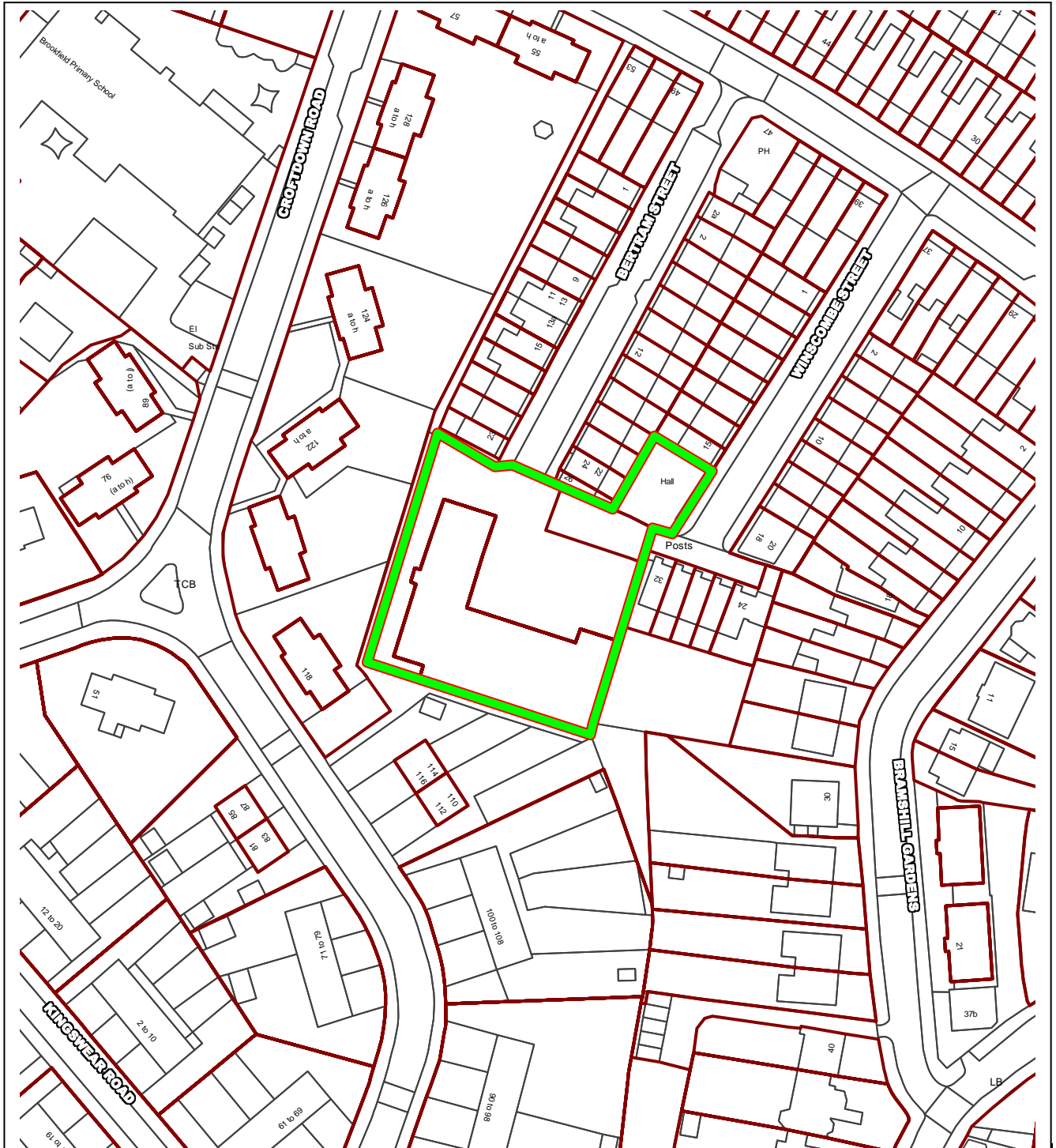


2023/5438/P

Highgate New Town Community Centre



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Site Photographs & Plans - 2023/5438/P



Figure 1: Current view from Winscombe Street.



Figure 2: Current view from Croftdown Road.



Option 7 - Visual from Winscombe Street



Precedent image of Plant Screen



Panels to be light grey RAL 7044

Key Design Intent Points:

- Move ASHP unit centrally on Building B roof so less visible at street level
- Simple vertically laid panels
- Pale grey coloured metal cladding - RAL 7044

Figure 3: Proposed visual from Winscombe Street with proposed screening of ASHP at roof level.

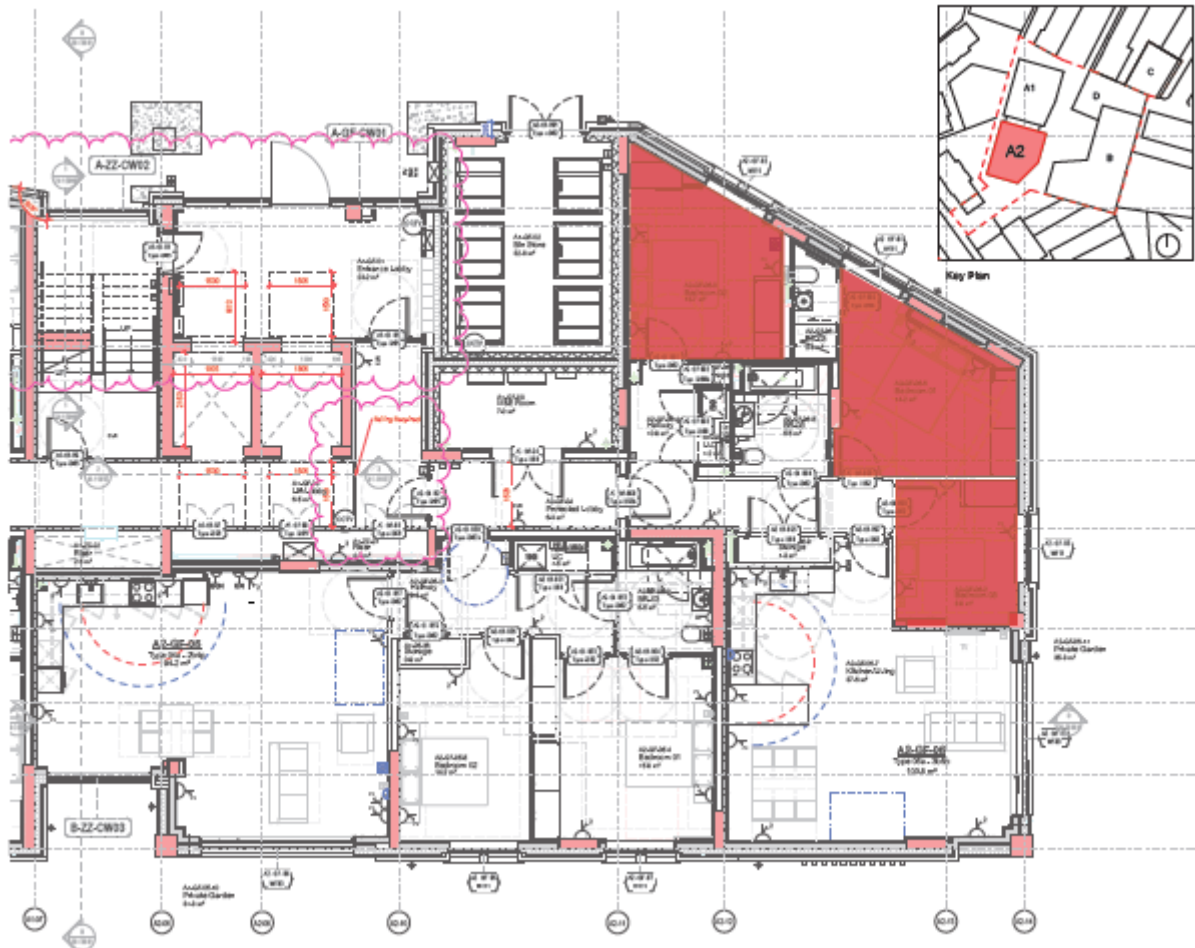
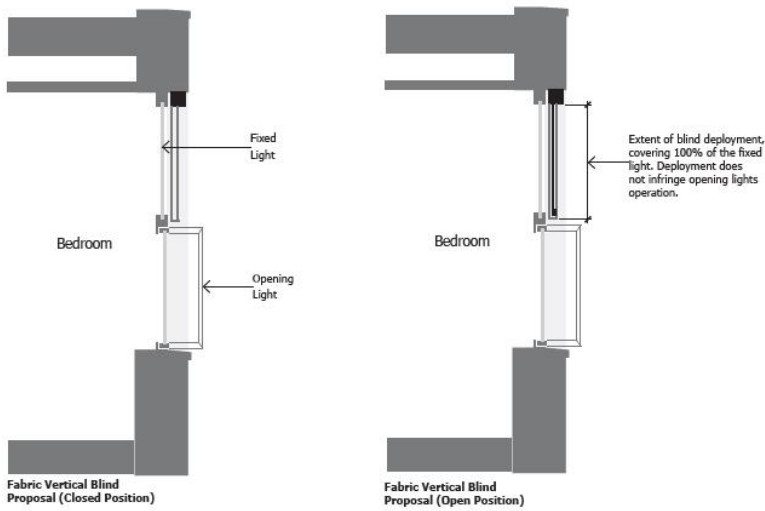


Figure 4: Block A ground floor layout.



