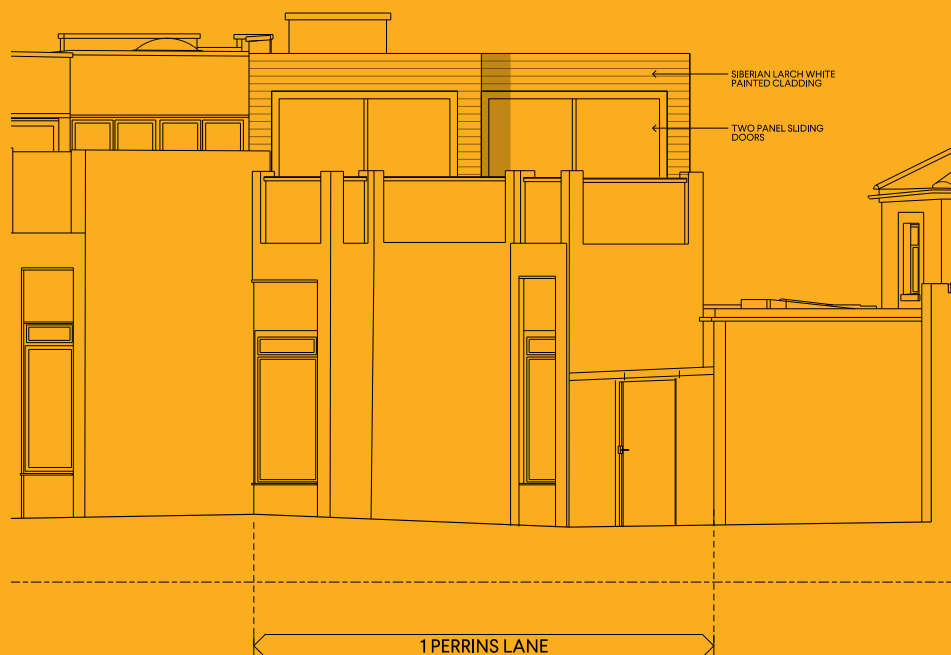


1 Perrins Lane

Design and Access Statement

Planning

February 2024

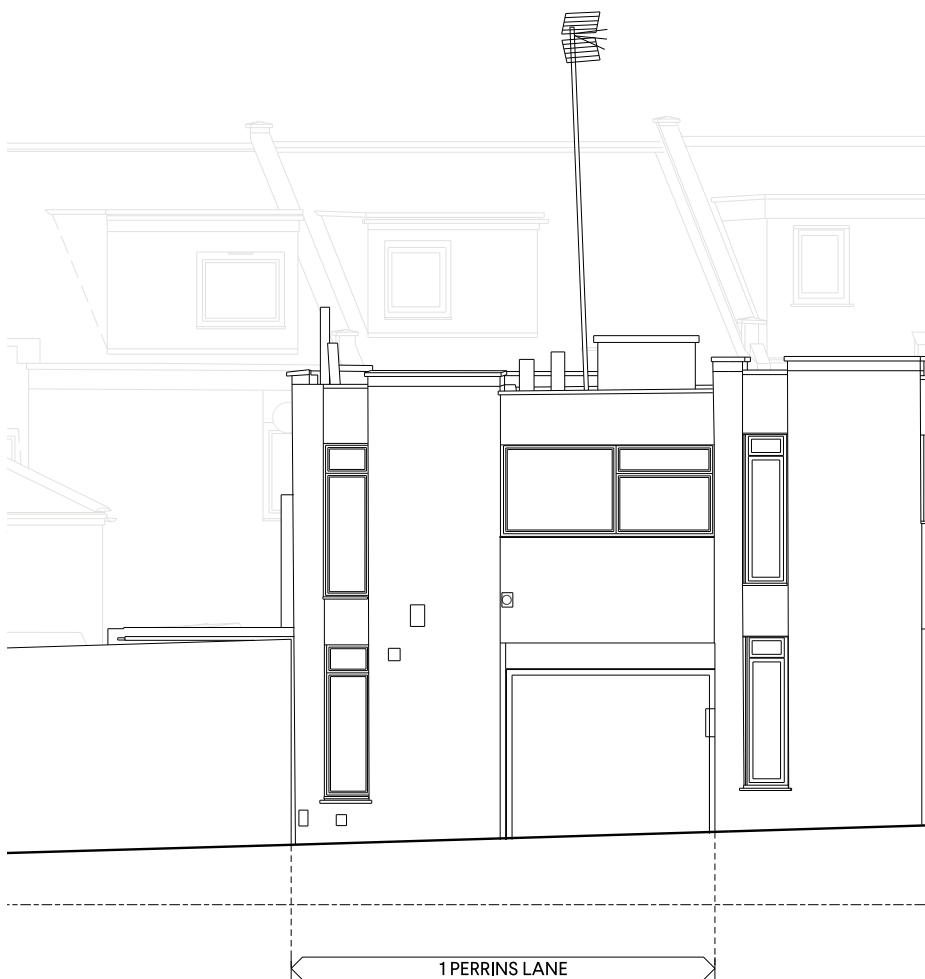


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1. Introduction

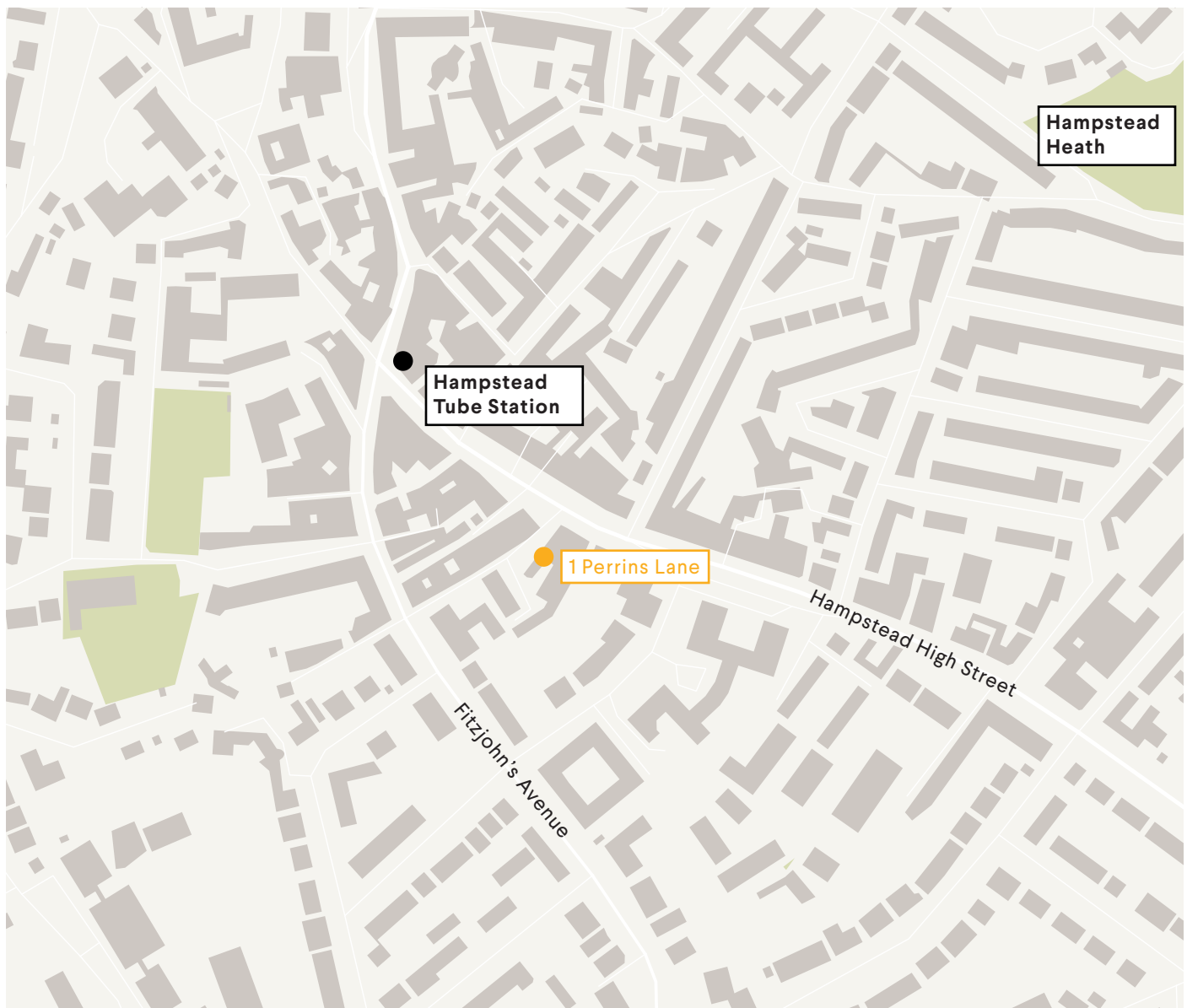
- 1.1. This Design & Access Statement has been prepared for a planning application for extensions and modifications to an existing 1970s end of terrace house, 1 Perrins Lane in Hampstead.
- 1.2. The proposals are designed to maximise the potential of the site located in a residential context and reference elements of the surrounding housing typologies in a historically sympathetic manner.
- 1.3. The proposals will create valuable additional space for the owner occupiers of 1 Perrins Lane.



