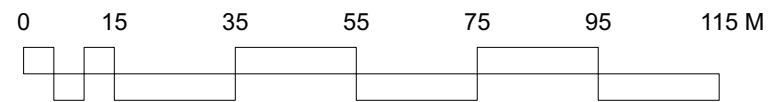
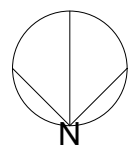
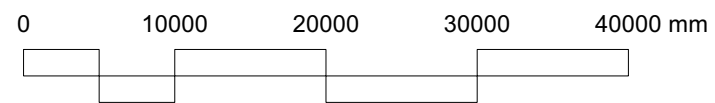


○ Site Plan
Scale: 1:1250



○ Block Plan
Scale: 1:500



Scale
As Shown
Drawn by
DB

Drawing no.
00_00 Rev A
Date
Jan 2024

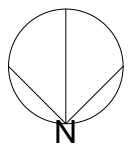
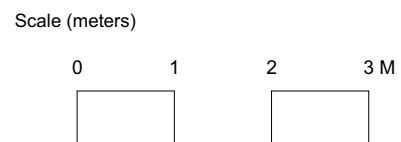
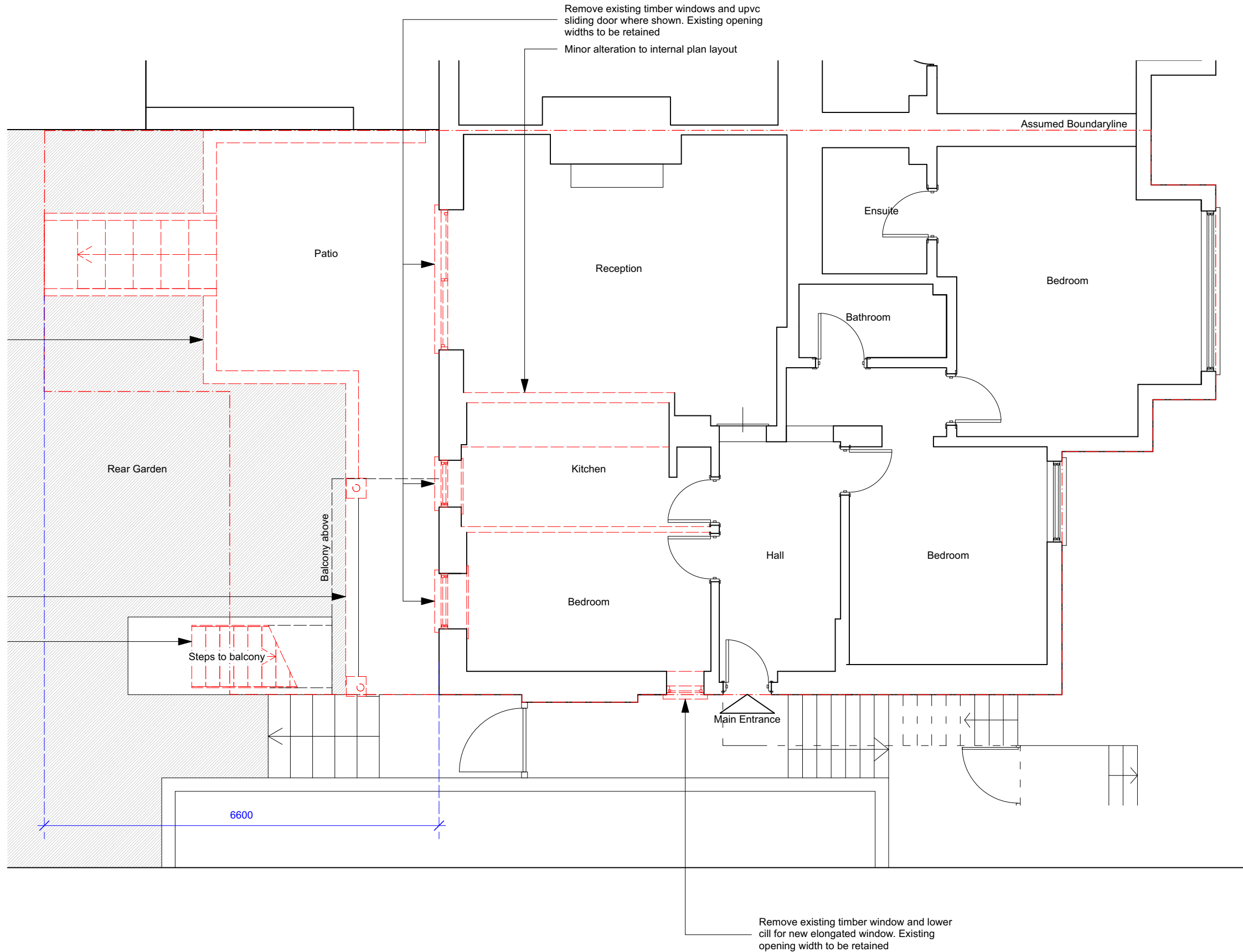
Client

