

**Agar Grove Phase 1c**

Non-material Amendment Application 2024

AGV-HBA-ZZ-XX-RP-A-080010

Hawkins\  
Brown

# Non-Material Amendment Application / Section 96A

## Revisions

- 14/11/23 - Initial Issue
- 08/01/24 - Updated
- 17/01/24 - Updated
- 14/02/24 - Issued for NMA**

# Non-Material Amendment Application / Section 96A

## Planning History / Proposal

The Agar Grove Estate Masterplan was originally approved in 2013, application reference 2013/8088/P.

Since 2013 subsequent amendments have been made to the application via material amendments, non material amendments and variation of conditions (all granted) as the estate has progressed to technical design / construction.

### > 2014/5730/P

Non material amendment  
Block F, G & H

### > 2015/6240/P

Variation or Removal of Conditions (s)

### > 2015/3396/P

Non material amendment  
Plot A

### > 2015/3443/P

Variation or Removal of Conditions (s)

### > 2015/5160/P

Variation or Removal of Conditions (s)

### > 2017/6482/P

Non material amendment  
Various

### > 2018/0548/P

Non material amendment  
Block F, G & H

### > 2018/2922/P

Non material amendment  
Various

### > 2019/4280/P

Variation or Removal of Conditions (s)  
Amendments to Block I & JKL

### > 2020/4812/P

Non material amendment  
Block H cycle store changes

### > 2020/0468/P

Non material amendment  
Various

### > 2022/1944/P

Non material amendment  
Changes to Block I & JKL's bin strategy

### > 2022/2359/P

Variation or Removal of Condition  
Block B changes

### > 2023/0362/P

MMA application for amended to the approved drawings to show the ASHP enclosure changes.

The current permission number and description is as per below:

### Current Application Number:

### 2023/0362/P (Approved 12.02.24)

Description of proposal on the decision notice:

Variation of condition 63 (approved plans) of planning permission ref: 2019/4280/P dated 13/10/2020 (which amended 2013/8088/P dated 04/08/2014 in relation to blocks JKL and I, and it was amended under 2022/2359/P dated 20/12/2022 in relation to block B) and was amended by NMA 2022/1944/P which further amended blocks JKL and I (demolition of existing buildings and structures except Lulworth House and Agar Children's Centre (249 existing Class C3 residential units and 2 retail units), and erection of new buildings ranging between 4 and 18 storeys in height along with the refurbishment and extension of Lulworth House to provide Class C3 residential units; a community facility (Class D1); 2 flexible retail shop (Class A1) or restaurant and cafe (Class A3) units; business space (Class B1(a)); 2 flexible retail shop (Class A1), business (Class B1) or non-residential institution (Class D1) units); namely to increase size of proposed ASHP enclosures on Blocks JKL and I.

**The current non-material amendment proposal** regards non-material changes to Block H, I and JKL as listed below:

**(1) Block I:** Changes to the Block I courtyard garden design, from railings to railings with metal infill panels to provide screening/ privacy to residents using the gardens. Ramp added and gate position amended to courtyard gardens to provide level access for the wheelchair units.

**(2) Block H:** Change to external cycle store provision due to additional allocation in Block I, therefore compensatory provision in Block H not required allowing for more generous and formalised landscaping. Bike store reduction provides space for landscape changes listed above (1).

**(3) Block JKL:** Vent added to Core C's bin store as required by the fire strategy.

**(4) Block JKL:** Changes to the aesthetic design of the external cycle storage for Block JKL from a steel frame to a masonry construction to reflect the architecture of the main block and provide a more secure and robust cycle store.

**(5) Block JKL:** Minor changes to the elevation of the substation.

**(6) Block I:** Minor changes to the bin store layout.

# Non-Material Amendment Application / Section 96A

## Drawing revisions

| NMA Change Number | Description of change  | Current approved drawings:                                   | Revised drawing numbers for current NMA                        |
|-------------------|--|--|--|
| (1)               | <b>Block I:</b> Changes to the Block I courtyard garden design, from railings to railings with metal infill panels to provide screening/ privacy to residents using the gardens. Ramp added and gate position amended to courtyard gardens to provide level access for the wheelchair units. | AGC377-GRA-1C-XX-DR-L-1011 P04<br>AGV-HBA-I-ZZ-DR-A-080200   | AGC377-GRA-1C-XX-DR-L-1121_C4<br>AGV-HBA-I-ZZ-DR-A-200200_P3   |
| (2)               | <b>Block H:</b> Change to external cycle store provision due to additional allocation in Block I, therefore compensatory provision in Block H not required; this allows for more generous and formalised landscaping in the area vacated by the superseded bays.                             | AGC377-GRA-1C-XX-DR-L-1101 P03                               | AGC377-GRA-1C-XX-DR-L-1121_C4                                  |
| (3)               | <b>Block JKL:</b> Vent added to Core C's bin store as required by the fire strategy.   | AGV-HBA-JKL-XX-DR-A-080200 P04                               | AGV-HBA-JKL-ZZ-DR-A-200200_P5                                  |
| (4)               | <b>Block JKL:</b> Changes to the aesthetic design of the external cycle storage for Block JKL from a steel frame to a masonry construction to reflect the architecture of the main block and provide a more secure and robust cycle store.   | AGV-HBA-NE-00-DR-A-08-0100_P03<br>AGV-HBA-NE-XX-DR-A-08-0520 | AGV-HBA-JKL-00-DR-A-080100_P5<br>AGV-HBA-JKL-00-DR-A-900401_P8 |
| (5)               | <b>Block JKL:</b> Minor changes to the elevation of the substation.  | AGV-HBA-JKL-ZZ-SK-A-900400_P1                                | AGV-HBA-JKL-ZZ-DR-A-900400_P3                                  |
| (6)               | <b>(6) Block I:</b> Minor changes to the bin store layout.   | AGC377-GRA-1C-XX-DR-L-1011 P04                               | AGC377-GRA-1C-XX-DR-L-1121_C4                                  |

