

133 Haverstock Hill, NW3 4RU

Planning and Heritage Statement

**Firstplan Ref:** 22177/KM/V1

**Date:** December 2023

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# Section 1 Introduction

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- 1.1 This planning and heritage statement has been prepared by Firstplan in respect of proposed alterations to 133 Haverstock Hill, London. The proposals include internal alterations to all floors, alterations to fenestration, a replacement rear extension, an outbuilding in the rear garden, replacement front boundary, landscaping works and air source heat pumps.
- 1.2 133 Haverstock Hill forms part of a listed terrace of properties on Haverstock Hill comprising Nos. 129-133. The properties date from the 1820s. The property is located within the Belsize Park Conservation Area.
- 1.3 133 Haverstock Hill has undergone alterations since originally constructed including a rear extension, the opening up of the rooms at lower ground floor, however it retains significance as part of a grand symmetrical terrace and has some original features such as the staircase and some of the plan form.
- 1.4 Pre-Application advice was received in April 2023 and since then amendments have been made to the scheme including reducing the width of the proposed rear extension, amending the design of the outbuilding and omitting a previously proposed first floor extension.
- 1.5 The proposed outbuilding has been designed to be ancillary to the main house and the proposals have been designed to ensure that there is no adverse impact on the amenity of neighbouring occupiers.
- 1.6 The scheme has been designed to be sustainable including a green roof to the outbuilding and an ASHP. Replacement tree planting is proposed and the application is supported by an Arboricultural Impact Assessment and Method Statement.
- 1.7 Section 2 provides background information including a site description and the relevant planning history of the site and surroundings. Section 3 provides an assessment of the significance of the listed building. Section 4 provides a schedule of works. Section 5 sets out the justification and mitigation of these works. Section 6 presents the conclusions.

## Section 2 Background Information

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### a) Site Description

- 2.1 133 Haverstock Hill is an end of terrace property located on the south side of Haverstock Hill, a short walk from Belsize Park Underground Station.
- 2.2 The property comprises four storeys (including a lower ground floor). It forms part of a listed symmetrical terrace.
- 2.3 The property is set back from the street, with mature planting along the frontage. It has a generously sized rear garden.
- 2.4 The property has been extended in the past including a first floor side extension in the 1970s and a two storey rear extension at lower ground and ground floor levels in the 1980s.
- 2.5 Internally, the lower ground floor has been significantly altered to become largely open plan with a modern staircase. The upper floors are more traditional in character and comprise a traditional hierarchy of spaces. The property features traditional detailing albeit some is reproduction. It retains its original main staircase.
- 2.6 Photographs of the property are provided within the Design and Access Statement.

### b) Planning History

- 2.7 A desktop review of the planning history of the site has been carried out based on the information currently available on Camden's online planning database. Also considered to be of some relevance is the history of the neighbouring property at No.131.

#### i) 133 Haverstock Hill

- 2.8 Planning permission and listed building consent for erection of rear extension at basement level with a conservatory over as shown on drawing no. 7802.04D. revised on 14<sup>th</sup> July 31<sup>st</sup> August 1988 was granted in September 1988 (ref: 8803731 and 8870538).

- 2.9 Planning permission and listed building consent for the erection of a side extension at first floor level to provide a bathroom was granted in July 1978 (ref: G9/8/5/HB1901 and G9/8/5/26310).
- ii) 131 Haverstock Hill
- 2.10 Planning permission and listed building consent for formation of vehicle hardstanding to replace the existing gravel driveway, widening of existing vehicle access, installation of bi-folding gates and proposed access to roof of dwellinghouse with associated balustrade to create a roof terrace (Use Class C3) (ref: 2020/1390/L and 2020/0684/P).
- 2.11 Installation of external balustrading, new hatch on existing roof as fire escape and new internal staircase was granted in July 2015 (2015/1893/P). This followed a previous scheme withdrawn in 2014.
- 2.12 A single storey rear extension with roof terrace over together with internal and external alterations. as shown on drawing no 940/Survey 01 Survey 02 10A and 11B 12 as revised on 20.06.94 30.08.94 was granted in 1994 (9470101 and 9400475).