Project
108A Priory Road, London NW6 3NS

Drawing title
Site Location
Planning

Easton Design Office Limited
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Scale
1:70 @ A3
Drawn by
DB

Drawing no.
00_01 Rev A
Date
Jan 2024

Client

Project
108A Priory Road, London NW6 3NS

Drawing title
Existing Basement Plan

Planning

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Extension line shown for granted planning consent for ref 2015/2663/P (not yet built)

Existing brick boundary wall maintained

New permeable stone/ tile patio.

New double glazed metal framed doors

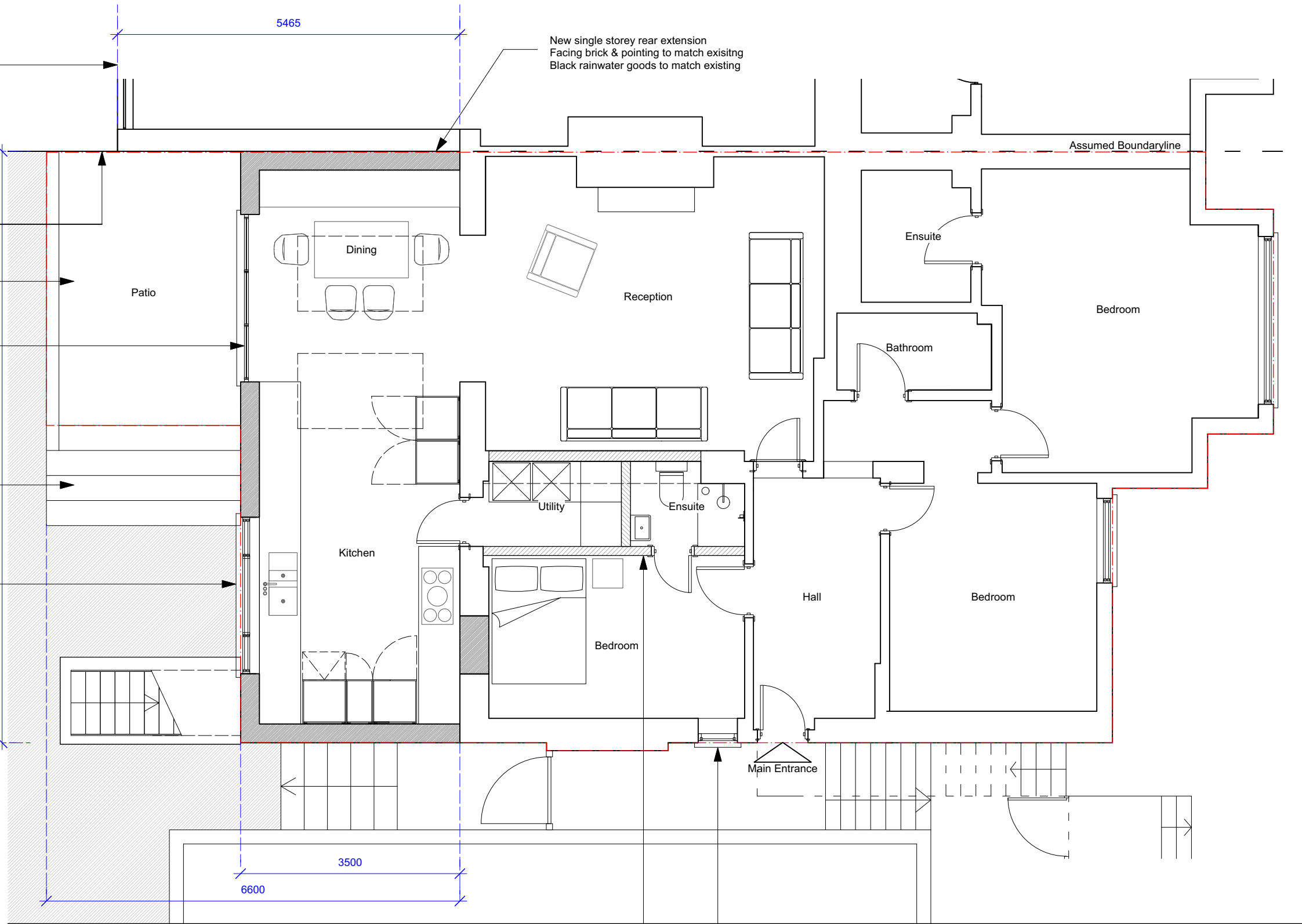
New stone/ tile patio steps up to existing rear garden with new brick retaining wall

