

**Design & Access Statement**

**New pedestrian access from public pavement to an external  
refuse storage area following partial demolition of a  
boundary wall fronting a highway.**

**14 Lyndhurst Road, London, NW3 5NL**

**February 2024**

**(Our Project Ref.: A22012)**

**Owen Loyd Architects LLP**

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**Note:**

Please refer to the following architectural drawings produced by Owen Loyd Architects LLP which accompany this Design & Access Statement:

- A22012 A(S3)01 - Location Plan
- A22012 A(S3)02 – Block Plan
- A22012 A(S3)03 – Existing Plan, Front Elevation, Sections
- A22012 A(S3)04 – Demolition Plan, Front Elevation, Sections
- A22012 A(S3)05 – Proposed Plan, Front Elevation, Sections

### Introduction

This Design & Access Statement has been created by *Owen Loyd Architects LLP* who are acting as Agent on behalf of the Applicant; *13/14 Lyndhurst Road Management Company Ltd*, for a Full Planning Application being submitted to *The London Borough of Camden*.

The proposed minor development is the new pedestrian access from a public pavement to an external refuse storage area following the partial demolition of a boundary wall fronting a highway at 14 Lyndhurst Road, London, NW3 5NL.

The purpose of this Design & Access Statement is to demonstrate how the proposed development will respond appropriately to the site and its historical setting, whilst also outlining how the prospective users will access a communal storage area more efficiently and safely.

This statement will outline the rationale behind the proposed design scheme and will identify how both pre-application advice received from The London Borough of Camden and planning policy considerations have been incorporated to guide the evolution of the design process.

This statement will also go on to demonstrate how the proposed minor development will not harm and will enhance the original character and appearance of the front boundary and the Fitzjohn's/Netherhall Conservation Area, so that it will be in accordance with planning policy.

## Site Context



**Image 01** – Satellite image of the site from *Google Maps* (website accessed June 2023).  
Not to scale. Adapted with the addition of a red boundary line around No. 14 Lyndhurst Road.

### **1. Site Location:**

- The application site is located to the South side of Lyndhurst Road between the road junctions with Lyndhurst Gardens and Rosslyn Park Mews, as identified within the red boundary line displayed on the accompanying drawing ref.: 'A22012 A(S3)01 - Location Plan'.

### **2. Site Description:**

- The application site contains an end of terrace block of Flats, on the western end of a 3-part terrace with a communal garden to the rear and an external communal refuse storage area to the front.
- The terrace is formed by No.'s 12, 13 and 14 Lyndhurst Road, with its front elevation built close to the pavement / street line.
- The gothic styled terrace finished in external brickwork and stone is believed to have been constructed in 1877 and consists of 3-storeys with rooms in the pitched roof space using dormers. The building also has a basement level.
- The communal entrance to No.14 is located on the front elevation within a protruding single storey porch which is reached by an external staircase stepping up from street level. A separate external staircase accesses the basement level flat.
- The external communal refuse storage area, which this application relates to is located on the front elevation of the building behind a 1 metre high brickwork wall, with black painted decoratively patterned metal railings. The refuse store also contains the individual wall-mounted gas meter boxes for the flats in the building.

### **3. Character of the Street:**

#### **'4.11 Lyndhurst Road**

*Lyndhurst Road runs east-to-west, following a gently rising contour between Haverstock Hill and Fitzjohn Avenue and is lined with mature pollarded street trees.*

*Properties are predominantly three-to-four storeys, with red brick on the south side, yellow on the north side and also polychromatic brickwork detailing. Some have prominent gables, including Dutch gables. To the west, the buildings are set back behind front gardens with narrow gaps between properties. The eastern section is more varied.*

*A key landmark is the Gothic Revival building at the junction with Lyndhurst Terrace, with a turreted round tower feature. This contrasts with the predominant character of Queen Anne houses.*

*A white rendered Spanish mission-style country lodge and its copper roofed tower provides contrast, but is altered and extended. A late 20th Century residential building at the junction with Eldon Grove is in a Post-Modern style, with the open and overhanging gable as a distinctive feature.'*

(Description above taken from Page 37 of the London Borough of Camden's updated Conservation Area Appraisal and Management Plan for the Fitzjohns/Netherhall Conservation Area, adopted on 19th December 2022).