Advantages

- Reduction in solar heat transmission when required by user
- View out maintained
- Full control by bedroom user to suit individual preference
- No visual impact when not in use

Disadvantages

- Will require regular maintenance in line with similar building components.

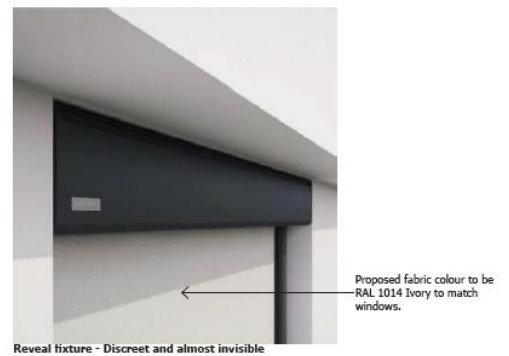


Figure 5: Proposed vertical shading structures.

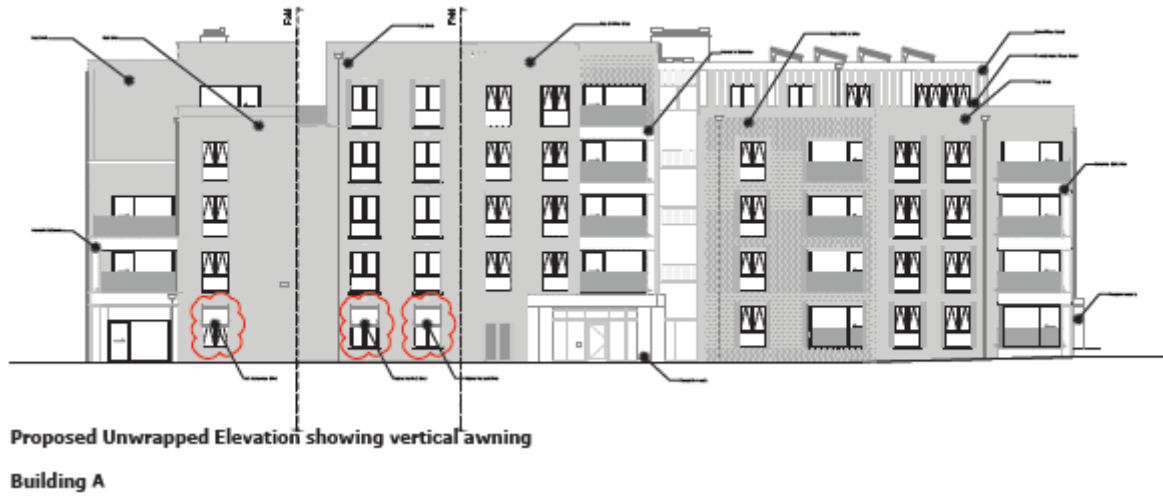


Figure 6: Block A elevation showing proposed location of vertical shading.

The existing balcony is galvanised steel. A metal screen, similar in appearance could be installed that provides a defused appearance. Allowing light to flow through while obscuring residents view of the balconies and vice versa.

A pattern could be achieved that harmoniously balances with the existing guarding. Creating a holistic appearance to the balcony design.

It is proposed that the screens are only located on the northern end of the balconies.

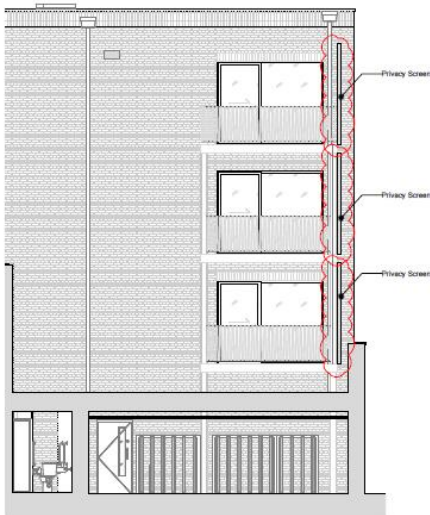


Figure 7: Proposed location of privacy screens on Block D.

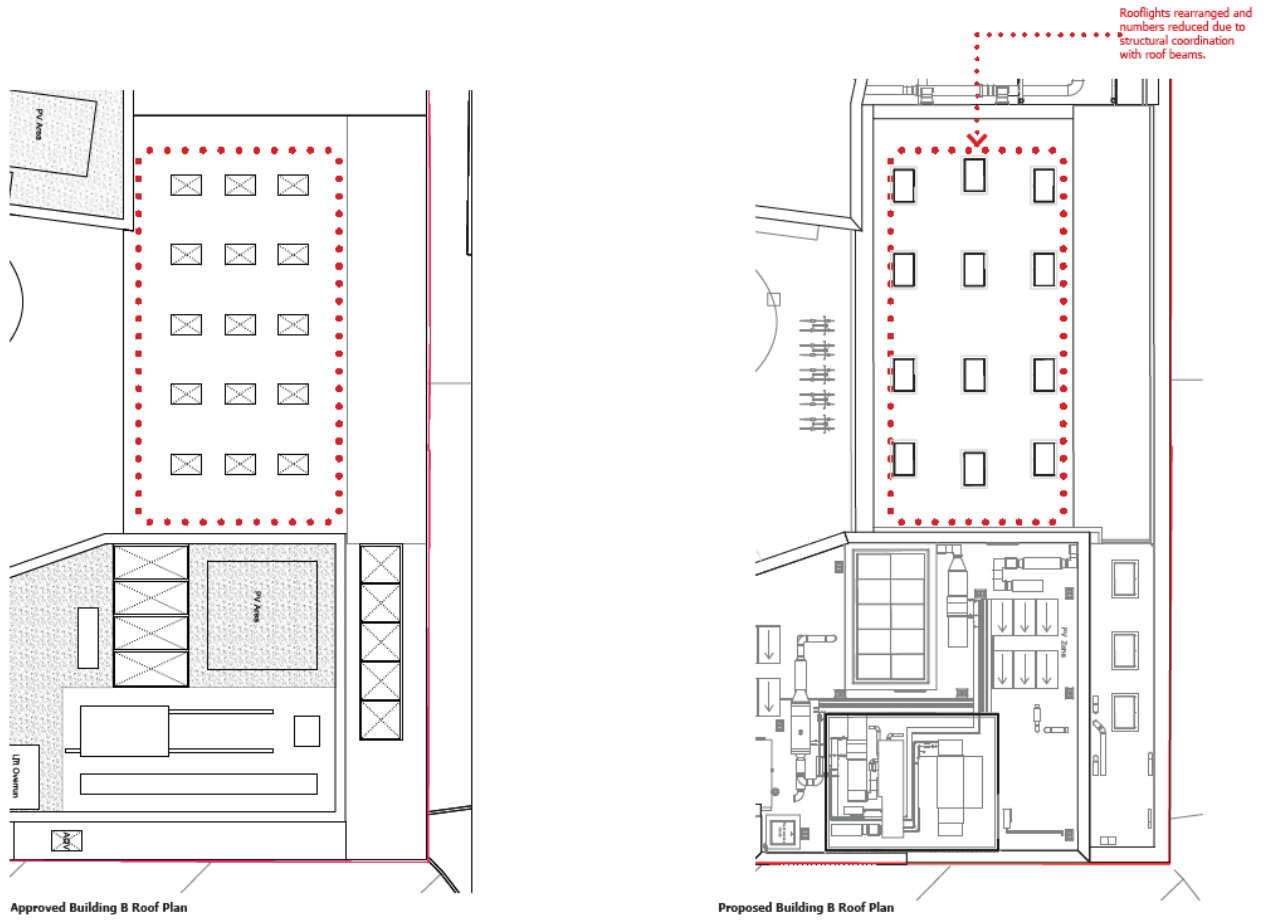


Figure 8: Block B approved roof plan along with Block B proposed roof plan showing rearranged rooflights.