Existing front elevation of 1 Perrins Lane

2. Site

- 2.1. The full address of the site is: 1 Perrins Lane, London, NW3 1QY.
- 2.2. The site is located in Hampstead, in the London borough of Camden. It is an area that features a diverse mix of historic and contemporary architecture.
- 2.3. The site is located in the Hampstead conservation area.
- 2.4. The site is located in flood zone 1 meaning there is a low probability of flooding. Please refer to separate flood map for planning



3. Heritage & Conservation

- 3.1. 1 Perrins Lane is located in the Hampstead Conservation Area
- 3.2. The Hampstead Conservation Area was established in the early 1970s. It received official designation as a conservation area in 1973. This designation was made to protect and preserve the architectural and historical character of Hampstead, including its Georgian and Victorian buildings, charming streets, and leafy squares.
- 3.3. 1 Perrins lane sits next to the Grade II listed King William IV Pub established circa 1720



Conservation Map of Perrins Lane and the surrounding area

- ▮ Conservation areas
- Grade I listed building
- Grade II listed building
- Grade II* listed building



4. Existing Building

- 4.1. The existing building was constructed in the 1970s and is one in a row of three terraced houses in the same modern style.
- 4.2. The building is of masonry construction and features dark red bricks and white UPVC cladding, windows and doors.
- 4.3. Entry to the house is through a small car port that opens onto Perrins lane.
- 4.4. Internally, the house features a small kitchen, WC, spare room and open plan living area on the ground floor. Accessed via a tight spiral staircase, the first floor features two bedrooms that share a bathroom.
- 4.5. The current arrangement results in a very dark environment on the ground floor. The existing construction and openings are not thermally efficient and do not meet current building regulation standards.