### **4. Character of the Building:**

*'Terrace of Nos.: 12, 13, 14, built close to the front boundary (dated 1877) in Gothic style with extensive use of stone in the window details. Three storeys with dormers. Protruding front porch with balustrade above.'*

(Description above taken from Page 24 of the London Borough of Camden's previous Fitzjohns/Netherhall Conservation Area Appraisal and Management Strategy, adopted in 2001, which was superseded by the updated Plan on 19<sup>th</sup> December 2022).

### **5. Planning Use Class:**

The use of the site is 'Class C3 – Dwellinghouses: (a) a single person or by people to be regarded as forming a single household', with the building divided internally into a number of individual flats. The external communal refuse storage area, which this application is solely related to serves these flats.

### **6. Listed Building / Heritage Status:**

The application site is not Listed, but the site is within the Fitzjohns/Netherall Conservation Area.

### **7. Surrounding Heritage Assets on the Street:**

- 'No's. 19, 20 and 21 and walls, gate piers and former lodge' (ref. 1391500) Grade II.
- Lyndhurst Hall, Air Recording Studios (ref. 1379404) Grade II.

## 8. Existing Site Context Photography:



**Image 02** – Photograph of the front elevation of No's. 12, 13 and 14 Lyndhurst Road, taken from *Google Street View* (website accessed June 2023).



**Image 03** – Photograph of the lower part of the front elevation to 14 Lyndhurst Road from the street (July 2022)



**Image 04** – Photograph of the main entrance & lower front elevation to 14 Lyndhurst Road (July 2022)



**Image 05** – Photograph of the low brickwork wall enclosing the external refuse storage area to the front of 14 Lyndhurst Road, which is proposed to have the metal railing removed and a new metal railed gate inserted into it for access direct from the street. (July 2022)



**Image 06** – Photograph of the pavement immediately to the front of 14 Lyndhurst Road looking towards the East with No.14 to the right hand side. A new metal railed gate proposed to be inserted into the low front brickwork wall of No. 14 will open outwards an estimated distance of 0.6 metres over the 2.7 metre wide public pavement. (July 2022)



**Image 07** – Photograph of the existing side access to the external refuse store of 14 Lyndhurst Road, which requires users to cross over the top of the external staircase to a basement flat without the benefit of a level landing. (July 2022)



**Image 08** – Photograph of the existing side access to the external refuse store of 14 Lyndhurst Road which shows how the users are required to cross over the top 4no. steps of the external staircase to a basement flat in order to empty and access the bins enclosed within. The existing 1.2m wide side access will be in-filled with a 1 metre tall single leaf brickwork wall in matching fair faced brickwork with stone coping atop. (July 2022)



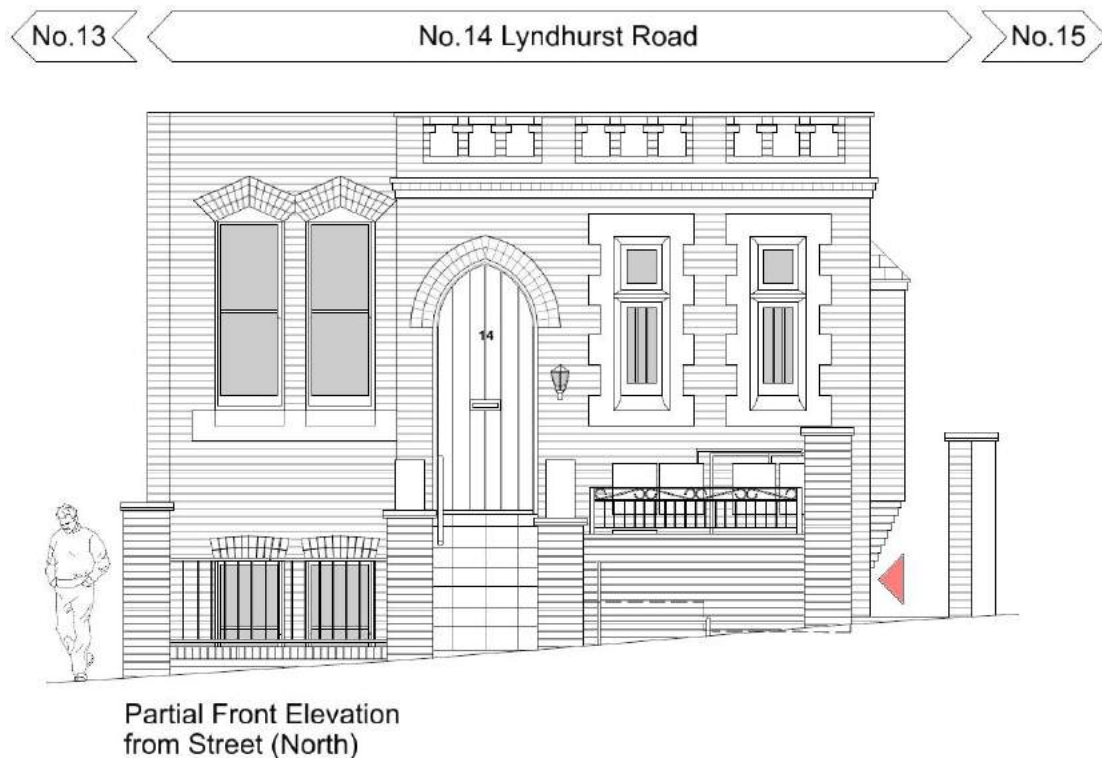
**Image 09** – Photograph looking into the side of the external refuse store on the front elevation of 14 Lyndhurst Road, taken from the external communal entrance steps to No.14 looking towards the West (July 2022).