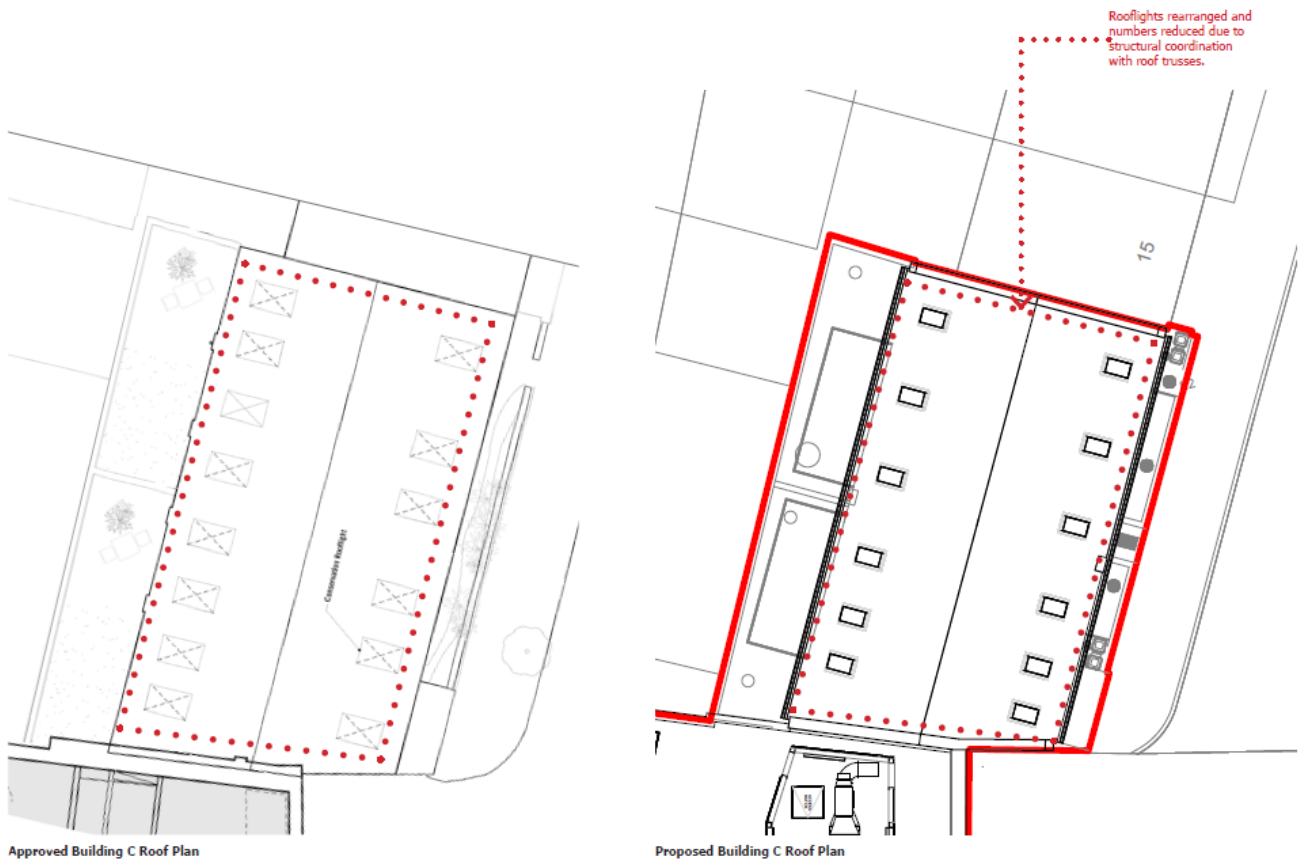


Figure 9: Block C approved roof plan along with Block B proposed roof plan showing rearranged rooflights.

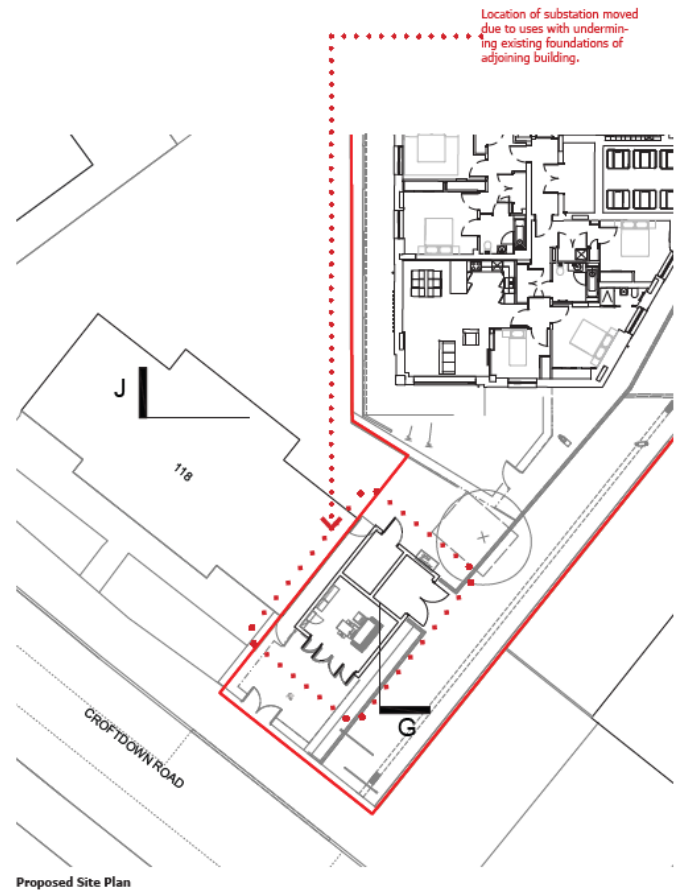
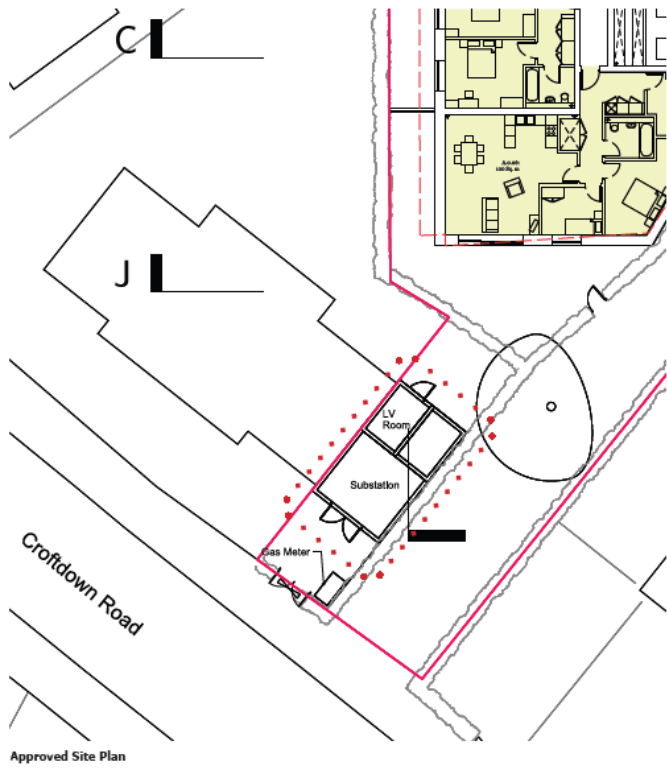


Figure 10: Location of substation.

| | | | | |
|---|----------------------------|--|-------------------------------------|------------|
| Delegated Report | | Analysis sheet | Expiry Date: | 16/02/2024 |
| (Members Briefing) | | N/A / attached | Consultation Expiry Date: | 28/01/2024 |
| Officer | | | Application Number(s) | |
| Alex Kresovic | | | 2023/5438/P | |
| Application Address | | | Drawing Numbers | |
| Highgate New Town Community Centre 25 Bertram Street London N19 5DQ | | | See draft decision notice | |
| PO 3/4 | Area Team Signature | C&UD | Authorised Officer Signature | |
| | | | | |
| Proposal(s) | | | | |
| <p>Variation of condition 2 (Approved Plans) and condition 7 (Landscaping) of development granted under reference 2016/6088/P dated 30 June 2017 as varied by reference 2018/5774/P dated 29 March 2019, 2022/3378/P dated 10 March 2023, and 2023/2662/P dated 20 November 2023 for the "Redevelopment of the existing Highgate Newtown Community Centre and Fresh Youth Academy and the change of use of the People's Mission Gospel Hall to provide replacement community facilities (Use Class D1) and 41 residential units (Use Class C3) including 7 affordable units (intermediate) with associated public open space, landscaping, cycle storage, plant, disabled parking, and inclusion of the existing right of way on the western side of the site."</p> <p>Namely to make the following changes:</p> <ul style="list-style-type: none"> - Construction of an ASHP at roof level of Building B including its relocation and visual screening - Installation of vertical shading structures externally to the windows at the east facing windows of Building A (Apartment A2) at ground floor level - Installation of privacy screening to the northern end of the balconies of Building D - Reduction in the number of rooflight to Building B and C - Relocation of the substation approximately 1m east from the approved location - Reduction in height of the Building C rear garden wall to 2.4 comprising a brick wall to 1.9m with an additional 0.5m privacy barrier above - Amendment to the parapet detail of the Building A roof to match the as built detail. | | | | |
| Recommendation(s): | | Grant Section 73 application (Variation or Removal of Condition(s)) | | |
| Application Type: | | Section 73 application (Variation or Removal of Condition(s)) | | |

