

133 Haverstock Hill

Design, Access and Heritage Statement

December 2023

Belsize Park
London
NW3 4RU

*Rev.A - 16.02.24
Updates to omit comfort cooling*

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INTRODUCTION

133 Haverstock Hill is situated to the western side of Haverstock Hill, within the London Borough of Camden.

The property sits within a symmetrical terrace of 3 houses (Nos 129, 131, 133), constructed circa 1820. It was designed in the Regency Style, with the central property, No 131 is taller and features ornate feature windows, shaped mouldings, a protruding bay, stucco render and bands, and canted arches. The flanking properties (No 129, and 133) bookend the central element and are more simple yet provide symmetry.

The property, along with its adjoining neighbours, has a Grade II listing status which demonstrates the considerable national significance and heritage importance.

The rear of the properties have been extended in various forms historically. There is therefore less consistency in retained architectural features to this elevation. For example, No 131 has glazed balustrades to a roof terrace and at ground floor level. Both Nos 131 and 133 have been extended to the rear.

The house consists of yellow stock brick with channelled stucco ground floor and plain 1st floor band. Features include:

- 3 storeys and a semi-basement.
- 2 front facing windows to each floor.
- Round-arched doorways within portico extensions. Fanlight and panelled door approached by steps.
- Gauged flat brick arches to recessed sashes
- 1st floor protruding cast-iron balconies.



129 - 133 Haverstock Hill, London Metropolitan Archive

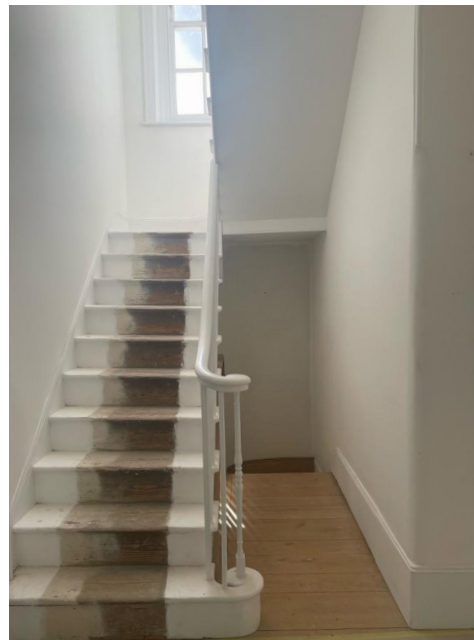
EXISTING

External Photographs



EXISTING

Internal Photographs



PLANNING RESEARCH

Historic Context

Previous Permissions:

No.133

In 1978, permission was granted for the erection of a side extension at first floor level to provide a bathroom. (Ref. G9/8/5/26310, G9/8/5/HB1901).

Permission was granted in 1988 for the erection of rear extension at basement level with a conservatory over as shown on drawing no. 7802.04D. revised on 14th July 31st August 1988 (Ref. 8803731 and 8870538).

Surrounding Permissions:

No.131

Planning permission and listed building consent were granted in 1994 for the erection of a single storey rear extension at basement level with roof terrace over together with alterations to rear elevation and front garden area.

In 2014, two applications were submitted and subsequently withdrawn. The first of which sought consent for internal and external alterations involving installation of access hatch with balustrade at roof level, new staircase, balustrade to rear ground floor, alterations to fenestration and installation of front gates (Ref. 2014/3728/L). The second application sought consent for alterations involving installation of access hatch with balustrade at roof level, balustrade to rear ground floor, alterations to fenestration and installation of front gates (Ref. 2014/4090/P).

Planning permission and listed building consent were granted in 2015 for the installation of external balustrading, new hatch on existing roof as fire escape and new internal staircase (Ref. 2015/1893/P, 2015/2292/L).

Permission was granted in 2020 for the formation of vehicle hardstanding to replace

the existing gravel driveway, widening of existing vehicle access, installation of bi-folding gates and proposed access to roof of dwellinghouse with associated balustrade to create a roof terrace (Use Class C3). (2020/0684/P)

No.129

Planning permission and listed building consent were granted in 1984 for the erection of a front garden wall.

Listed building consent was granted in 1993 for the insertion of new windows to rear elevation.

PLANNING RESEARCH

Planning Policy Review

National Planning Policy Framework (2021):

Chapter 16 of the NPPF relates to 'conserving and enhancing the historic environment'. In determining applications affecting heritage assets, paragraph 194 notes assessment of the significance of any heritage assets affected, including any contribution made by their setting should be proportionate to the asset's importance. Where there is 'substantial harm' or 'less than significant harm' to a heritage asset this must be outweighed by public benefits.