## Section 3      Assessment of Significance

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- 3.1 In assessing the values which are embodied within the identified heritage assets, regard has been had to the heritage values as defined in Historic England’s Conservation Principles (2008) together with guidance within the National Planning Policy Framework (NPPF) and National Planning Policy Guidance (NPPG).
- 3.2 The designated heritage assets relevant to this application are the Belsize Park Conservation Area and the Grade II listed building.
- 3.3 National Planning Policy Guidance (NPPG) sets out that there are three principal heritage values which may be taken into account when assessing the nature of significance. In summary these comprise:
1. Archaeological interest: Is there archaeological interest worthy of expert investigation?
  2. Architectural and artistic interest: Is there interest in the design and general aesthetics of a place? This can either be from conscious design or from how a heritage asset has evolved.
  3. Historic interest – An interest in past lives and events. This can provide a record of the nation’s history and can also provide meaning for communities
- 3.4 Section 16 of the NPPF is concerned with conserving and enhancing the historic environment. It is noted within Paragraph 194 that when describing the significance of a heritage asset the level of detail should be proportionate to the assets’ importance and no more that is sufficient to understand the potential impact of the proposal on the significance. It goes on to require that when determining an application affecting a heritage asset the planning authority should take into consideration the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation.
- a)      **Belsize Park Conservation Area**
- 3.5 The application site lies within the Belsize Park Conservation Area, which sits on the rising land between Chalk Farm at the bottom of Haverstock Hill and Hampstead at the top, and extends westwards to Swiss Cottage.

- 3.6 The Conservation Area Appraisal details the history of the area. In the 18<sup>th</sup> Century the area comprised Belsize House and its surrounding estate and farmland, with Haverstock Hill appearing on the 1745 John Rocque Map. Belsize House was leased to the Earl of Chesterfield, he disposed of his lease in 1807 dividing the land into eight parcels and selling it to four local men who divided the land up into small estates known as ‘parks’, this led to piecemeal development.
- 3.7 The first of the eight parcels of land to be developed was one acquired by Edward Bliss adjacent to Haverstock Hill. He realised the potential of the land on a main route into London for the development of houses. The Haverstock Hill frontage (between England’s Lane and the present Howitt Road) was consequently made available for piecemeal development from 1815. A tranche of mansions, lodges, villas and terraces was largely completed by 1826 and to some extent set the tone for development in the area. This development included the terrace at Nos. 129 -133 Haverstock Hill.
- 3.8 Nos. 129 -133 Haverstock Hill are noted in the conservation area appraisal as the ‘most notable group on Haverstock Hill’. They make a positive contribution to the area and reference its early development.

**b) 133 Haverstock Hill**

- 3.9 The special interest in this property is as part of the early development of the area. It’s front elevation also has architectural significance as part of a largely symmetrical terrace which contributes positively to the area.
- 3.10 The official listing description is as follows:

**Symmetrical terrace of 3 houses. c1820. Yellow stock brick with channelled stucco ground floor and plain 1st floor band. Slightly projecting central bay with crow step parapet having recessed panel and flanked by panelled brick pilaster strips. 3 storeys and semi-basements. 2 windows each. Round-arched doorways, Nos 129 and 133 in portico extensions, fanlights and panelled doors approached by steps. Gauged flat brick arches to recessed sashes; 1st floor with cast-iron balconies. Central house, No.131, upper floor windows tripartite; 1st floor with stucco pediment, 2nd floor under a segmental arch. Parapets. INTERIORS: not inspected.**

- 3.11 The rear of the property has a simpler design and has been altered with the erection of a two storey rear extension, it therefore has less significance although still retains much of its character on the upper floors.