Rear Garden

New double glazed metal framed casement window

New single storey rear extension
Facing brick & pointing to match existing
Black rainwater goods to match existing

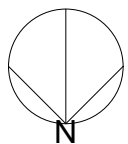
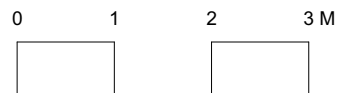
Assumed Boundaryline



New elongated casement window & cill, double glazed timber framed, to match adjacent

Minor alteration to internal plan layout. No change in number of bedrooms

Scale (meters)



Scale
1:70 @ A3
Drawn by
DB

Drawing no.
00_02 Rev A
Date
Jan 2024

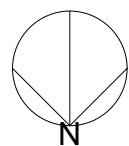
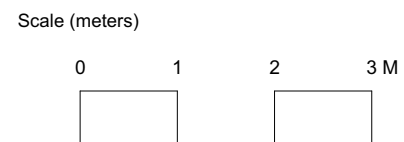
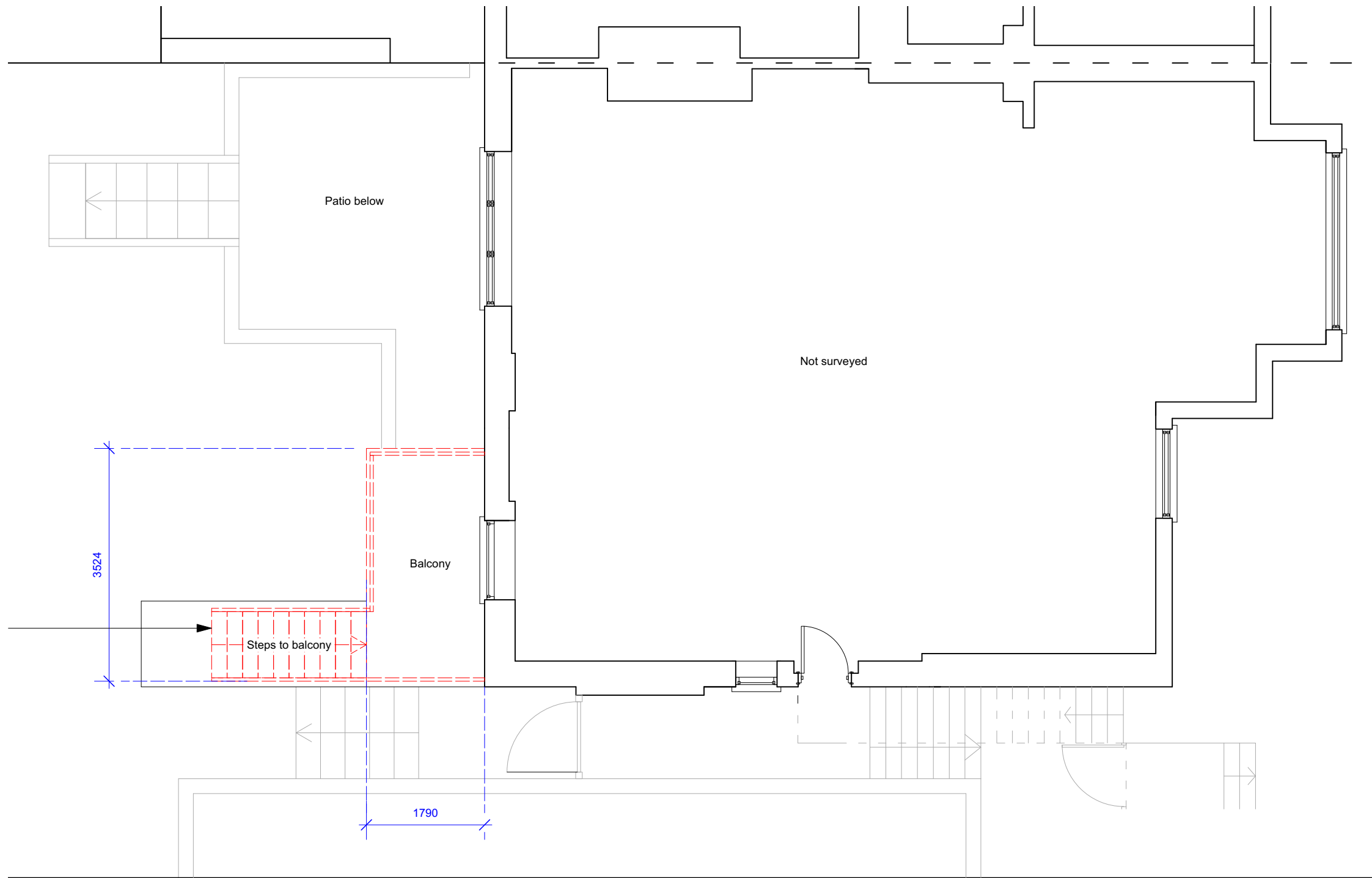
Client