## Issues To Be Addressed By Proposal

- a) The existing access into the external refuse storage area on the front elevation of 14 Lyndhurst Road requires communal users to cross over the top 4no. steps of an external staircase to a basement flat, without the benefit of a level landing.
- b) The gate to the external refuse store opens outwards, with the gate swinging over the path of the external staircase to a basement flat.
- c) The current access arrangement to the external refuse store is impractical and potentially unsafe, particularly when the 2no. larger wheelie bins located within the store are collected / emptied, due to their considerable weight needing to be manoeuvred over the top steps of the external staircase to reach the public pavement.
- d) Following a pre-application advice submission, the local planning authority (LPA) has commented that the existing; *'decorative railing above the wall should be removed, as this creates visual clutter which appears incongruous and defensive'*. (See the Appendix on page 16 of this Design & Access Statement for the full comments received during the pre-application advice stage).

## Design Development

The proposed scheme has evolved and improved during the design process to incorporate pre-application advice received from the LPA. The series of front street elevation images below demonstrates this.



**Image 10** – Existing front street elevation of external refuse storage area. Image taken from architectural drawing ref: 'A22012 A(S3)03 – Existing Plan, Front Elevation, Sections' (Not to scale).



**Image 11** – Previously proposed front street elevation of external refuse storage area, presented at pre-application advice stage. Design now superseded by the submitted design proposal shown within Image 12 below (Not to scale).



**Image 12** – Proposed front street elevation of external refuse storage area. Image taken from architectural drawing ref: 'A22012 A(S3)05 – Proposed Plan, Front Elevation, Sections' (Not to scale).

**Development Proposal**

**Design:**

- The proposal will create a new more practical and safe pedestrian access to the external refuse storage area directly from the public pavement, by introducing a single metal railed gate into the low brickwork wall on the front elevation of the site.
- The proposal will have the benefit of removing the problematic existing side gate access, which has the gate swinging over the external staircase to a basement flat.
- The proposal will also remove the existing fussy metal railing which is positioned atop the front brickwork wall, and thereby removing the visual clutter and inappropriate appearance this feature currently imposes on the site.
- The minor development being proposed will result in a sympathetic design which is in keeping with the context and character of the site and the street, whilst presenting no harm to the Fitzjohns / Netherhall Conservation Area, which the application site is located within.

**Amount:**

- A single metal gate within a new structural opening 1 metre wide is proposed to replace the existing side gate.
- The existing gate will be removed by the proposed infilling of the 1.2m wide side opening, with a single leaf wall in matching fair-faced brickwork with a matching stone coping.

**Layout:**

- The new gate will be positioned in the low brickwork wall on the front elevation, with the gate opening outward towards the public pavement to ensure the refuse space remains functional.