3.12 Internally, the lower ground floor has been significantly altered to become largely open plan with a modern staircase and has low heritage significance. The upper floors are more traditional in character and comprise a traditional hierarchy of spaces, they are generally considered to have medium significance with the top floor having less owing to the insertion of the central bathroom.

## Section 4      Schedule of Works

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4.1 This section provides a list of the proposed works. The works are comprehensively shown on the Flower Michelin plans.

a)      **Garden Building**

4.2 A proposed outbuilding is to be used as an open plan home gym and study, incidental to the enjoyment of the property. The building will have a green roof and will have an approximate height of 2.5 metres.

b)      **Rear Extension**

4.3 The existing rear extension will be demolished and replaced by a larger rear extension which will reflect the width of the man house. Arched windows are proposed at with detailing to match the glazing bars of the existing sash windows.

4.4 The widows of the lower ground floor extension will also be altered with arched detailing and the terraced area will be landscaped with reconfigured steps to the garden.

c)      **Works to Fenestration**

4.5 The application includes a window schedule. It is proposed to refurbish the historic window frames and replace the frames which are beyond repair or not original. Slimline heritage double glazing is proposed to enhance the energy efficiency of the property.

4.6 It is also proposed to replace the front door as it has been subject to subsidence and has poor air tightness.

d)      **Works to Front Boundary**

4.7 A brick wall is proposed with timber gates to the front boundary and surrounding the sides of the front garden. The brick will match the existing brick front wall, and the height of the piers will match existing with slightly higher infill sections.

**e) Landscaping**

4.8 It is proposed to reconfigure the existing rear garden steps. It is also proposed to install a metal grille to the front lightwell and replace the existing side gate.

4.9 Replacement tree planting is also proposed as detailed in the Arboricultural Impact Assessment and Method Statement.

**f) Lower Ground Floor**

4.10 Proposed internal alterations:

- Damp proofing works (as per attached report by Garratts)
- Demolition of sections of side wall between the large and smaller rooms and installation of glazed screens. Downstand and lower section of walls retained – see submitted proposed internal elevations
- Existing partitions to utility room removed
- Installation of reconfigured kitchen to front room. Kitchen built around retained chimney breast.
- Partition nibs introduced between original front and rear rooms to restore legibility of original plan form
- False ceiling to existing rear extension and original rear room to allow for heating plant above

**g) Upper Ground Floor**

4.11 Proposed internal alterations:

- Replace existing folding doors with bi-folding doors with slightly reduced opening size
- Enlargement of non-original stair window
- Replacement of floor coverings
- False ceiling to rear room, hallway and WC to allow for heating plant above
- Replacement rear door to conservatory
- New glazed lobby doors in hallway

**h) First Floor**

4.12 Proposed internal alterations

- New bathroom to rear room including boarding over existing door on bathroom side.
- Creation of jib door between front and rear rooms to create ensuite
- Removal of partition between the two smaller side rooms to create enlarged dressing room

- Boarding over of existing door on dressingroom side and replacement of door between dressingroom and master bedroom with a jib door
- False ceiling to rear room and dressing room to allow for heating plant above
- New floor coverings

**i) Second Floor**

4.13 Proposed internal alterations:

- Reconfiguration and enlargement of existing central bathroom, including alterations to door positions.
- Fireplaces to be concealed
- False ceiling to rear room to allow for heating plant above

4.14 It is also proposed to repair the existing roof with materials to match existing.

## Section 5 Planning Policy Background

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5.1 The following planning policy and guidance documents are of relevance of the application proposals:

- National Planning Policy Framework (2021)
- National Planning Practice Guidance (Online Planning Resource)
- London Plan (2021)
- Camden Local Plan (2017)
- The Camden Planning Guidance

a) **National Planning Policy Framework (NPPF) (2023)**

5.2 The NPPF provides overarching planning policy guidance for development across England. **Paragraph 10** sets out that at the heart of the framework is a “*presumption in favour of sustainable development*”. **Paragraph 11** of the NPPF notes that for decision-taking sustainable development means approving development proposals that accord with an up-to date development plan without delay.