Project
108A Priory Road, London NW6 3NS

Drawing title
Proposed Basement Plan
Planning

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Date
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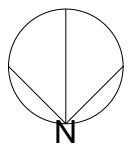
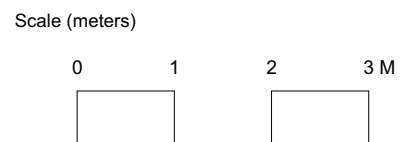
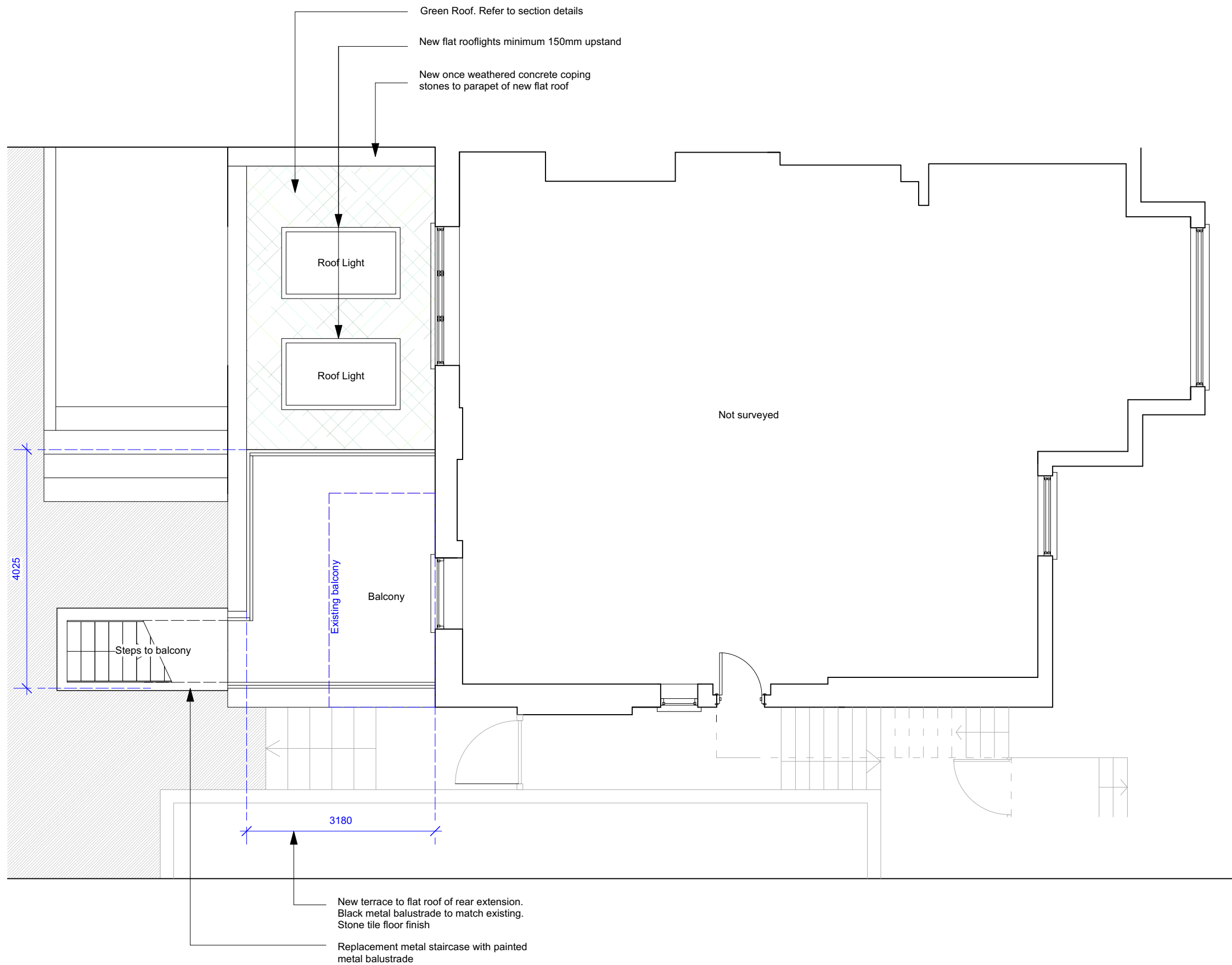
Project
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Drawing title
Existing Ground Floor Plan