London Plan 2021:

Policy HC1 Heritage states that development proposals affecting heritage assets, and their settings, should conserve their significance, by being sympathetic to the assets' significance and appreciation within their surroundings. The cumulative impacts of incremental change from development on heritage assets and their settings should also be actively managed. Development proposals should avoid harm and identify enhancement opportunities by integrating heritage considerations early on in the design process.

Camden Local Plan (2017):

Policy D1 seeks to secure high quality design in new development that respects local character whilst preserving or enhancing the historic environment and heritage assets. Support is given for development that is sustainable in design and construction including resource management, comprises high quality materials that complement local character, incorporates high quality landscape design and outdoor amenity space and provides a high standard of accommodation.

Policy D2 requires development proposals to preserve and where appropriate enhance heritage assets and their settings including conservation areas and listed buildings. The council will resist development that includes loss of or harm to a heritage asset. Trees and garden spaces which contribute to the character, appearance and setting of the conservation area will also be preserved.

PLANNING RESEARCH

Planning Policy Appraisal

Refer to submitted FirstPlan planning and heritage statement for appraisal of and response to local and national policy.

PRE-APPLICATION GUIDANCE

A pre-application set of information was submitted to the Council for review in December 22. A response was received on 19.04.23, ref 2022/5644/PRE.

The proposals included various elements for works to the building, such as side and rear extensions, an outbuilding and internal refurbishment.

A summary of the responses received has been included adjacent, along with notes as to how the proposals have been amended or further information provided as part of this application.

Proposed Rear Extension

Pre-app feedback: design acceptable but must be reduced in width to relate to main part of the house.

Design response: element revised in line with pre-app feedback. Extension aligns with main body of house only.

Side Extension

Pre-app feedback: element deemed not acceptable.

Design response: side extension omitted from proposals.

Outbuilding

Pre-app feedback: design should be revised so outbuilding is reorientated or reduced in width so that the full depth of the garden can be read.

Design response: outbuilding centred on garden to allow full depth of garden to be read. Outbuilding also designed following correspondence with Camden - in terms of roof form and materiality.

Lower Ground Floor

Pre-app feedback: changes to side walls acceptable. Only very modest alteration to the chimney breast will be allowed. Damp proofing works could be acceptable but requires further justification.

Design response: chimney breast retained as existing. Damp proof survey and proposals included.

Ground Floor

Pre-app feedback: change to internal doors needs more detail but may be acceptable.

Design response: internal elevations provided to detail element. Pocket doors omitted for timber bi-fold doors, with opening altered to allow for better configuration of element.

First Floor

Pre-app feedback: Proposals shown acceptable, but door between front and rear rooms should be a jib door.

Design response: internal elevations provided to detail element. Jib door proposed with timber joinery continuing over element.

Second Floor

Pre-app feedback: proposals acceptable provided fireplaces retained.

Design response: internal elevations provided to detail element. Fireplaces retained behind panelling.

Heating

Pre-app feedback: Additional details required for review.

Design response: mechanical drawing and details submitted.

Fireplaces

Pre-app feedback: these elements should be assumed to be original and retained, unless justification can be provided to show otherwise. Log burners will need more detail to show they can be fitted without loss to the historic fabric.

Design response: works to fireplaces omitted, with reveals and surrounds retained as existing.

Rear terrace

Pre-app feedback: deemed to be acceptable but will need to be supported by tree report.

Design response: tree report submitted.

Railings to Lightwell

Pre-app feedback: not acceptable but grille would be an acceptable alternative.

Design response: grille proposed.

Windows

Pre-app feedback: Window survey required, can only replace 20th Century glass. Secondary glazing for historic windows would be acceptable.

Design response: window survey and schedule submitted.