Front elevation of 1 Perrins Lane



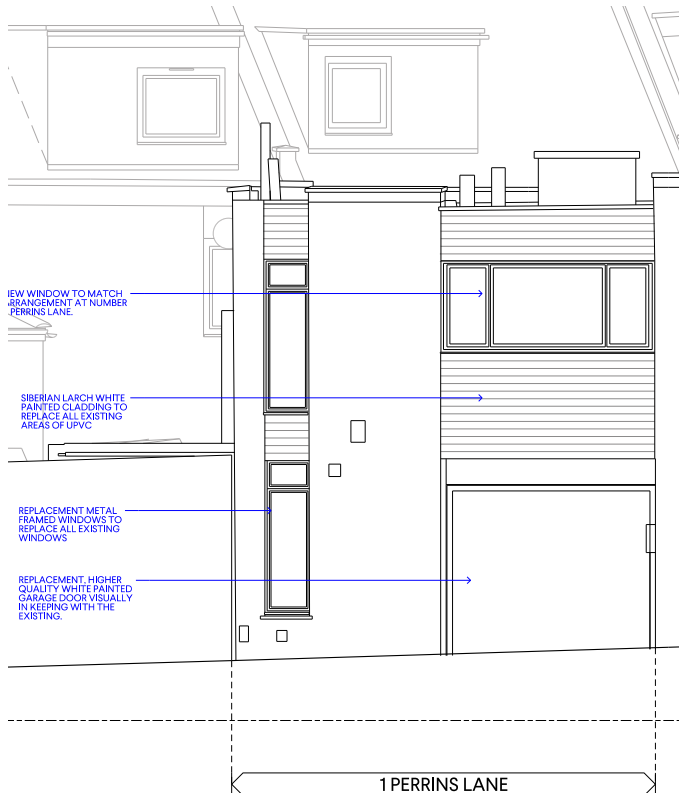
Existing rear elevation at first floor level



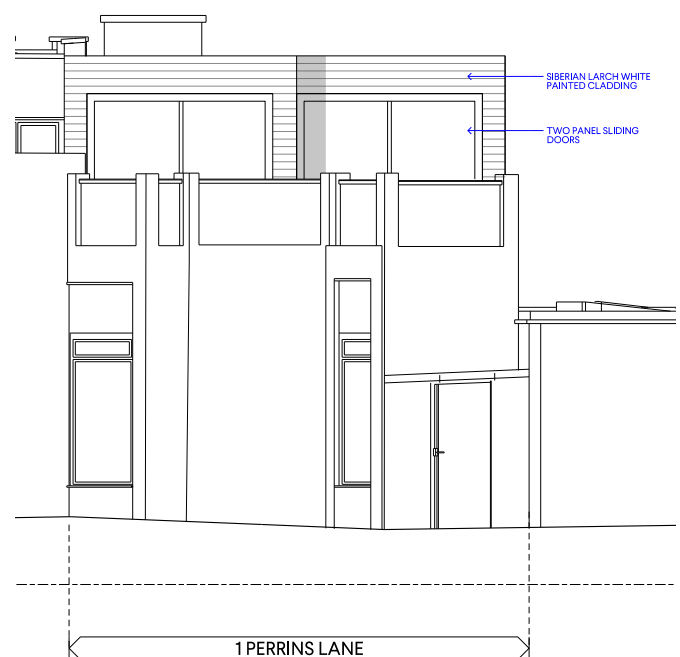
Existing first floor roof terrace

5. Feedback from Pre- application 01

- 5.1. Initial advice has been sought for an earlier set of proposals.
- 5.2. The concluding feedback from the pre- application advice received, **ref 2023/4343/PRE**, was as follows:
- *'Further assessment or revision to this proposal is advised to move forward to application stage. The host property is humble in nature and is part of a group of three similar adjoined properties. Although some scope for extension at the rear may be possible, what is proposed is considered excessive on the northern boundary, in this built-up context, and likely to negatively impact the garden of the adjacent public house, the open nature of the conservation area as perceived from nearby Hampstead High Street and possibly the amenity of nearby properties in terms of privacy, light and being overbearing.'*