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Scale
1:70 @ A3
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00_04 Rev A
Date
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No change to front elevation

Scale (meters)



Scale
1:50 @ A3
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00_05
Date
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Client

Project
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Drawing title
Existing/ Proposed Front Elevation

Planning

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Remove existing upvc sliding doors and fan light above. Existing opening width to be retained

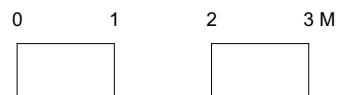
Remove existing metal steps & balcony deck

Garden level

Remove existing timber window ready for infill

Remove window & cill and lower cill to prepare for new door opening. Existing opening width to be retained

Scale (meters)



Scale
1:50 @ A3
Drawn by
DB

Drawing no.
00_06
Date
May 2023

Client
Project
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Drawing title
Existing Rear Elevation
Planning

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New terrace to flat roof of rear extension.
 Black metal balustrade to match existing.
 Replacement metal staircase access down to garden level

Stone coping to parapet wall

Extension height shown for granted planning consent for ref 2015/2663/P (not yet built)

3150

Black hopper & rainwater goods to match existing

Single storey rear extension with facing brick & mortar pointing to match existing building

Slim framed aluminium doors. Frame PPC white finish

Garden level

Slim framed aluminium casement window.
 Frame PPC white finish

New stone tile steps up to garden level

Scale (meters)



Scale
 1:50 @ A3
 Drawn by
 DB

Drawing no.
 00_07
 Date
 May 2023

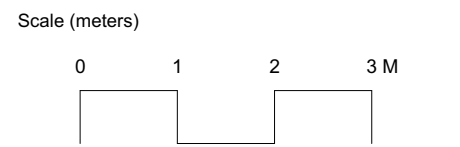
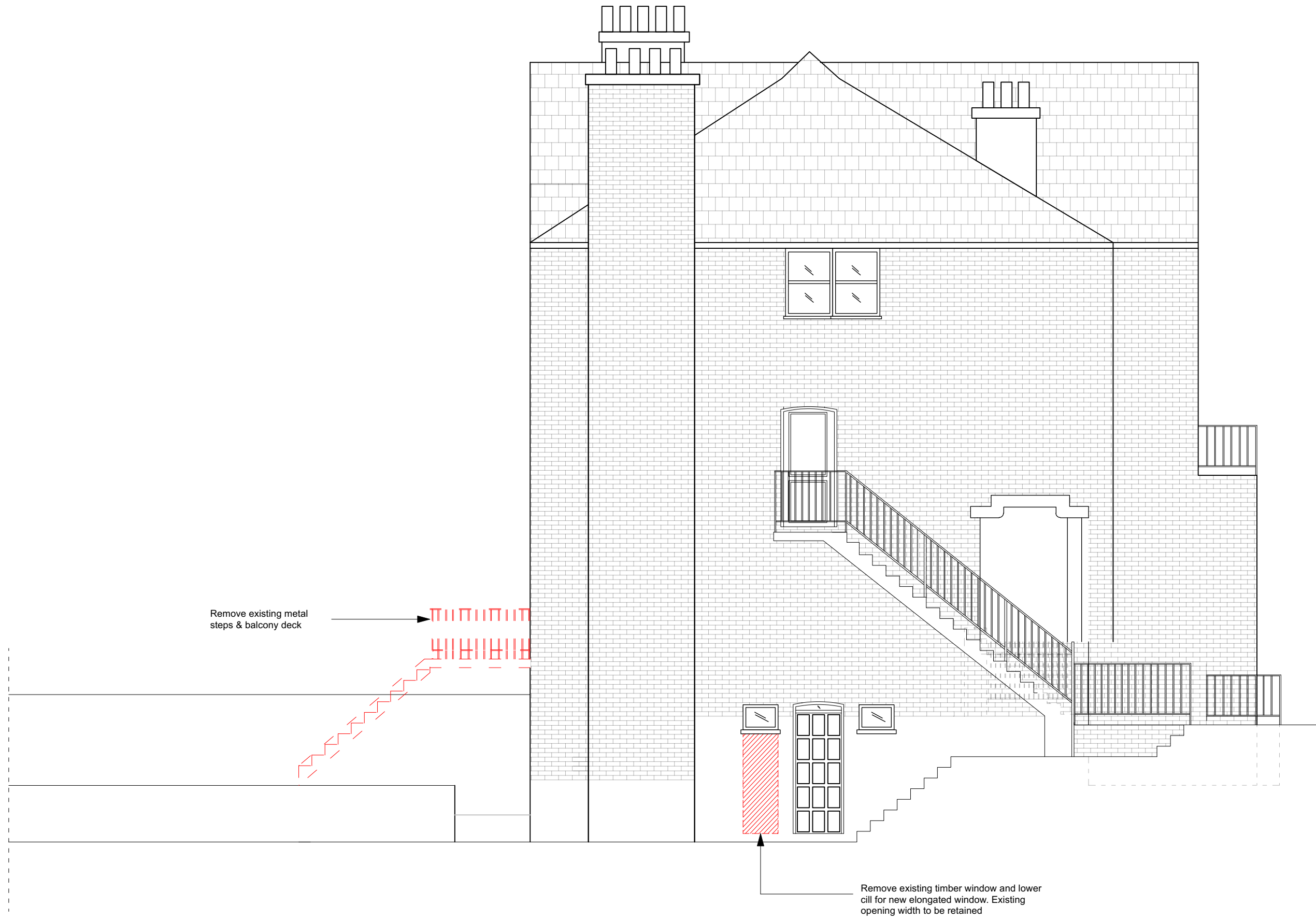
Client
 Project
 108A Priory Road, London NW6 3NS