Gates to Frontage

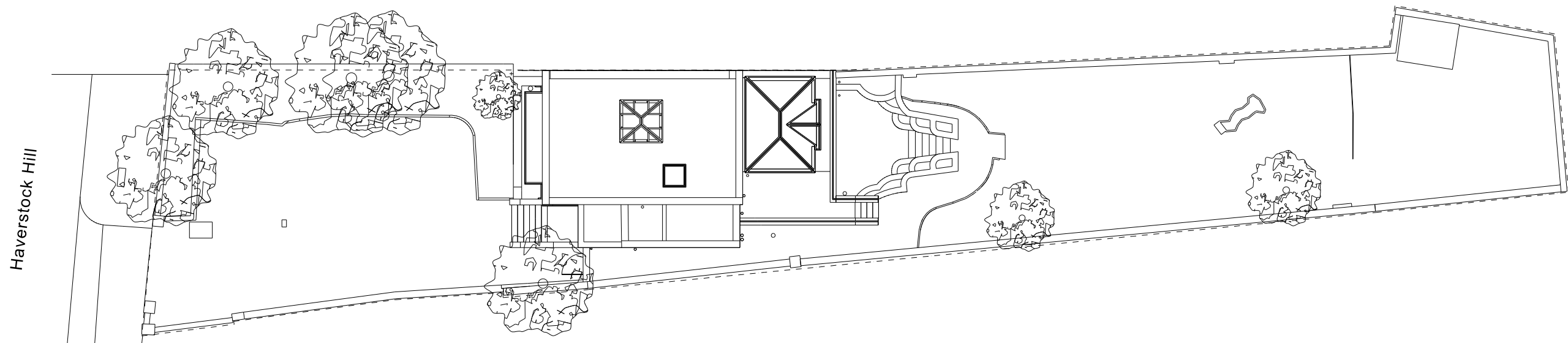
Pre-app feedback: further detail required.

Design response: street elevations and references submitted.

EXISTING

Drawings

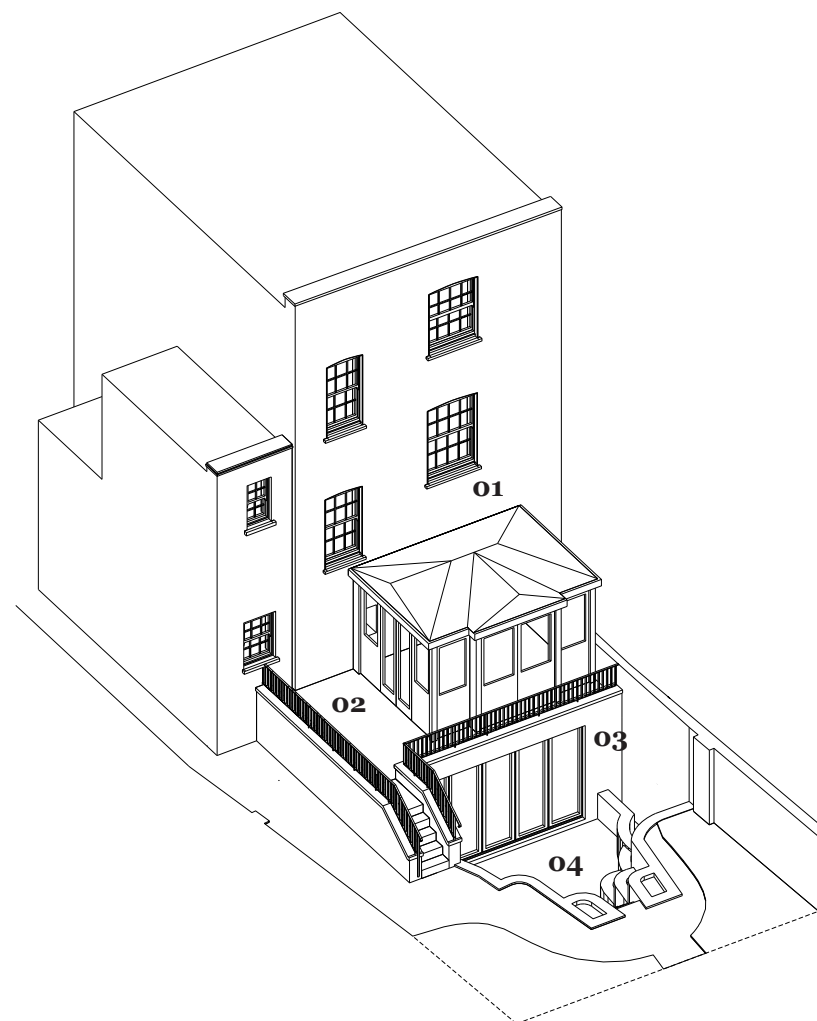
Refer to submitted drawings for existing set of information.