5.3 **Paragraph 38** sets out that Local Planning Authorities should approach decisions on proposed development in a positive and creative way. It states that decision-makers at every level should seek to approve applications for sustainable development where possible.

5.5 **Paragraph 199** outlines that when considering the impact of a proposed development on the significance of designated heritage, great weight should be given to the asset’s conservation. The more important the asset, the greater the weight should be.

b) **The London Plan (2021)**

5.6 **Policy HC1 “Heritage Conservation and Growth”** details that development proposals which affect heritage assets, and their wider sections, should conserve significance by being sympathetic to the assets’ significance and appreciation with their surroundings. Development proposals should seek to avoid any negligible impact and identify enhancement opportunities by integrating heritage considerations at an early stage within the design process.

c) **Camden Local Plan (2017)**

- 5.7 **Policy D1** seeks to secure high quality design in new development that respects local character whilst preserving or enhancing the historic environment and heritage assets. Support is given for development that is sustainable in design and construction including resource management, comprises high quality materials that complement local character, incorporates high quality landscape design and outdoor amenity space and provides a high standard of accommodation.
- 5.8 **Policy D2** requires development proposals to preserve and where appropriate enhance heritage assets and their settings including conservation areas and listed buildings. The council will resist development that includes loss of or harm to a heritage asset. Trees and garden spaces which contribute to the character, appearance and setting of the conservation area will also be preserved.
- 5.9 **Policy A1** seeks to ensure that the amenity of communities, occupiers and neighbours is protected. This includes visual privacy, outlook, sunlight, daylight and overshadowing, transport impacts, noise and vibration levels.
- 5.10 **Policy A3** seeks the protection of other features with nature conservation value, including gardens, wherever possible. It also looks to assess developments against their ability to realise benefits for biodiversity through the layout, design and materials used in the built structure and landscaping elements of a proposed development, proportionate to the scale of development proposed.
- 5.11 **Policy A4** seeks to ensure that noise and vibration is controlled and managed
- 5.12 **Policy CC1** requires all development to minimise the effects of climate change and encourages all developments to meet the highest feasible environmental standards that are financially viable during construction and occupation.

d) **Supplementary Planning Documents**

- 5.13 Camden Planning Guidance documents of relevance include:
- Amenity (2021)
  - Design (2021)
  - Energy Efficiency and Adaptation (2021)
  - Transport (2021)

## Section 6 Impact of the Proposals

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6.1 The application proposals seeks consent for internal alterations to all floors, alterations to fenestration, a replacement rear extension, an outbuilding in the rear garden, replacement front boundary, landscaping works and air source heat pumps.

**a) Garden Building**

6.2 With regard to the garden building, the size of the plot is generous and the garden building is set well away from the historic house. The proposal will be designed to complement the main house and includes a sedum roof. It will appear as a subservient structure. It is therefore considered that, subject to the final design, there is no harm to the heritage assets.

6.3 Furthermore, given the single storey nature of the proposal and its distance from adjoining occupiers it is considered that the scheme would not cause any negative implications regarding neighbouring amenity.

**b) Rear Extension**

6.4 There is an existing two storey extension which is in a state of disrepair, particularly at upper ground floor level. It is proposed to demolish the upper ground floor and enlarge to match the depth of the main house.

6.5 The design rationale for the design of the rear extension is set out in the Flower Michelin Statement. In this case the lightweight glazed design with curved glazing and traditional glazing bars is considered to complement the existing building.

**c) Works to Fenestration**

6.6 The application includes a window schedule. It is proposed to refurbish the historic window frames and replace the frames which are beyond repair or not original. Slimline heritage double glazing is proposed to enhance the energy efficiency of the property. All windows with historic glass will be retained. The units proposed are high quality and the benefits of improving the energy efficiency of the property is considered to be outweigh any minor impact caused.