Drawing title
 Proposed Rear Elevation

Planning

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Scale
1:50 @ A3
Drawn by
DB

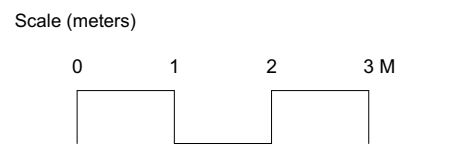
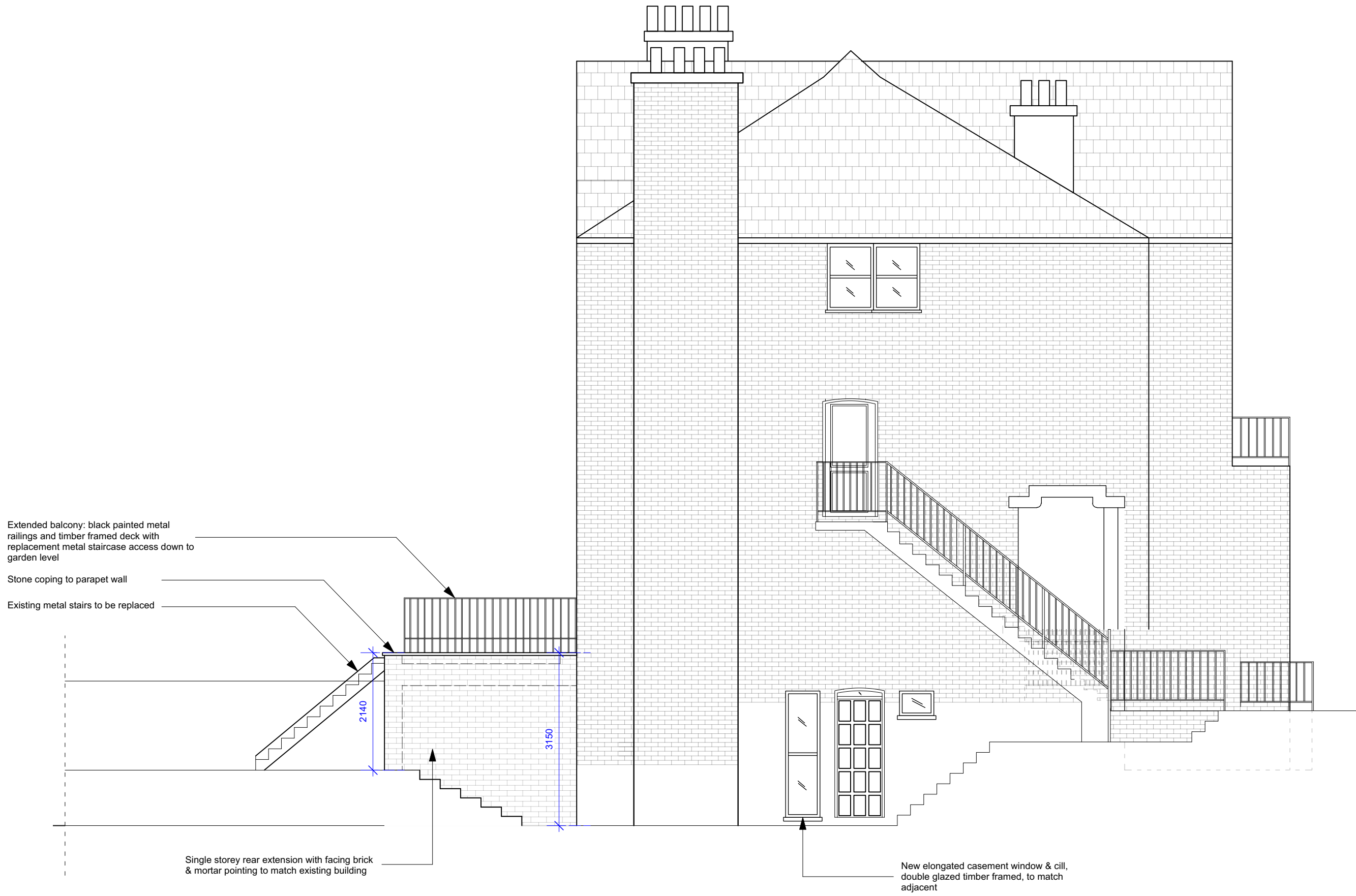
Drawing no.
00_08
Date
May 2023