EXISTING

Massing

- 01. existing ground floor extension
- 02. upper terrace
- 03. glazed doors
- 04. lower terrace



N.T.S

DESIGN PRINCIPLES

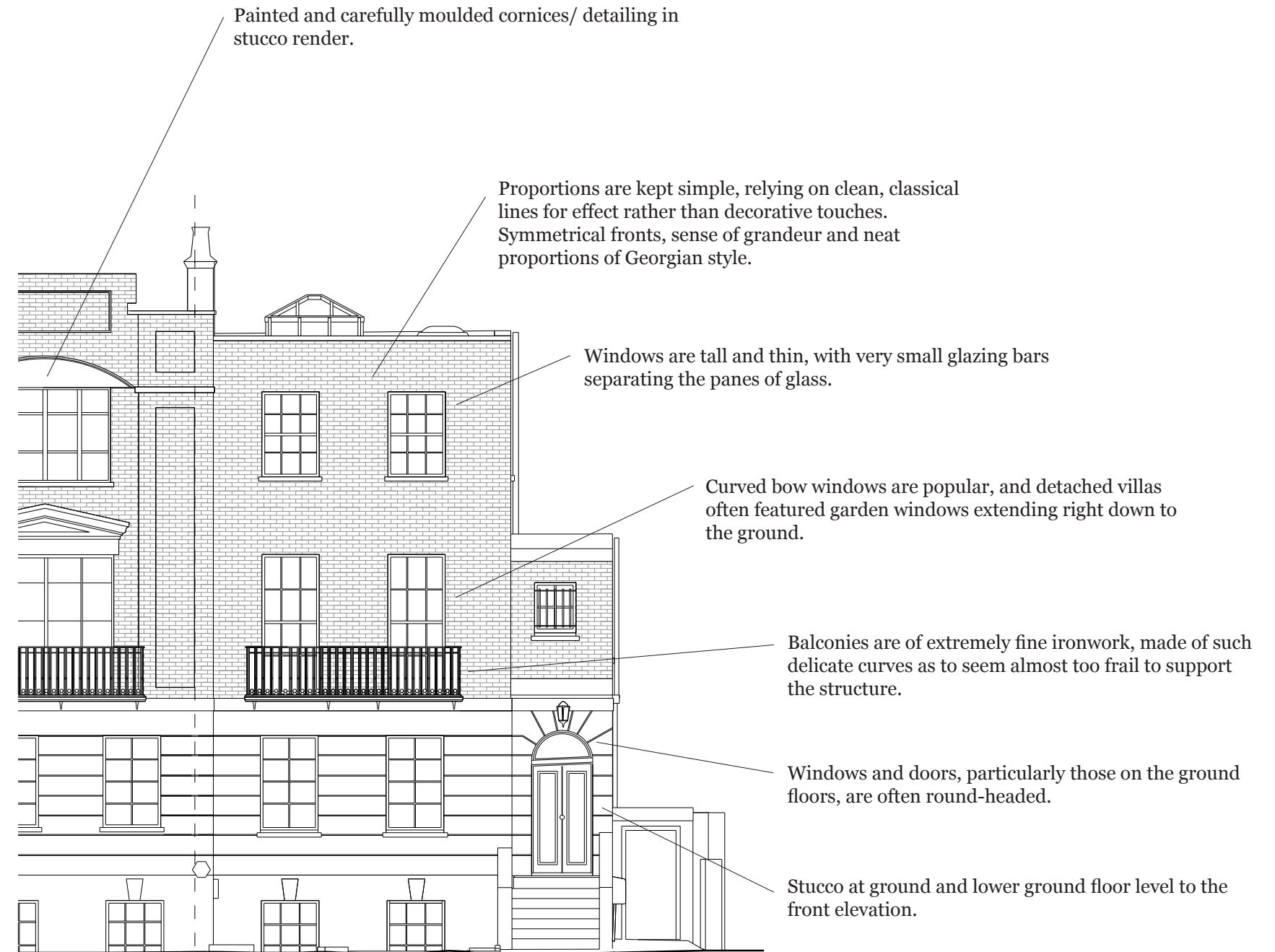
Existing Front Elevation Principles

The properties 129 - 133 Haverstock Hill were built during the Regency era. The architecture from this era was known for its classical form, with a light and playful look and fantastical and flamboyant elements.

Like this row of houses, the typical Regency upper or middle-class house was built in brick and covered in stucco or painted plaster. Fluted Greek columns, painted and carefully moulded cornices and other decorative touches, were all reproduced in cost-effective stucco. Key words to describe the overall effect are "refined elegance".

