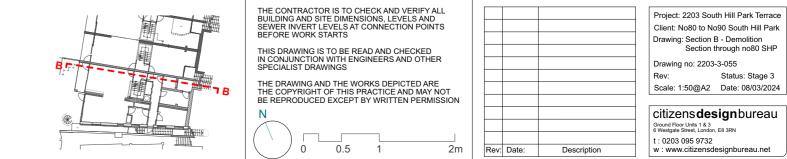
no80SHP only

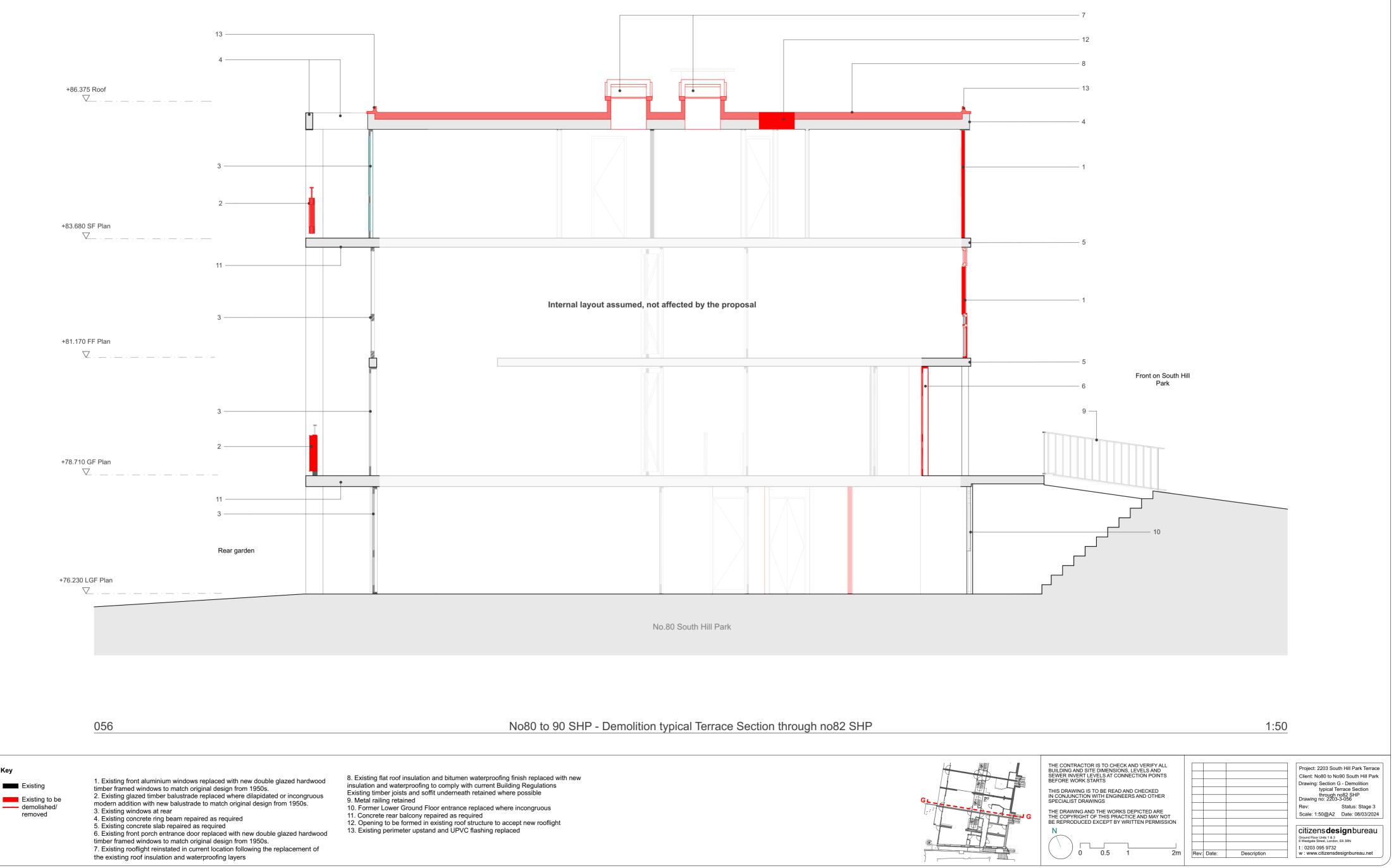
12. Existing perimeter upstand and UPVC flashing replaced 13. External front access to Lower Ground Floor

Note: the LGF access layout differs along the terrace units i.e. currently used as external

bin store with no access to the LGF at no80 SHP For the internal layout of no80 SHP, refer to no80 application ref. 2024/0639/P &

2024/0912/L





Key