Client
Project
108A Priory Road, London NW6 3NS

Drawing title
Existing Side Elevation
Planning

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Scale
1:50 @ A3
Drawn by
DB

Drawing no.
00_09
Date
May 2023

Client

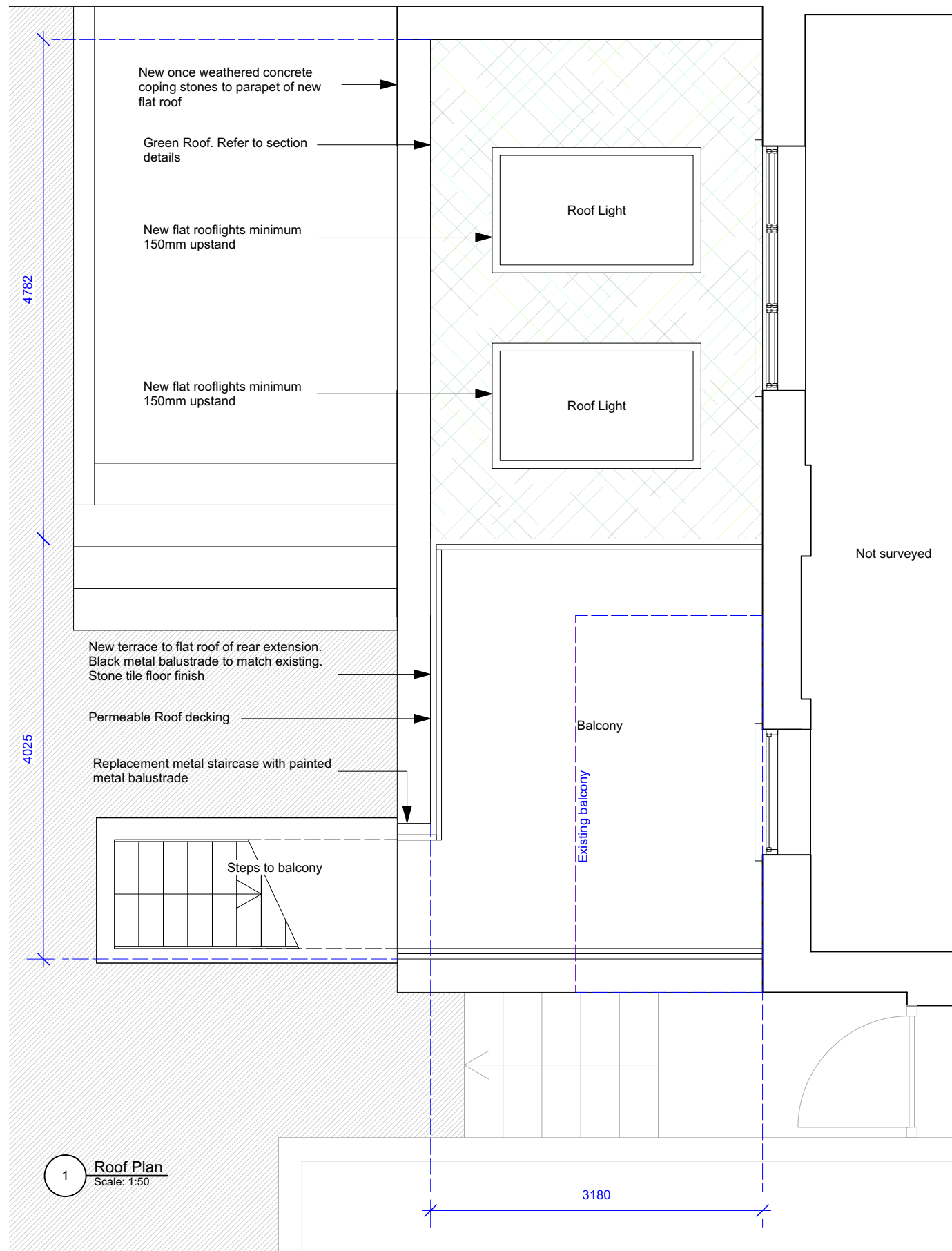
Project
108A Priory Road, London NW6 3NS