**Scale:**

- The new gate to the front elevation will be no taller than the existing brickwork wall, which is 1 metre high.
- The single leaf brickwork wall with coping stones being used to infill the existing side access to the external refuse store will also be 1 metre high to match the height of the existing brickwork wall facing the street.

**Appearance:**

- The new gate will be made from black painted metal rails with an appropriately simple design which is in keeping with the existing metal railing which currently encloses a basement lightwell, located to the other side of the stepped access to No.14's communal main entrance. The new gate will therefore not appear overly fussy or defensive on the front street scene.
- The infilling of the 1.2m wide existing side opening to the refuse store will be constructed as a single leaf in matching fair-faced brickwork with matching stone coping atop.

**Landscaping:**

- There are no changes being proposed to the landscaping at the application site by this minor development.

**Access:**

- The new gate will form a more functional, convenient, and safer means of communal access to the external refuse storage area without affecting access to any of the flats within the application site.
- The new gate will open outwards over the public pavement but will only do so by an estimated distance of 0.6 metres, and so will not obstruct access to the 2.7 metre wide pavement.

### Conclusion

The proposal has complied with all the advice received from The London Borough of Camden during the pre-application advice stage, in that the existing decorative railing currently creating visual clutter, which appears incongruous and defensive atop the front brickwork wall, has been removed. In comparison to the design scheme previously submitted for pre-application advice, the height of the proposed black metal gate has been reduced so that it is now no higher than the existing brickwork wall, and the ornamentation of the gate has also been simplified.

The design proposal submitted for full planning permission, therefore, does not harm the original character and appearance of the front boundary and the Fitzjohn's and Netherhall Conservation Area. In fact, the character and appearance of both these contexts are enhanced by the advised removal of the existing fussy metal railing, and so the design proposal is believed to be in accordance with Local Plan policies; *D1 (Design)* and *D2 (Heritage)*.

Appendix

**Preapplication Advice Received on Friday 22<sup>nd</sup> September 2023:**

**From:** Josh Lawlor <Josh.Lawlor@camden.gov.uk>  
**Sent:** Friday, September 22, 2023 6:22 PM  
**To:** David Loyd <david@olarchitects.co.uk>  
**Subject:** RE: 2023/2611/PRE - Trim - Preapplication Advice Submission - 14 Lyndhurst Rd, London, NW3 5NL

Dear Mr. David Loyd,

Thank you for your enquiry to Ref. 2023/2611/PRE along with the fee of £1,173.09.

This email is the Council's informal feedback on alterations to the front boundary to improve waste storage/access.

**Relevant Site constraints**

The site is identified as making a positive contribution to the Fitzjohn's and Netherhall Conservation Area

**Feedback.**

The decorative railing above the wall should be removed, as this creates visual clutter which appears incongruous and defensive. The height of the gate and ornamentation should be reduced/simplified. The black metal gate should be no higher than the brickwork. A revised proposal that does this may be supported at application stage

**What to submit for a valid application**

Planning application forms can be completed online through the National Planning Portal  
[www.planningportal.gov.uk](http://www.planningportal.gov.uk).

For a valid application, I would advise you to submit the following:

- A completed application form (Full planning)
- An Ordnance Survey-based location plan at 1:1250 scale denoting the application site in red
- Elevations, floor plans, sections labelled 'existing', 'demolition' and 'proposed' (with a scale bar on the drawing) – it is noted that the existing and proposed drawings should be provided in a single PDF or two separate PDF documents, rather than as single drawings
- The application fee
- A design and access statement (a short statement explaining the design thinking behind your proposal)
- Please see [supporting information for planning applications](#) for more information. All PDFs submitted via the Portal should be labelled so it is clear what the drawing or document relates to without opening the PDF (e.g. existing front elevation).

**Conclusion**

The current proposals would be refused on the basis of harm to the character and appearance of the front boundary and the Fitzjohn's and Netherhall Conservation Area, as it would harm the original character of the front boundary by removing historic brickwork and adding an overly scaled and fussy metal gate and railing. This would be contrary to Local Plan policy D1 (Design) and D2 (Heritage). The design of the gate needs further refinement, as is discussed above.

*Disclaimer: The advice contained in this email is informal and is not binding on any decision made by the council*

Regards

Josh Lawlor  
Senior Planning Officer