Regency architecture has the symmetrical fronts, sense of grandeur and neat proportions of Georgian style.

Key principles of the architecture have been analysed in this document, which we have used as the basis of the design, particularly in terms of form and proportions to create a contemporary proposal which is grounded in the context of the existing property and style of architecture.



133 Haverstock Hill

DESIGN PRINCIPLES

Drawing on Existing Elements

The page highlights elements from the existing building which will be drawn upon during the design of the rear facade. The front elevation and internal elements are studied, presenting a better representation of the house than the non-original rear conservatory extension.

Key elements are outlined below:

A - Change in materiality from painted stucco to ground and lower ground floor to London stock brick above

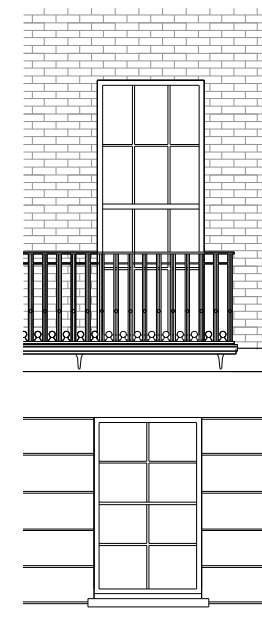
B - Tall thin windows stretching to floor level, with delicate detailing.

C - Delicate metalwork to balustrade externally. Made of such delicate metalwork as to seem almost too frail to support the structure.

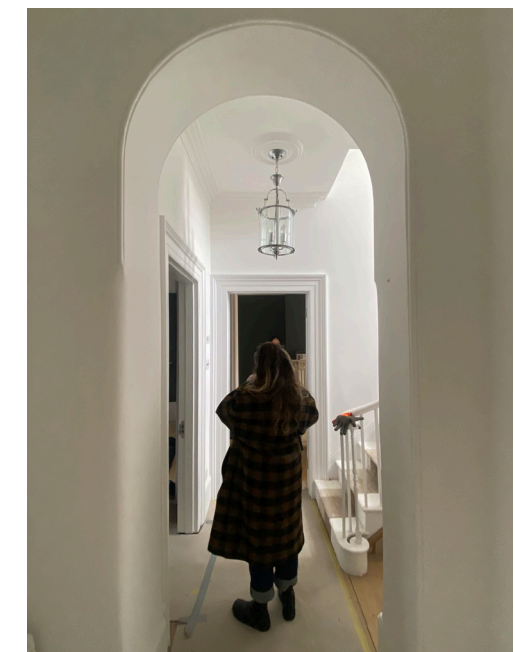
D - Arched heads to door reveals and thresholds, both internally and externally, at entrance level.