| | | | | |
|--|---|-----------|-------------------|-----------|
| Conditions or Reasons for Refusal: | Refer to Draft Decision Notice | | | |
| Informatives: | | | | |
| Consultations | | | | |
| Adjoining Occupiers: | No. of responses | 01 | No. of objections | 01 |
| Summary of consultation responses: | <p>Press Notice: published 04/01/2024, expired 28/01/2024 Site Notice: displayed 28/12/2023, expired 21/01/2024</p> <p>One (1) comment was received from a neighbouring occupier. The comment is summarised below:</p> <ul style="list-style-type: none"> • I am now used to the Noah's Ark shape of this plant, and think the white colour is acceptable as it is. Further cladding or covering would make it bigger. • The movement of the plant offered, seems likely to be to the detriment of neighbours, particularly in Croftdown Road where residents have already suffered a lot from these works. • Not all residents of Bramshill Gardens really object to the present siting and appearance of this plant. <p>Officers Response:</p> <ul style="list-style-type: none"> • <i>The cladding (screening enclosure) will enhance the visual aspect of the roof and hide the ASHP from visual vantage points. Refer to the design section of the report for further analysis.</i> • <i>It is not considered that the relocation of the ASHP to the centre of the roof would encounter additional impacts. Refer to the design and amenity sections of the report for further analysis.</i> • <i>Noted.</i> | | | |
| Pentad Housing Society and residents of 22 – 24 Winscombe Street: | <p>An objection was received by the Pentad Housing Society and residents of 22 – 24 Winscombe Street. Concerns arising from the objection is summarised below:</p> <ul style="list-style-type: none"> • Extremely concerned that Camden Council, as a client and planning authority, have allowed the construction of a building which is so different from the consented scheme, on such a sensitive site, in a Conservation Area and next to a Grade 2 listed building – particularly in respect of such fundamental aspects as bulk, massing and visual impact. • Since the plant first appeared on the roof of Block B, the solution should be to remove all rooftop plant to ensure the built proposals align as closely as possible with the consented scheme. • Proposals shown in this application do not make any attempt to reduce the height or bulk of the unconsented plant and ductwork on the roof of Block B. • The relocation of one piece of plant (currently in the south-east corner of the building) further west and wrap a portion of the plant in a plant screen. This does not reduce the height of the plant clearly visible in silhouette against the sky when viewed behind the listed terrace at the end of Winscombe Street. In fact, the proposals increase the bulk of the plant proposed. • We believe that the plant screen will simplify and tidy the silhouette of | | | |

the building despite the extra bulk it adds. Overall, although clearly far worse than the permitted proposals, we consider the screen to be an improvement over what is currently built and gives it a marginally less industrial roofline.

- The proposed plant screen, however, only conceals a portion of the footprint of the plant overall and still leaves a considerable amount of lower-level ductwork clearly visible above the parapet. This looks completely out of character with the Conservation Area. This could be somewhat mitigated with the introduction of screening around this ductwork.
- The screen colour looks quite dark and is likely to stand out more prominently against lighter skies and we think a lighter grey colour would be more appropriate. Alongside the revisions we suggest above, and every effort to reduce the plant height and impact, we also request sample panels of the proposed screen material and colour to be shown to neighbours for comment, and approved by Camden planners, prior to any installation, to ensure it is an appropriate colour and quality.

Officers Response:

- *All schemes, including any such variations, have been considered against the relevant policies and have been found to be satisfactory, regardless of the difference from the originally consented scheme. Every scheme is treated the same regardless of the applicant.*
- *The plant is required to be provided onsite and the only suitable location is on the roof.*
- *The plant is required to be provided onsite, and the applicant considered the removal of the ASHP, however this would be in contrary with the London Plan and Condition 48 of the Planning Permission.*
- *The screening enclosure will be visible, however the objective of proposal is to hide the plant from key views, specifically from Winscombe Street, which the proposal achieves. An architectural approach to screening the plant has been taken here.*
- *Noted.*
- *The lower level ductwork visible from above the parapet would be muted with the screening enclosure being introduced, therefore the visual of the ductwork would significantly be reduced, even without the need to screen it itself. In addition, the ductwork will only be visible from centre long distance views, and would not be visible in short views.*
- *The screening enclosure is a more muted pale grey colour and is considered acceptable.*

Site Description

The application site covers an area of approximately 0.26 hectares (2,600qm).

There are no listed buildings on the site, but the Mission Gospel Hall is noted as a positive contributor to the Dartmouth Park Conservation Area. The site lies within sub-area 5 of this conservation area.

There is a terrace of 5 houses at the end of Winscombe Street, to the east of the site, which are grade II listed.

The area is predominantly residential. Bertram Street and Winscombe Street to the north are made up predominantly of three-storey late Georgian/early Victorian terraces. At the end of Winscombe Street

(to the east of the site) is the grade II listed terrace which is also three-storey however, this building is lower due to featuring lower ground and upper ground floor levels. To the west of the site there is a slope up to early twentieth-century mansion blocks which comprise four storeys including a storey within the roof. Between these properties and the site is an ancient pedestrian right of way which connects Croftdown Road to the bottom of Bertram Street and up to Chester Road. To the south of the site are two-storey residential blocks which also face Croftdown road, and the rear gardens of these properties. To the east of the site are the rear gardens of properties on Winscombe Street and Bramshall Gardens.

The site has a Public Transport Accessibility Level (PTAL) rating of 3 (Moderate). The site is located close to Archway Underground Station which is approximately 800m to the north-east.

Relevant History

| Planning Ref: | Description of Development | Issued |
|---------------|--|---------------|
| 2016/6088/P | Redevelopment of the existing Highgate Newtown Community Centre and Fresh Youth Academy and the change of use of the People's Mission Gospel Hall to provide replacement community facilities (Use Class D1) and 31 residential units (Use Class C3) with associated public open space, landscaping, cycle storage, plant and disabled parking. | 30 June 2017 |
| 2018/5774/P | Variation of development granted under reference 2016/6088/P dated 30/06/17 for "Redevelopment of the existing Highgate Newtown Community Centre and Fresh Youth Academy and the change of use of the People's Mission Gospel Hall to provide replacement community facilities (Use Class D1) and 31 residential units (Use Class C3) with associated public open space, landscaping, cycle storage, plant and disabled parking." Namely to make the following changes: - Amend the height/bulk and massing, elevations - Increase the number of residential units from 31 to 41 - Include 7 affordable units (intermediate) as opposed to none - Reduce the area of the community facilities, to result in a smaller increase above the existing floorspace - Remove most of the basement - Include the existing right of way on the western side of the site. | 29 March 2019 |
| 2022/3378/P | Variation of Condition 2 (Approved Plans) of development granted under reference 2016/6088/P dated 30/06/17 as varied by reference 2018/5774/P dated 29/03/19 for redevelopment of the existing Highgate Newtown Community Centre and Fresh Youth Academy and the change of use of the People's Mission Gospel Hall to provide replacement community facilities (Use Class D1) and 31 residential units (Use Class C3) with associated public open space, landscaping, cycle storage, plant and disabled parking namely following: Amendments to Block A: 1) Conversion of selected windows to sliding doors at the eastern and western elevation to the 4th floor penthouse units of Block A 2) Provision of a guardrail on top of the parapet wall to these external spaces to ensure they meet relevant British safety standards for external amenity spaces. 3) Allocation of these space as 'private amenity' as Condition 6 of the planning permission currently restricts access. Amendments to Block B: Conversion of one first floor window on eastern elevation to | 10 March 2023 |

| | | |
|-------------|---|------------------|
| | <p>maintenance door to facilitate maintenance access only to roof, and conversion of one double hung first floor window on the eastern elevation to a larger single opening window.</p> | |
| 2023/2662/P | <p>Variation of condition 2 (Approved Plans) and deletion of conditions 48 (Post Construction Viability Assessment) and 49 (Affordable Units) of development granted under reference 2016/6088/P dated 30 June 2017 as varied by reference 2018/5774/P dated 29 March 2019 and 2022/3378/P dated 10 March 2023 for the "Redevelopment of the existing Highgate Newtown Community Centre and Fresh Youth Academy and the change of use of the People's Mission Gospel Hall to provide replacement community facilities (Use Class D1) and 41 residential units (Use Class C3) including 7 affordable units (intermediate) with associated public open space, landscaping, cycle storage, plant, disabled parking, and inclusion of the existing right of way on the western side of the site." Namely to make the following changes:</p> <ul style="list-style-type: none"> - Change the tenure mix to 100% affordable housing - Amendments to the layout of the first - third floors of Building A to include a new entrance door at the northern end of the corridor to facilitate the amalgamation of two 2 x bedroom units into one 4 x bedroom unit at each floor - Amendments to the layout of the fourth floor of Building A to remove an entrance door and the inclusion of a new opening in the party wall to facilitate the amalgamation of two 3 x bedroom units into one 6 x bedroom unit - Amendments to the layout of ground and first floors of Building C to amalgamate two 3 x bedroom units into one 6 x bedroom unit - Change in the overall unit number from 41 to 36. This would result in total of 36 units to be provided across three buildings, comprising 1x studio, 19x one-bed, 8x two-bed, 3x three-bed, 3x four-bed and 2x six-bed. | 20 November 2023 |

Relevant policies

The National Planning Policy Framework 2023

The London Plan 2021

Camden Local Plan 2017

A1 Managing the Impact of Development

A4 Noise and Vibration

D1 Design

D2 Heritage

Camden Planning Guidance

Amenity CPG (2021)

Design CPG (2021)

Home Improvements (2021)

Dartmouth Park Conservation Area Appraisal and Management Strategy (2009)

Draft Camden Local Plan

The Council has published a new [Draft Camden Local Plan](#) (incorporating Site Allocations) for consultation (DCLP). The DCLP is a material consideration and can be taken into account in the determination of planning applications which has limited weight at this stage. The weight that can be

given to it will increase as it progresses towards adoption (anticipated 2026).