Drawing title
Proposed Side Elevation

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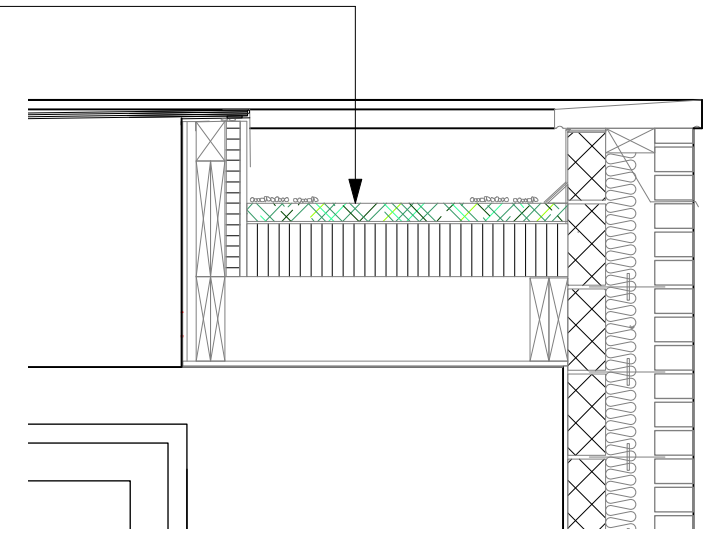




1 Roof Plan
Scale: 1:50

Roof Build Up:

1. BauderGREEN XF 301 sedum system with BauderGREEN AL 40 edge trim. Gravel perimeter to be provided around roof penetrations or drainage access.
2. BauderGREEN SDF drainage and protection mat.
3. BauderPLANT E 42 Capping Sheet; Torch bonded, heavy duty elastomeric, bitumen capping sheet; 250g/m² spunbonded polyester reinforcement; fire retardent. Chemically treated bitumen to deliver superior root resistance.
4. BauderTEC Sprint DUO Underlayer; Self-adhesive elastomeric bituminous membrane; glass lattice reinforcement; 'DUO' lap technology.
5. BauderPIR FA-TE Flatboard insulation; Thermally efficient, lightweight and zero ODP rated; Foil-faced on both sides for increased thermal efficiency. Alternatively, BauderPIR FA Tapered can be used for improved drainage falls.
6. BauderTHERM DS 1 DUO Air and Vapour Control Layer; Self-adhesive elastomeric bitumen air and vapour control layer; patented with Duo lap technology to ensure thorough sealing of lap joints.
7. C24 Joist @400 c/c. All connections and structure to Structural Engineers details and calculations.
8. Skim coated Knauf Wallboard.

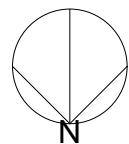


2 Section Detail Roof Build Up
Scale: 1:20



3 Sedum Mix
Scale: Actual Size

Scale (meters)



Scale
1:70 @ A3
Drawn by
DB

Drawing no.
00.10 Rev B
Date
Jan 2024

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