A



B & C



D

REFERENCES

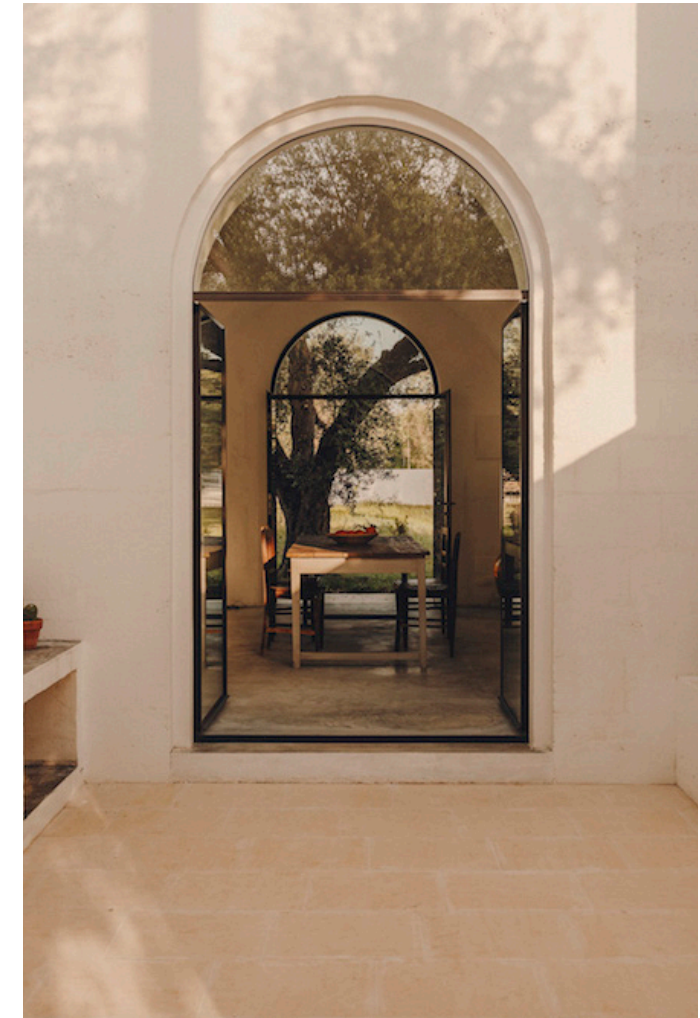
Contextual/ Historical References



Facade with arched reveals and square window heads.



Georgian terrace of houses with varying windows. Brickwork and stucco detailing.

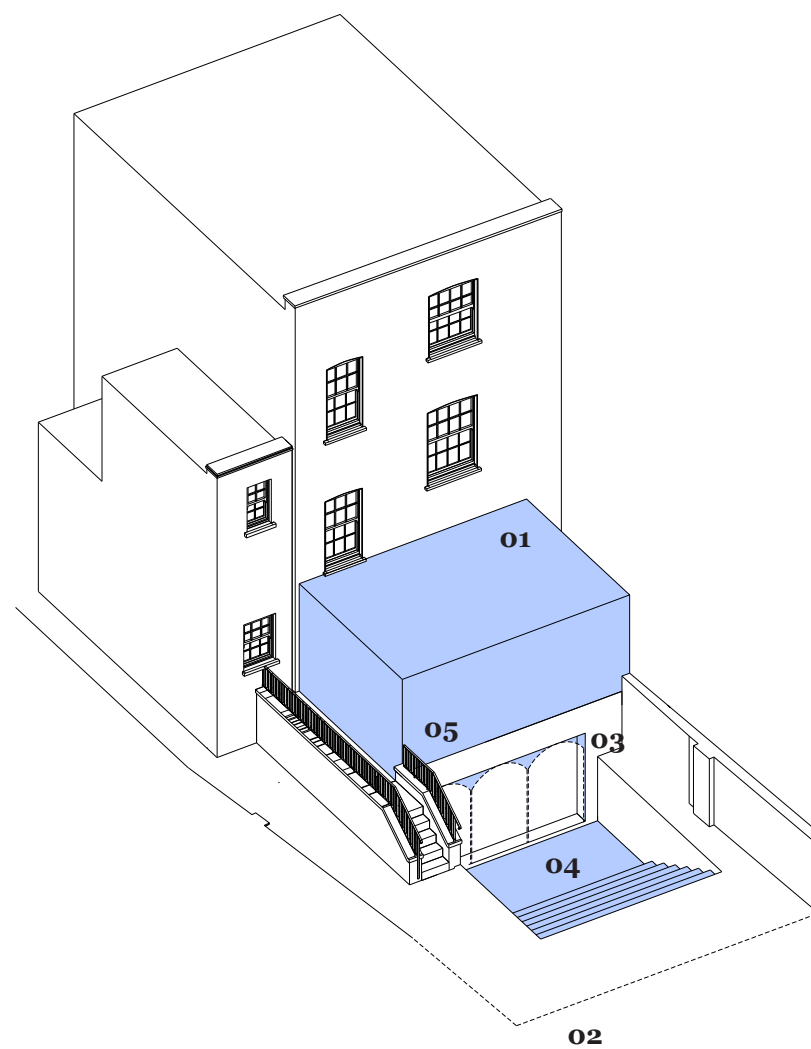


Arched window openings within rendered reveals

PROPOSED

Massing

- 01. new ground floor extension
- 02. garden re-landscaped
- 03. glazed door opening infilled with arches
- 04. lower terrace reconfigured
- 05. railings removed with extension flush