Assessment

1. Proposal

1.1 The application proposes to vary condition 2 (Approved Plans) and condition 7 (Landscaping) of development granted under reference 2016/6088/P dated 30 June 2017 as varied by reference 2018/5774/P dated 29 March 2019, 2022/3378/P dated 10 March 2023, and 2023/2662/P dated 20 November 2023 for the "Redevelopment of the existing Highgate Newtown Community Centre and Fresh Youth Academy and the change of use of the People's Mission Gospel Hall to provide replacement community facilities (Use Class D1) and 41 residential units (Use Class C3) including 7 affordable units (intermediate) with associated public open space, landscaping, cycle storage, plant, disabled parking, and inclusion of the existing right of way on the western side of the site."

The following changes are proposed:

- Construction of an ASHP at roof level of Building B including its relocation and visual screening
- Installation of vertical shading structures externally to the windows at the east facing windows of Building A (Apartment A2) at ground floor level
- Installation of privacy screening to the northern end of the balconies of Building D
- Reduction in the number of rooflight to Building B and C
- Relocation of the substation approximately 1m east from the approved location
- Reduction in height of the Building C rear garden wall to 2.4 comprising a brick wall to 1.9m with an additional 0.5m privacy barrier above
- Amendment to the parapet detail of the Building A roof to match the as built detail.

2. Assessment

3. Design

3.1 Policy D1 'Design' states that the Council will seek to secure high quality design in all cases. This policy states that in order to demonstrate high quality, developments should meet several criteria including: respecting local context and character; be sustainable and durable and comprise details and materials that are of high quality and complement the local character. It continues to state that the Council will resist development of poor design that fails to take the opportunities available for improving the character and quality of an area. Policy D2 'Heritage' states that to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.

Construction of an ASHP at roof level of Building B including its relocation and visual screening

3.2 When the application was comprehensively amended in 2019 (2018/5774/P) the mechanical servicing strategy was changed from a combined heat and power system to an air source heat pump (ASHP) system. The ASHP is required under Planning Condition 48 (Energy and Sustainability Plan) to allow for the reduction of carbon footprint to the development, in line with the London Plan (2021) expectations, therefore removal of the ASHP is not a possibility.

3.3 The approved building B roof plan (PL-GA-604) identified the location of the roof level mechanical plant; however, the unwrapped elevations (PL-E-103) did not identify the height and massing of the plant above parapet level.

3.4 A detailed design process was undertaken by the applicant which reviewed a number of design options, including the reorganising of the roof plan, reduction of height of the acoustic screen / attenuation, relocation of the plant to another building roof, reflective screening, cladded screening, all with the aim to reduce the visibility from key views, specifically from Winscombe Street.

3.5 The proposal involves the construction of a visual screening enclosure around the ASHP with the use of metal cladding painted in a more muted pale grey colour, which is considered to be in keeping with the materiality and character of the area. The proposed structure would still be visible beyond the parapet line from Winscombe Road. The ASHP unit is enclosed in a highly efficient acoustically attenuated box, meaning the screening would be visual purposes only and would not serve any acoustic attenuation.

Installation of vertical shading structures externally to the windows at the east facing windows of Building A (Apartment A2) at ground floor level

3.6 Thermal modelling has identified the requirement for external shading to three bedrooms within the ground floor east facing unit within Building A. The proposed installation of fabric vertical blinds affixed external within the window reveal would mitigate the overheating to a sufficient level to meet building control requirements. The proposal would not be visible from the streetscene, therefore contributing to there being no harm to the character or appearance of the host building, or the Dartmouth Park Conservation Area, in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

Installation of privacy screening to the northern end of the balconies of Building D

3.7 A detailed design process was undertaken by the applicant which reviewed a number of design options, including an obscured glass screen and a metal patterned screen to the northern end of the balconies at first, second, and third floors of Building D. The applicant has elected to proceed with the metal patterned screen option, which provides sufficient privacy to neighbouring properties, whilst being in keeping with the materiality and colour palate of the existing balcony railings.

Reduction in the number of rooflights to Building B and C

3.8 The reduction of the number of rooflights from 15 to 12 on Building B and from 14 to 12 on Building C would not be visible from the streetscene, therefore contributing to there being no harm to the character or appearance of the host building, or the Dartmouth Park Conservation Area, in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

Relocation of the substation approximately 1m east from the approved location

3.9 The need for this amendment has arisen during the detailed design phase of the scheme. Specifically, the location of the substation is required to shift slightly to the south east to ensure that it does not compromise the underpinning of the existing foundations of the adjoining building. The relocation of the substation would not be visible from the streetscene, therefore contributing to there being no harm to the character or appearance of the host building, or the Dartmouth Park Conservation Area, in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

Reduction in height of the Building C rear garden wall to 2.4 comprising a brick wall to 1.9m with an additional 0.5m privacy barrier above

3.10 The reduction in height of the Building C rear garden wall to 2.4 comprising a brick wall to 1.9m with an additional 0.5m privacy barrier above is not considered to harm the character or appearance of the host building, or the Dartmouth Park Conservation Area, in accordance with the requirements of Policy D1 and D2 of the London Borough of Camden Local Plan 2017.

Amendment to the parapet detail of the Building A roof to match the as built detail.

3.11 The parapet detail of Building A roof to match the as built detail is not considered to be of any such harm, therefore in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

Conclusion

- 3.12 All of the above amendments are considered minor material amendments to the original application.
- 3.13 Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area, under s.72 (CA's) of the planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Enterprise and Regulatory Reform Act (ERR) 2013.
- 3.14 Overall, the proposal is considered to be of high quality design and therefore not considered harmful to the character or appearance of the host building, streetscene or the Dartmouth Park Conservation Area, in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017.

4. Amenity

- 4.1 Policy A1 seeks to ensure that development does not cause adverse amenity impacts upon neighbours in terms of sunlight, daylight, privacy and overlooking, noise, vibration, and odour.

Construction of an ASHP at roof level of Building B including its relocation and visual screening

- 4.2 The ASHP would be screened with the use of metal cladding painted in a more muted pale grey colour. However, the proposed screening structure would still be visible beyond the parapet line from Winscombe Road. The ASHP unit is enclosed in a highly efficient acoustically attenuated box, meaning the screening would be visual purposes only and would not serve any acoustic attenuation.
- 4.3 The location of the ASHP and the associated screening would not impact the neighbouring amenity in terms of sunlight, daylight, and noise. A noise report was not submitted, however the ASHP will thereby comply with the requirements set out in condition 29 of the Planning Permission, which assessed plant noise with the support of a noise impact assessment report. Therefore, it is considered the proposals are in accordance with the requirements of policy A1 and A4 of the London Borough of Camden Local Plan 2017

Installation of vertical shading structures externally to the windows at the east facing windows of Building A (Apartment A2) at ground floor level

- 4.4 The installation of vertical shading structures to the windows at the east facing windows of Building A (Apartment A2) at ground floor level would ensure overheating does not occur to the subject apartment, which protects the amenity to future occupiers of the subject apartment.

Installation of privacy screening to the northern end of the balconies of Building D

- 4.5 Privacy concerns have been raised by neighbouring residents on Bertram Street, specifically from balconies within Building D. The proposed metal patterned screening would ensure sufficient natural light is able to be received into the flats requiring the privacy screens, whilst ensuring the amenity and privacy of neighbouring residents on Bertram Street is sufficiently protected.

Conclusion

- 4.6 It is therefore considered that the proposal is in general accordance with policies A1 and A4.

5. Recommendation

- 5.1 Grant Section 73 application (Variation or Removal of Condition(s))

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 11th March 2024, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2023/5438/P
Contact: Alex Kresovic
Tel: 020 7974 3134
Email: Alex.Kresovic@camden.gov.uk
Date: 5 March 2024

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk

Iceni Projects
44 Saffron Hill
London
EC1N 8FH
United Kingdom

DRAFT

Dear Sir/Madam

DECISION

Town and Country Planning Act 1990 (as amended)

Variation or Removal of Condition(s) Granted

Address:

Highgate New Town Community Centre
25 Bertram Street
London
N19 5DQ

DECISION

Proposal:

Variation of condition 2 (Approved Plans) and condition 7 (Landscaping) of development granted under reference 2016/6088/P dated 30 June 2017 as varied by reference 2018/5774/P dated 29 March 2019, 2022/3378/P dated 10 March 2023, and 2023/2662/P dated 20 November 2023 for the "Redevelopment of the existing Highgate Newtown Community Centre and Fresh Youth Academy and the change of use of the People's Mission Gospel Hall to provide replacement community facilities (Use Class D1) and 41 residential units (Use Class C3) including 7 affordable units (intermediate) with associated public open space, landscaping, cycle storage, plant, disabled parking, and inclusion of the existing right of way on the western side of the site." Namely to make the following changes:

- Construction of an ASHP at roof level of Building B including its relocation and visual screening
- Installation of vertical shading structures externally to the windows at the east facing windows of Building A (Apartment A2) at ground floor level
- Installation of privacy screening to the northern end of the balconies of Building D
- Reduction in the number of rooflight to Building B and C
- Relocation of the substation approximately 1m east from the approved location
- Reduction in height of the Building C rear garden wall to 2.4 comprising a brick wall to 1.9m with an additional 0.5m privacy barrier above
- Amendment to the parapet detail of the Building A roof to match the as built detail.