Proposed Updated Front Elevation of 1 Perrins Lane



Proposed Updated Rear Elevation of 1 Perrins Lane

6. Updated Proposals

- 6.1. A new, staggered form rear extension is proposed on first floor level that projects onto the roof terrace.
- 6.2. The extension's staggered form harmoniously continues the proportions and rhythm of the row of 1970s houses making it a subtle and well-integrated addition to the series.
- 6.3. The initial pre application raised concerns about the scale of the extensions on the northern boundary of the site, the likely negative impact this would have on the adjacent public house and the broader harm the sense of enclosure would have on the conservation area. In direct response to this, the arrangement of the extension has been mirrored. The extensions now extend further on the southern site boundary and to a lesser extent on the north.
- 6.4. The revised mirrored arrangement also ensures that the character and appearance of the Hampstead Conservation Area is maintained. The mirrored extension no longer closes the visual gap at the rear of Perrins lane.
- 6.5. Furthermore, and in response to the initial pre application advice received, a daylight/ sunlight assessment has been included as part of this second pre-application. The report concludes that the revised proposed extensions proposed development is in accordance with the BRE guidelines for daylight and sunlight and has no impact on neighbouring amenity of the beer garden of King William IV pub.
- 6.6. The mirrored arrangement does not negatively impact the neighbour at number 3 Perrins Lane. No. 3 sits to the south of no. 1 meaning the new wall will not block natural light to the roof terrace - as documented in the accompanying daylight/ sunlight report. Furthermore, the new wall will increase privacy levels as overlooking potential is reduced.
- 6.7. The proposed materials are visually in keeping with the existing row of 1970s houses but are more sustainable, durable and energy efficient alternatives. White painted Siberian larch cladding and metal framed windows are proposed as a replacement to the existing UPVC cladding, windows and doors.
- 6.8. Walk-on roof lights are proposed on the existing terrace to allow natural light to reach the dark ground floor spaces.
- 6.9. The existing UPVC windows and cladding elements on the Perrins Lane facing elevation of the house are to be replaced with white painted, metal framed, openable windows and painted Siberian larch cladding. The window arrangement is to change to match the neighbouring windows at number 3 Perrins Lane.
- 6.10. The increased envelope of the building allows the interior to be reworked to ensure compliance with modern building regulation whilst creating a much more user friendly environment for the occupiers.



Impact of initial proposal in pre application 1 on the visual gap as viewed from the high street.



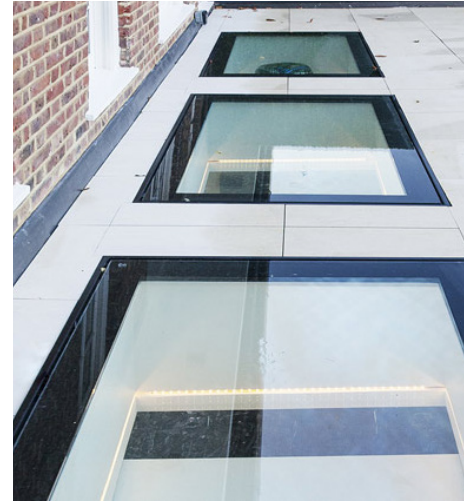
Impact of revised proposal on the visual gap as viewed from the high street



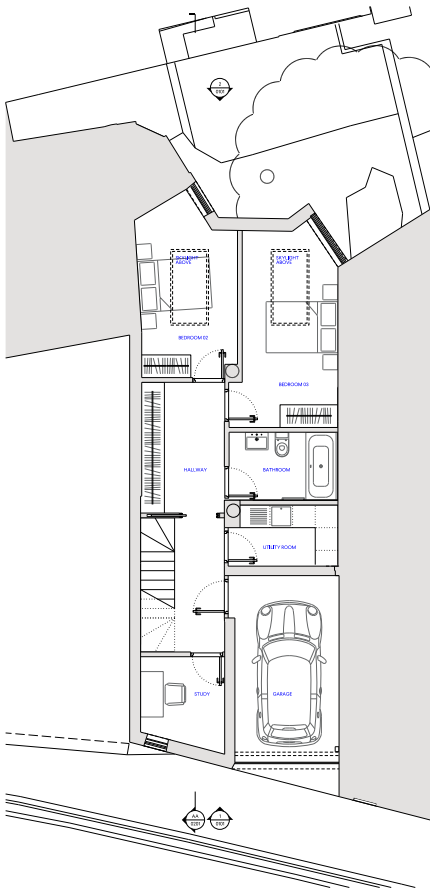
Horizontal whitewashed Siberian larch cladding to new extension.