**d) Works to Front Boundary**

6.7 A new brick wall is proposed. This is an appropriate material given the existing brick wall. There are a variety of heights of front boundary treatments along Haverstock Hill and the design has been influenced by other boundary treatments in the area. The walls are no higher than the existing brick piers and therefore there is considered to be no harm.

**e) Landscaping**

6.8 The steps from the extension to the garden level will be reconfigured. These are not original and at the moment have a very steep design which make them hard to use. The revised configuration will have a simple layout which complements the existing building and is more practical to use.

6.9 To the front lightwell a grille is proposed in line with pre-application advice.

**f) Heating**

6.10 An indicative location for two heat pumps in the rear garden is shown on the plans. The applicant is happy to welcome a condition to ensure that these meet the relevant noise standards.

6.11 The heating system requires pipework and vents which the applicant wishes to install within the ceilings. These have been kept to the rear rooms and the secondary spaces to ensuring that within the front room the original floor to ceiling height remains clearly legible. The existing cornices will be retained behind the false ceilings to ensure that there is no harm to historic fabric. Whilst the proposals do cause some harm to the character of the listed building the proposals will have environmental benefits by providing a sustainable form of heating.

**g) Lower Ground Floor**

6.12 This floor has been significantly altered in the past with the construction of a rear extension and the opening up between the front and rear rooms. The proposal seeks to reconfigure the kitchen space and to provide glazed screens. The glazed screens will include a down stand and section of lower wall to ensure that the original side walls remain legible.

6.13 The chimney breast is retained with cupboards built around it. It will remain visible above the cupboards.



6.14 The construction of nibs to the proposed dining room represents a heritage benefit of the scheme as it will make the historic plan form more legible.

6.15 The proposed damp remediation works are set out in a separate report. There is evidence of damp and it appears that the floor has been treated in the past. . These past works have failed and the damp is very apparent from visiting the property.

**h) Ground Floor**

6.16 At ground floor level there are modern folding doors which the applicant would like to replace with pocket doors. These will be of an appropriate traditional design to retain the character of the space.

**i) First Floor**

6.17 At first floor level it is proposed to install a rear bathroom. The bathroom layout will include partitions which are not full height, and therefore retain the character of the space. The door to the hallway will remain legible from the hallway in order to retain reference to the original plan form.

**j) Second Floor**

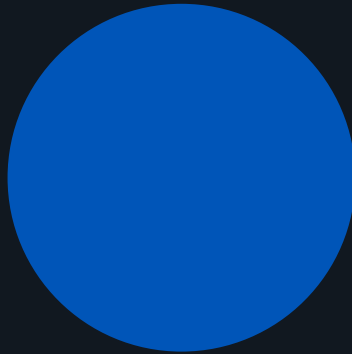
6.18 This floor has been altered in the past with the insertion of the bathroom. The changes are not considered harmful in this context. The enlarged bathroom will provide a suitable family sized bathroom which will benefit the accommodation proposed.

6.19 The covering up of the existing fireplaces on this level will ensure that these fireplaces are retained and can be uncovered at a later date.

## Section 7      Conclusions

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- 7.1      The application seeks planning permission and listed building consent for internal alterations to all floors, alterations to fenestration, a replacement rear extension, an outbuilding in the rear garden, replacement front boundary, landscaping works and air source heat pumps.
  
- 7.2      This report demonstrates that the property has undergone works in the past but that there are some original features of value remaining.
  
- 7.3      The proposed works will enable a refurbishment scheme to come forward which will invest in the building. They aim to ensure that the property is brought up to modern standards whilst respecting its special character and significance.
  
- 7.4      Overall, the proposals are consistent with relevant planning policies and guidance at local and regional level. The application should therefore be considered acceptable by the Council and we respectfully request that consent is granted without delay.



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