Drawing Nos: PL-GA-ST-800 Rev O, PL-GA-ST-805 Rev I, PL-GA-B-604 Rev U, PL-E-102.1 Rev A, PL-E-100 Rev F, PL-E-103 Rev E, PL-E-100 Rev G, HNCC-CAM-ZZ-ZZ-DR-L-0001 Rev P12, Design and Access Statement August 2023 HNCC-FAR-XX-XX-DS-W-0010, Planning Cover Letter dated 21 December 2023

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 This entry is left intentionally blank.
- 2 Approved drawings

The development hereby permitted shall be carried out in accordance with the following approved plans:

Proposed plans:

PL-E-100 G, PL-E-101 H, PL-E-102 F, PL-E-102.1 A PL-E-103 E, PL-E-104, PL-E-105, PLGA-002 A, PL-GA-A-600 Z, PL-GA-B-599 X, PL-GA-C-600 F, PL-GA-B-600 Z, PL-GA-A-601 T, PL-GA-B-601 V, PL-GA-A-602 X, PL-GA-B-602 W, PL-GA-A 603 X, PL-GA-B-603 W, PL-GA-A-604 U, PL-GA-B-604 U, PL-GA-A-605 Q, PL-GA-700 F, PL-GA-701 Q, PL-GA-703 L, PL-GA-706 M, PL-GA-707 L, PL GA-712 K, PL-GA-713 B, PL-GA-714 D, PL-GA-715 D, PL-GA-ST-800 O, PL GA-ST-801 M, PL-GA-ST-802 S, PL-GA-ST-803 S, PL-GA-ST-804 N, PL-GA ST-805 I, PL-GA-ST-899 F HNCC-CAM-ZZ-ZZ-DR-L-0001 P12

Proposed documents:

DRAFT

DECISION

Addendum Design and Access Statement HNCC-RCK-ZZ-XX-PP-A-138-S3-P5 (rcka) November 2018, Statement of Community Involvement (rcka) November 2018, Heritage Statement (Iceni) November 2018, Daylight and Sunlight Study (Neighbouring Properties) (Right of light Consulting) November 2018, VSC Corrections (uploaded 22/01/2019),, Sunlight Corrections (uploaded 22/01/2019), Energy Strategy (McBain's) November 2018, Sustainability Statement (Iceni) November 2018, Acoustic Report A973 R03B (ION Acoustics) 20th November 2018, Air Quality Assessment 01.0129.001/AQ v2 (Isopleth) November 2018, Transport Technical Note (Systra) 20/11/18, Transport Statement (JMP) November 2016, Draft Framework Travel Plan (JMP) November 2016, Draft Servicing Management Plan(JMP) November 2016, Draft Construction Management Plan, (JMP) November 2016, Transport Statement (JMP) November 2016, Draft Framework Travel Plan (JMP) November 2016, Draft Servicing Management Plan(JMP) November 2016, Draft Construction Management Plan, (JMP) November 2016, Ground Investigation and Basement Impact Assessment J16021A (GEA) October 2018, Addendum Drainage Strategy (McBain's) November 2018, Viability Report (Savills) November 2018, Planning Statement (Iceni) November 2018, Preliminary Ecological Survey (Syntegra) November 2018, Daylight and Sunlight Study (Within Development) v2 (Right of Light Consulting) November 2018, Arboricultural Constraints/Arboricultural Impact Assessment/Arboricultural Method Statement
HNCC_AIA_revis_11102018_JP_V3_Arboricultural Assessment.pdf (Greenman) 11/10/2018, Endoscope Survey Brief 18-4442 (Syntegra) December 2018, Arboricultural Letter (Greenman) 4th March 2021, Covering letter (Iceni) 15 March 2021, LL566-300-0072 Rev C, PL-ST-001 B, Roof Maintenance Plan (RCKA) July 2022, Covering letter (Iceni) 24 August 2022.

Reason: For the avoidance of doubt and in the interest of proper planning.

3 Detailed drawings/samples

Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be implemented in accordance with the following:

- a) Plan, elevation and section drawings, including jambs, head and cill, of all external windows and doors at a scale of 1:10 in accordance with application 2021/6151/P dated 10 March 2022.
- b) Samples and manufacturer's details at a scale of 1:10, of all facing materials including windows and door frames, glazing, and brickwork with a full scale sample panel of brickwork, spandrel panel and glazing elements of no less than 1m by 1m including junction window opening demonstrating the proposed colour, texture, face-bond and pointing in accordance with application 2021/6151/P dated 10 March 2022.
- c) All new windows, doors and other materials in the conversion of the People's Gospel Mission Hall shall be implemented in accordance with application 2022/2402/P approved on 2 September 2022.
- d) Details of the junction with the historic granite sets at the threshold of the site on Bertram Street in accordance with application 2021/6151/P dated 10 March 2022.

A sample panel of all facing materials should be erected on-site and approved by the Council before the relevant parts of the work are commenced and the development shall be carried out in accordance with the approval given.

The relevant part of the works shall then be carried in accordance with the approved details

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the Camden Local Plan.

4 External fixtures

No lights, meter boxes, flues, vents or pipes, and no telecommunications equipment, alarm boxes, television aerials or satellite dishes shall be fixed or installed on the external face of the buildings, without the prior approval in writing of the Council.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policies D1 and D2 of the Camden Local Plan.

5 Refuse and recycling

Prior to first occupation of the residential units, the refuse and recycling storage areas shall be completed and made available for occupants.

The development of each block shall not be implemented other than in accordance with such measures as approved. All such measures shall be in place prior to the first occupation of any residential units and shall be retained thereafter.

Reason: To safeguard the amenities of the future occupiers and adjoining neighbours in accordance with the requirements of policy A1 of the Camden Local Plan.

6 Roof terraces

No flat roofs within the development shall be used as terraces without the prior express approval in writing of the Local Planning Authority unless marked as such on the plans. .

Reason: To safeguard the amenities of the future occupiers and adjoining neighbours in accordance with the requirements of policy A1 of the Camden Local Plan.

7 Landscape

The landscpaing shall ne carried out in accordance with the details approved under application 2021/6203/P dated 24 February 2022 and HNCC-CAM-ZZ-ZZ-DR-L-0001 P12.

The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policies D1 and D2 of the Camden Local Plan.

8 Hours of use - community facilities

The community facilities in Buildings B and D and the community hall shall only be used between 8.30am - 10pm Monday to Thursday, 8.30am - 11.30pm Friday to Saturday and 9.30am - 9pm on Sundays.

Reason: To ensure that the amenity of occupiers of residential properties in the area is not adversely affected by noise and disturbance in accordance with the requirements of policy A1 of the Camden Local Plan.

9 SuDS

Prior to commencement of the relevant part of the development (excluding demolition) details of a sustainable urban drainage system shall be submitted to and approved by the local planning authority in writing.

SUDS will be implemented prior to the opening of the relevant parts of the development and maintained thereafter.

Reason: To reduce the rate of surface water run-off from the buildings and limit the impact on the storm-water drainage system in accordance with Camden Local Plan policy CC3.

10 Evidence of installation - SuDS

Prior to occupation, evidence that the sustainable urban drainage system has been implemented in accordance with the approved details as part of the development shall be submitted to the Local Authority and approved in writing. The systems shall thereafter be retained and maintained in accordance with the approved maintenance plan.

Reason: To reduce the rate of surface water run-off from the buildings and limit the impact on the storm-water drainage system in accordance with policy CC3 of the Camden Local Plan.

11 Water efficiency

The development hereby approved shall achieve a maximum internal water use of 105litres/person/day, allowing 5 litres/person/day for external water use.

Reason: To reduce the rate of surface water run-off from the buildings and limit the impact on the storm-water drainage system in accordance with policy CC3 of the Camden Local Plan.

12 Photovoltaic cells

Prior to commencement of the relevant part of the scheme, detailed plans showing the location and extent of photovoltaic cells to be installed on the building shall have been submitted to and approved by the Local Planning Authority in writing. The measures shall include the installation of a meter to monitor the energy output from the approved renewable energy systems. The cells shall be installed in full accordance with the details approved by the Local Planning Authority and permanently retained and maintained thereafter.

Reason: To ensure the development provides adequate on-site renewable energy facilities in accordance with the requirements of Camden Local Plan policies CC1 and CC2.

13 Living roof

The development shall not be carried out otherwise than in accordance with the details approved under application 2021/2619/P dated 27 July 2021 and shall be fully implemented before the premises are first occupied. Guidance on living roofs is available in the Camden Biodiversity Action Plan: Advice Note on Living Roofs and Walls.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with Camden Local Plan policies A3, CC1, CC2 and CC3.

14 Bird and bat boxes

Details of bird and bat nesting boxes or bricks shall be submitted to and approved in writing by the Local Planning Authority prior to any of the above ground construction works commencing on site, in line with the recommendations in the Ecological Appraisal. Boxes/bricks should be integrated into the fabric of the building wherever possible, to increase sustainability. Details submitted shall include the exact location, height, aspect, specification and indication of species to be accommodated. Boxes shall be installed in accordance with the approved plans prior to the first occupation of the development and thereafter maintained.