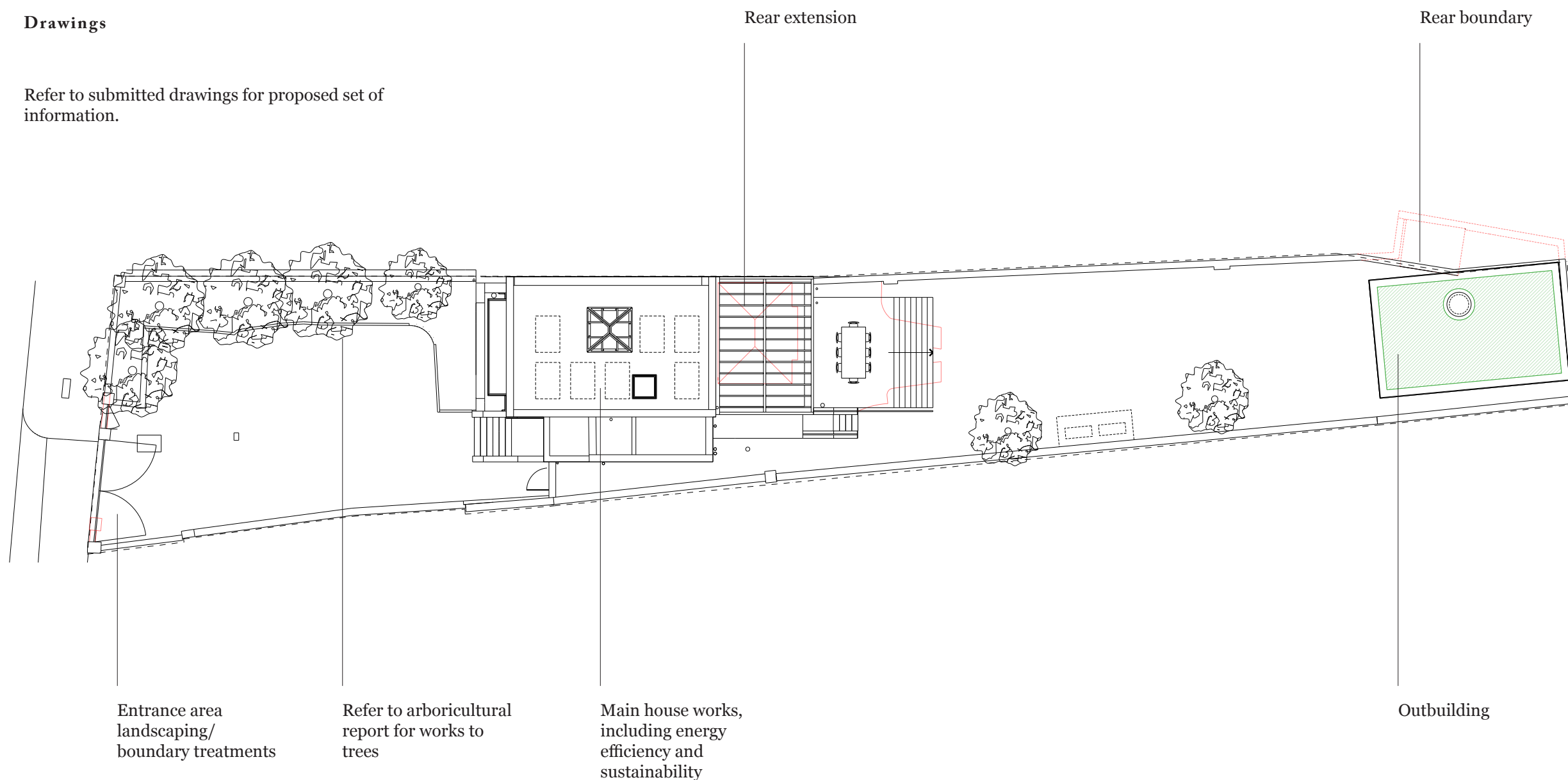


N.T.S

PROPOSED

Drawings

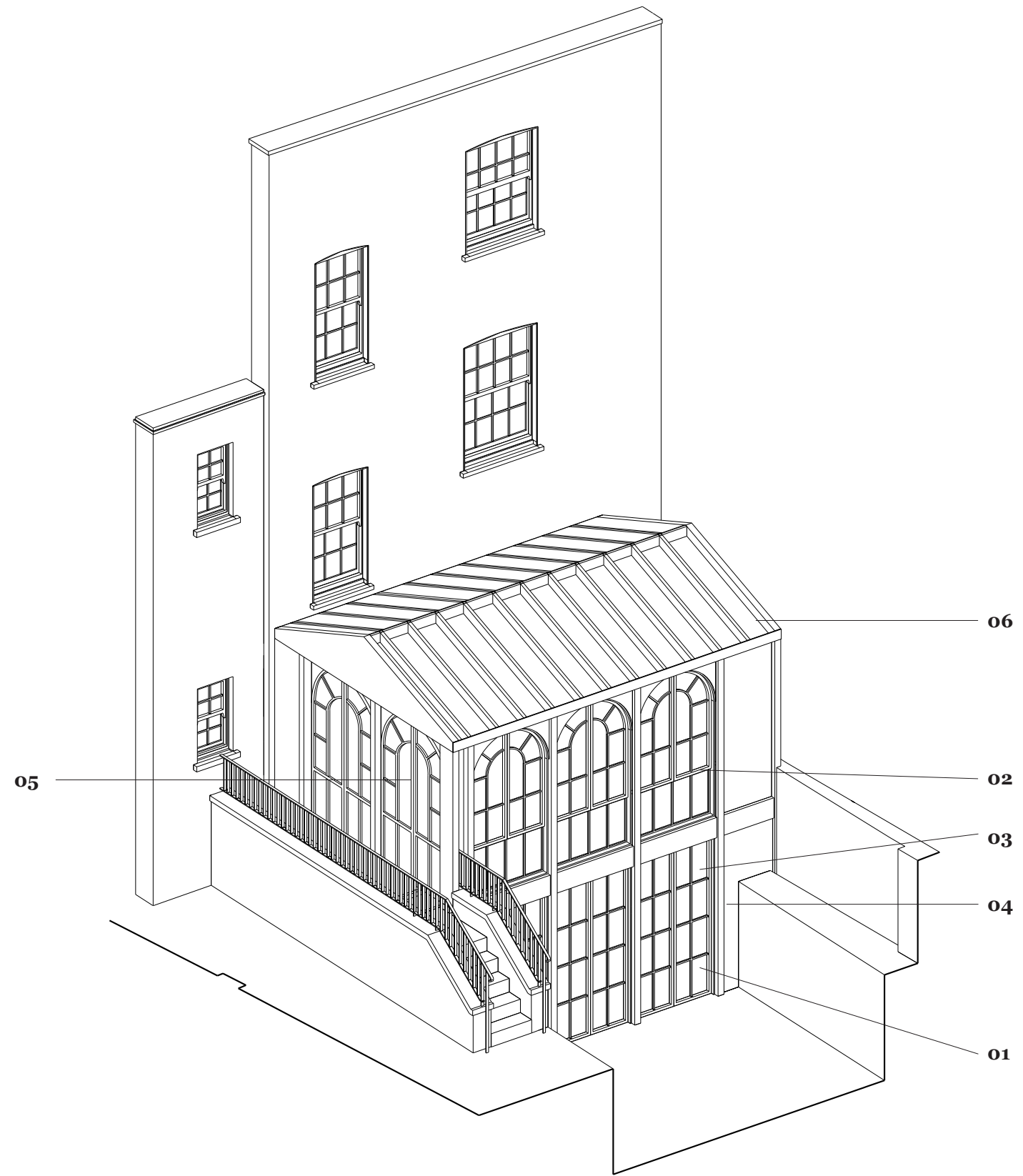
Refer to submitted drawings for proposed set of information.



PROPOSED

Rear Extension - Axonometric

- 01 rectangular doors to lower ground floor
- 02 arched windows to ground floor
- 03 window detailing to match house
- 04 horizontal and vertical divides continue to lower ground
- 05 detailing and glazing wraps round to side elevation
- 06 glazed roof



N.T.S

FURTHER PROPOSALS

Window Alterations

Refer to submitted window schedule and Sash Window Workshop report/ quotation.

20th Century glazing proposed to be replaced, original single glazing retained with window units made good and re-sealed.

Tree Works

Refer to submitted tree report and arboriculturalist statement.

Damp Proofing

Refer to submitted damp proofing report for damp proofing to lower ground floor.

Heating

Refer to submitted mechanical drawing, which includes provisional unit location, sizes and duct routes.

Due to the size of units and duct routes, it is proposed to have suspended ceilings to the 'secondary' rooms to the rear and side wing of the property, retaining the existing ceiling and scale of the 'primary' rooms to the front and to the hallways.

To be subject to full design once statutory approval has been gained.

Parking

To remain as existing, with off-street parking accessible through front gates. Gates widened to improve vehicular access to property.

Sustainability

Air Source Heat Pumps proposed for heating of property.

PV panels proposed to provide electricity for running of Air Source Heat Pumps.

Windows overhauled and performance improved where permissible.

New build elements to meet or exceed Building Regulations requirements for thermal and acoustic performance.

Green roof proposed to outbuilding.