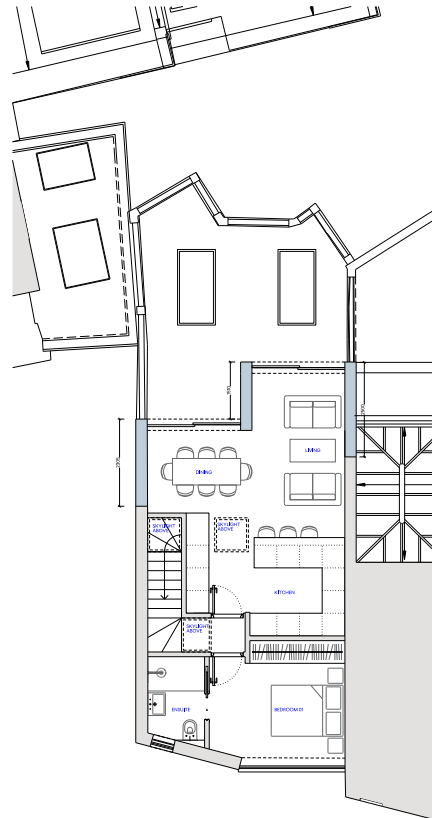
Light coloured powder coated metal framed sliding doors to roof terrace



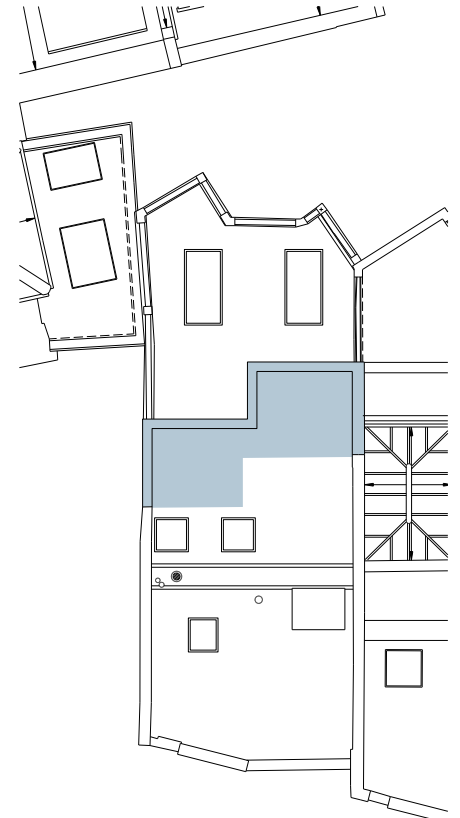
Walk-on roof lights on terrace to allow natural light to penetrate the dark ground floor.



Proposed Ground Floor Plan



Proposed First Floor Plan



Proposed Roof Plan

■ Proposed extension

7. Sustainability

- 7.1. The new extension will be of modern construction complying with Approved Document Part L - Conservation of Fuel and Power. The existing 1970s construction is a current source of thermal inefficiency.
- 7.2. The proposed materials for the project are being considered carefully to reduce the impact of the build on the environment such as reclaimed, recycled and low carbon brick options.

8. Conclusion

- 8.1. These revised proposals are the result of responding to the initial pre application advice received.
- 8.2. The proposed extensions at 1 Perrins Lane are in keeping with the Hampstead Conservation Area Design Guide, Local Plan and London Plan.
- 8.3. The proposed extensions allow the internal arrangement of the dwelling to be rearranged to include an additional bedroom. Creating a layout that is much more family orientated. The layout also includes a study, helping to facilitate remote/ hybrid working.
- 8.4. The current condition of the house is poor and in need of investment and renovation. By carrying out the proposed works the new owner occupiers will be making a positive contribution to the local housing stock.