Reason: To ensure the development provides the appropriate provision towards creation of habitats and valuable areas for biodiversity in accordance with Camden Local Plan policy A3.

15 External lighting

Details of all external lighting shall be submitted to and approved by the Local Planning Authority, prior to first occupation of the development. Full details of a lighting strategy, to include the following information shall be submitted to and approved by the Local Planning Authority, in writing, before the development commences.

- Location and type (for safety, security and design reasons)
- Potential light spill on to buildings, trees and lines of vegetation (for biodiversity reasons).

The development shall not be carried out otherwise than in accordance with the details thus approved and shall be fully implemented before the premises are first occupied.

Reason: To ensure compliance with the Habitats Regulations and the Wildlife & Countryside Act 1981 (as amended) and in the interests of security in accordance with Camden Local Plan policies A3 and C5.

16 Non-road mobile machinery

All non-Road mobile Machinery (any mobile machine, item of transportable industrial equipment, or vehicle - with or without bodywork) of net power between 37kW and 560kW used on the site for the entirety of the [demolition and/construction] phase of the development hereby approved shall be required to meet Stage IIIA of EU Directive 97/68/EC. The site shall be registered on the NRMM register for the [demolition and/construction] phase of the development.

Reason: To ensure that the amenity of occupiers of residential properties in the area is not adversely affected by noise and disturbance in accordance with the requirements of policy A1 of the Camden Local Plan.

17 Tree protection

All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details under application reference 2019/3892/P dated 25 September 2019.

Reason: In order to ensure the development undertakes reasonable measures to take account of trees and biodiversity in accordance with Camden Local Plan policies A2 and A3.

18 Tree protection

Prior to the commencement of any works, details demonstrating how trees to be retained both on and off site shall be protected during construction work shall be submitted to and approved by the Council in writing. Such details shall follow guidelines and standards set out in BS5837:2012 "Trees in Relation to Construction" and should include details of appropriate working processes in the vicinity of trees, a tree protection plan and details of an auditable system of site monitoring. All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with the approved protection details.

Reason: In order to ensure the development undertakes reasonable measures to take account of trees and biodiversity in accordance with Camden Local Plan policies A2 and A3.

19 **Tree Replacement Strategy

Details of planting to replace all the trees to be removed shall be submitted to and approved by the Council prior to occupation.

Reason: In order to ensure the development undertakes reasonable measures to take account of trees and biodiversity in accordance with Camden Local Plan policies A2 and A3.

20 Land contamination - remediation strategy

Prior to demolition works a remediation strategy and validation statement based on the Ground Investigation & Basement Assessment report by GEA (Ref J16021A dated October 2018) should be submitted to the LPA for approval.

Reason: To ensure the risks from land contamination to the future users of the land and neighbouring land are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors, in accordance with policies G1, D1, A1, and DM1 of the London Borough of Camden Local Plan 2017.

21 Land contamination - remediation strategy

Works shall be undertaken in accordance with the details approved under 2019/3761/P dated 16 January 2020.

Part B of the condition 'Prior to the occupation of the development, a validation statement confirming that the approved remediation strategy has been carried out in full should be submitted to the LPA for approval' remains outstanding.

Reason: To ensure the risks from land contamination to the future users of the land and neighbouring land are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors, in accordance with policies G1, D1, A1, and DM1 of the London Borough of Camden Local Plan 2017.

22 Land contamination - Standalone Monitoring

In the event that additional significant contamination is found at any time when carrying out the approved development it must be reported in writing immediately to the local planning authority. An investigation and risk assessment must be undertaken in accordance with the requirements of the Environment Agency's Model Procedures for the Management of Contamination (CLR11), and where mitigation is necessary a scheme of remediation must be designed and implemented to the satisfaction of the local planning authority before any part of the development hereby permitted is occupied.

Reason: To ensure the risks from land contamination to the future users of the land and neighbouring land are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors, in accordance with policies G1, D1, A1, and DM1 of the London Borough of Camden Local Plan 2017.

23 Asbestos

Work shall be undertaken in accordance with the details approved under application reference 2019/3669/P dated 4 December 2019.

Reason: To ensure the risks from land contamination to the future users of the land and neighbouring land are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors, in accordance with policies G1, D1, A1, and DM1 of the London Borough of Camden Local Plan 2017.

24 Asbestos

If an up-to-date asbestos register is not available, prior to the commencement of any site work, an asbestos risk assessment in accordance with HSE guidance shall be submitted to the Local Planning Authority for approval so that any ACMs present can be managed appropriately.

Reason: To ensure the risks from land contamination to the future users of the land and neighbouring land are minimised, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors, in accordance with policies G1, D1, A1, and DM1 of the London Borough of Camden Local Plan 2017.

25 Sound proofing

Prior to the occupation of the residential units, all fixed M&E and associated acoustic isolation, sound attenuation and anti-vibration measures are to be implemented, retained and maintained in accordance with the details approved under application 2021/2617/P dated 26 July 2021.

Reason: To prevent the transmission of noise and vibration throughout application buildings and or into any neighbouring premises, to safeguard amenities in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

26 Residential/Commercial Soundproofing:

Prior to commencement of above ground works, details shall be submitted to and approved in writing by the Council, of the sound insulation of floors/ceilings/walls separating commercial parts of the building from residential premises. The airborne sound insulation performance shall achieve as a minimum 10 dB increase in the minimum requirements of Approved Document E of the Building Regulations 2010. A test shall be carried out prior to the discharge of this condition to show the standard of sound insulation required shall be met and the results submitted to the Council for approval.

Reason: To ensure that occupiers of residential premises do not suffer a loss of amenity by reason of noise nuisance from neighbouring commercial premises in accordance with Camden Local Plan policy A1.

27 Internal Noise Levels - Sound Proofing

All residential premises shall be designed in accordance with BS 8233:2014 to attain the following internal noise levels:

| Activity | Location | 07.00 to 23.00 | 23.00 to 07.00 |
|----------------------------|------------------|----------------|----------------|
| Resting | Living room | 35 dB LAeq | None |
| Dining | Dining room/area | 40 dB LAeq | None |
| Sleeping (daytime resting) | Bedroom | 35 dB LAeq | 30 dB LAeq |

Before commencement of the use hereby permitted details shall be provided to discharge this condition to show the standard of sound insulation in habitable rooms facing the community centre shall be met and the results submitted to the Local Planning Authority for approval.

Reason: To ensure that the occupiers and users of the proposed residential component do not suffer a loss of amenity by reason of excess noise from environmental sources in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

28 Amplified music/voices

Neither music nor amplified loud voices emitted from the non-residential parts of the built development shall result in more than a 5dB increase from existing ambient noise levels to nearby residential properties.

Reason: To ensure that the amenity of occupiers of the development site/ surrounding premises is not adversely affected by noise in accordance with policy A1.

Reason: To ensure that the amenity of occupiers of the development site is not adversely affected by noise in accordance with Camden Local Plan policies A1 and A4.

29 Plant and equipment

Before the use commences, the total noise from fixed plant associated with the application site, when at a point 1m external to sensitive facades shall be at least 5 dB(A) less than the existing background measurement (LA90), expressed in dB(A), when all plant/equipment (or any part of it) is in operation unless the plant/equipment hereby permitted will have a noise that is distinguishable, discrete continuous note (whine, hiss, screech, hum) and/or if there are distinct impulses(bangs, clicks, clatters, thumps), then the noise levels from the plant/equipment at any sensitive façade shall be at least 15 dB(A) below background noise level.

Reason: To safeguard the amenities of the [adjoining] premises [and the area generally] in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

30 Emergency Equipment (if applicable)

In accordance with Section 6.100 of Local Plan emergency equipment such as generators which are only to be used for short periods of time will be required to meet the noise criteria of no more than 10dB above the background level (L90 15 minutes). During standby periods, emergency equipment will be required to meet the usual criteria for plant and machinery. Conditions to this effect may be imposed in instances where emergency equipment forms part of the application

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

31 Cycle parking

Prior to first occupation, plans showing the following bicycle parking shall be submitted to and approved by the Council.

- 22 short stay cycle parking spaces within the site for visitors to both residential buildings and the community centre,
- 58 long stay cycle parking spaces.

All such facilities shall thereafter be retained.

Reason: To ensure that the scheme makes adequate provision for cycle users in accordance with Camden local Plan policies T1, T2 and T3.

32 New pedestrian and cycle route through

The proposed new pedestrian and cycle route through the site shall be provided prior to the occupation of all the residential units and shall be maintained as a public right of way in perpetuity.

Reason: To ensure that the scheme makes adequate provision for cycle users in accordance with Camden Local Plan policies T1, T2 and T3.

33 Need for a legal agreement

In the event that any owners of the land have the legal locus to enter into a Section 106 Agreement no works shall be commenced on site until such time as they have entered into such an Agreement incorporating obligations in respect of the matters covered by conditions marked with ** in the planning permission granted on 29 March 2023 (Camden reference 2018/5774/P) as amended by planning application reference 2023/2662/P granted on 01 August 2023 and those obligations shall apply to all conditions above marked with ** which supersede those of permission 2016/6088/P.

Reason: In order to define the permission and to secure development in accordance with policy DM1 of the Camden Local Plan.

34 Basement

The development shall not be constructed other than in accordance with the conclusions, methodologies and recommendations of the Basement Impact

Assessment hereby approved, including inter alia the need for further monitoring. In the event that further evidence of site or building conditions necessitate amendments to the BIA or associated methodologies they shall be submitted to the local planning authority for approval in writing prior to the commencement of development and the development shall be constructed in accordance with such amendments.

Reason: To safeguard the appearance and structural stability of neighbouring buildings and the character of the immediate area in accordance with the requirements of policy A5 of the Camden Local Plan.

35 ** Car free

The proposal will be car free. Occupants of the proposal will not be eligible for parking permits.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Camden Local Plan policies T1, T2 and T3.

36 ** DMP and CMP

a) Prior to commencement of development, a Demolition Management Plan (DMP) shall be submitted to and approved by the local planning authority. The scheme will be built in accordance with this plan thereafter.

b) Prior to commencement of works, a Community Working Group (CWG) shall be convened by the developer, involving local councillors and local stakeholders. The developer shall have regard to the representations of the Working Group and shall give them due weight in the carrying out of the construction phase of the development.

c) Prior to the commencement of construction works (excluding demolition works), a Construction Management Plan (CMP) including an Air Quality Assessment) shall be submitted to and approved by the local planning authority. The scheme will be built in accordance with this plan thereafter.

The DMP and CMP shall set out all measures that the Owner will adopt in undertaking the demolition of the existing buildings and the construction of the Development using good site practices in accordance with the Council's Considerate Contractor Manual.

Both the DMP and CMP shall include measures for ensuring highway safety and managing transport, deliveries and waste (including recycling of materials) which demonstrates consideration of and liaison with other local concurrent developments. The plan shall also include details of a community working group involving local residents, businesses and local councillors, a contractor complaints/call-line and measures to be carried out to mitigate the impact of the noise arising from demolition and construction activities on local residents and businesses, a waste management strategy and means of monitoring and reviewing the plan from time to time.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Camden Local Plan policies T1, T2 and T3.

37 ** CMP implementation support contribution

On or prior to Implementation, confirmation that the necessary measures to secure the CMP Implementation Support Contribution shall be submitted to and approved in writing by the Local Planning Authority.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Camden Local Plan policies T1, T2 and T3.

38 ** Parking management plan

Prior to occupation of any part of the development, a parking management plan shall be submitted to and approved by the local planning authority. The proposals will be maintained in accordance with this plan thereafter.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Camden Local Plan policies T1, T2 and T3.

39 ** Servicing management plan

Prior to occupation of any part of the development, a Servicing management plan shall be submitted to and approved by the local planning authority. The proposals will be maintained in accordance with this plan thereafter.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Camden Local Plan policies T1, T2 and T3.

40 ** Landscaping management plan

Prior to occupation of any part of the development, a Landscaping management plan shall be submitted to and approved by the local planning authority. The proposals will be maintained in accordance with this plan thereafter.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Camden Local Plan policies T1, T2 and T3.

41 **Travel plan and associated monitoring fee

Prior to occupation of any part of the development, a travel plan shall be submitted to and approved by the local planning authority. Confirmation that the necessary measures to secure the travel plan monitoring contribution shall also be submitted to and approved in writing by the Local Planning Authority. The proposals will be maintained in accordance with this plan thereafter.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Camden Local Plan policies T1, T2 and T3.

42 **Highways contribution and levels plans

Prior to occupation of any part of the development, confirmation that the necessary measures to secure the highways contribution and level plans shall be submitted to and approved in writing by the Local Planning Authority. The proposals will be maintained in accordance with this plan thereafter.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Camden Local Plan policies T1, T2 and T3.

43 **Pedestrian, cycling and environmental Improvements

Prior to occupation of any part of the development, confirmation that the necessary measures to secure the pedestrian, cycling and environmental Improvements contribution shall be submitted to and approved in writing by the Local Planning Authority. The proposals will be maintained in accordance with the approved condition thereafter.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Camden Local Plan policies T1, T2 and T3.

44 **Public Realm Management Plan

On or prior to the Occupation Date a Public Realm Management Plan shall be submitted to and approved by the Council. The public realm shall be constructed and maintained open and in accordance with the approved plan thereafter.

Reason: In order to protect the pedestrian environment and the amenities of the area generally and to ensure the continued free flow of traffic in the area in accordance with Camden Local Plan policies T1, T2 and T3.

45 ** Provision of community facilities

The new community facilities shall be built to shell and core prior to first occupation of more than 50% of the residential units.

Reason: To ensure the provision of the community facilities in accordance with the requirements of Camden Local Plan policy C2.

46 ** Open space improvements

The landscaping works shall be completed prior to occupation of 50% of the residential units.

Reason: To ensure that the pedestrian environment and public realm is maintained and improved in accordance with Camden Local Plan policy A2.

47 ** Local employment

The development shall be carried out in accordance with the details approved under application reference 2020/5839/P dated 9 April 2021.

Reason: To ensure the development provides sufficient employment and training in line with the requirements of Camden local Plan policies E1 and E2.

48 ** BREEAM

The development shall be built in accordance with the energy and sustainability plan approved under application reference 2021/0384/P dated 9 March 2021.

Reason: To ensure the proposal is energy efficient and sustainable in accordance with Camden Local Plan policies CC1, CC2, CC3 and CC4.

49 ** Carbon offset fund contribution

On or prior to Implementation, confirmation that the necessary measures to secure tree a carbon offset fund contribution shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure the proposal is energy efficient and sustainable in accordance with Camden Local Plan policies CC1, CC2, CC3 and CC4.

50 **Provision of a management plan for the community facilities

Prior to operation of the community facilities (excluding demolition works), a management plan detailing how amenity issues would be mitigated and addressed shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the amenity of occupiers of the development site/ surrounding premises is not adversely affected by noise and disturbance from the community facilities in accordance with Camden Local Plan policy A1.

Informative(s):

1 Conditions marked with **

The matters covered by conditions marked with an ** are matters which would usually be incorporated into a Section 106 Agreement. On Council own schemes because the Council cannot enter into an agreement with itself the usual practice would for the permission to reference the Section 106 requirements for information.

If the Council retains ownership of the application site although the reference to Section 106 requirements would not be legally binding they would act as a record of the requirements the Council as planning authority expects the Council as landowner to comply with. If the Council disposes of a relevant interest in the Application Site (which for the avoidance of doubt will not include disposals to individual tenants and occupiers) the incoming owner will be required to enter into a Section 106 giving effect to those requirements which will then become a legally binding document.

2 Thames Water - surface water drainage and sewage

With regard to surface water drainage it is the responsibility of a developer to make proper provision for drainage to ground, water courses or a suitable sewer. In respect of surface water it is recommended that the applicant should ensure that storm flows are attenuated or regulated into the receiving public network through on or off site storage. When it is proposed to connect to a combined public sewer, the site drainage should be separate and combined at the final manhole nearest the boundary. Connections are not permitted for the removal of groundwater. Where the developer proposes to discharge to a public sewer, prior approval from Thames Water Developer Services will be required. They can be contacted on 0800 009 3921. Reason - to ensure that the surface water discharge from the site shall not be detrimental to the existing sewerage system.

There are public sewers crossing or close to your development. In order to protect public sewers and to ensure that Thames Water can gain access to those sewers for future repair and maintenance, approval should be sought from Thames Water where the erection of a building or an extension to a building or underpinning work would be over the line of, or would come within 3 metres of, a public sewer. Thames Water will usually refuse such approval in respect of the construction of new buildings, but approval may be granted in some cases for extensions to existing buildings. The applicant is advised to contact Thames Water Developer Services on 0800 009 3921 to discuss the options available at this site.

Thames Water would advise that with regard to sewerage infrastructure capacity, we would not have any objection to the above planning application.

3 Timing of vegetation clearance (breeding birds)

You are advised that all removal of trees, hedgerows, shrubs, scrub or tall herbaceous vegetation should be undertaken in line with The Wildlife and Countryside Act 1981 (as amended).

4 Guidance on biodiversity enhancements

Guidance on biodiversity enhancements including artificial nesting and roosting sites is available in the Camden Biodiversity Action Plan: Advice Note on Landscaping Schemes and Species Features.

5 Minor appropriation of land

The proposal involves widening the existing footpath from Croftdown Road. This would provide a new and improved pedestrian and cycling link through the site. This element of the scheme will require a minor appropriation of land between 2 parts of the Council. This would be dealt with separately if planning permission is granted and prior to any works commencing on site (e.g. Section 256 of the Highways Act 1980).

6 Considerate Contractors

The development would also need to be registered with the Considerate Constructors' Scheme. Details are available at the website below.

7 CMP pro-forma

The Council has a CMP pro-forma which must be used if and when planning permission is granted and once a Principal Contractor has been appointed. The CMP, in the form of the pro-forma, would need to be approved by the Council prior to any works commencing on site. The CMP pro-forma is available on the Council's website at the hyperlink below:

<http://www.camden.gov.uk/ccm/content/environment/planning-and-built-environment/two/planning-applications/making-an-application/supporting-documentation/planning-obligations-section-106/>

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

<https://www.gov.uk/appeal-planning-decision>.

Yours faithfully

Chief Planning Officer