# Non-Material Amendment Application / Section 96A

## Change (1) - Block I - Courtyard gardens

### Approved



Block I, west elevation 2023/0362/P  
Drawing: AGV-HBA-I-ZZ-DR-A-080200  
\*Note revision bubbles were shown on approved drawing

### Proposed



Block I, Proposed west elevation, changes clouded in red.  
Drawing: AGV-HBA-I-ZZ-DR-A-200200\_P3

#### Amendment to rear garden design:

**Amendment:** Metal privacy panels (RAL 7039 matching window sash) added to railing & gate positioning amended and ramp added to top garden.

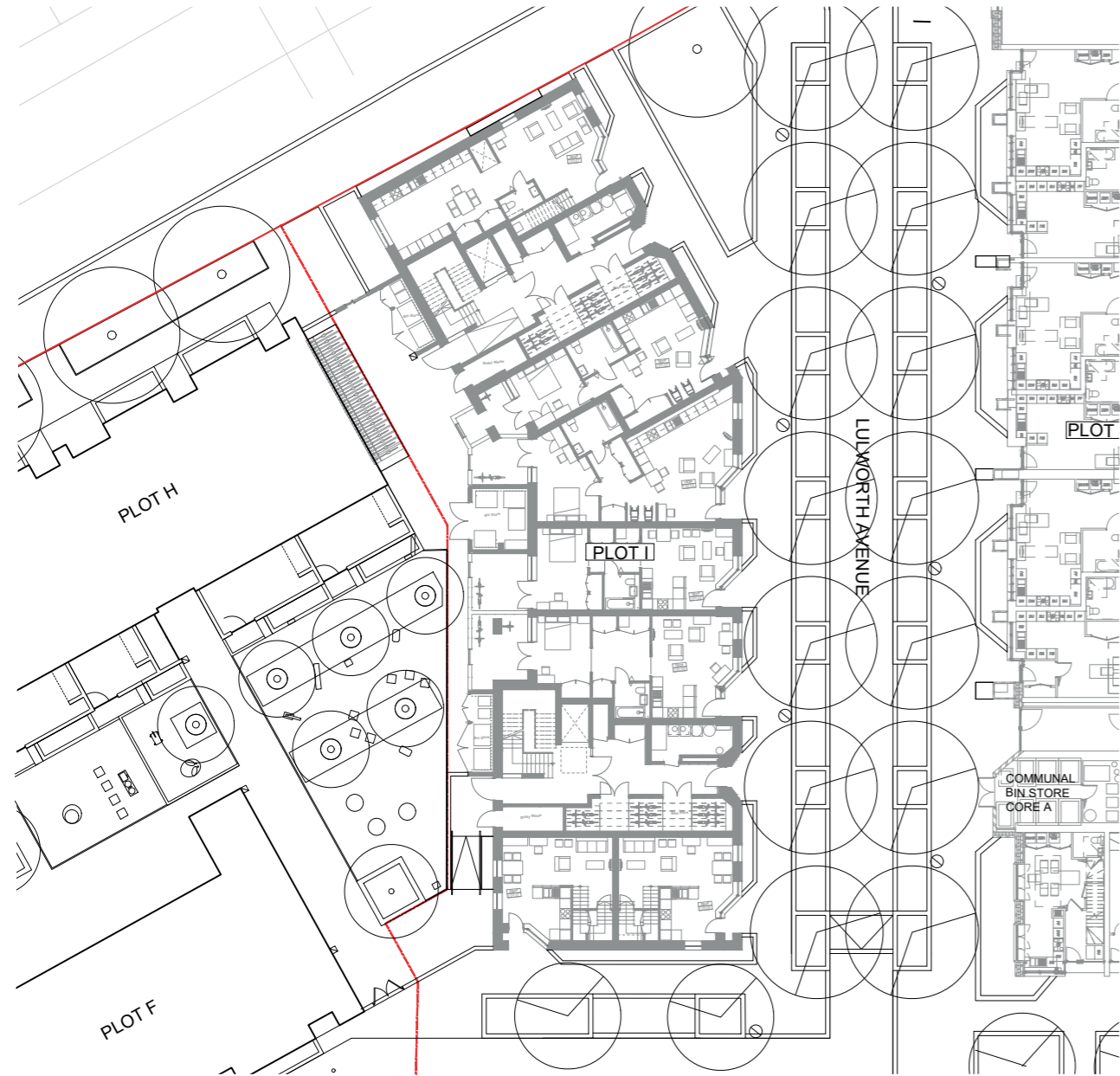
**Reasoning:** To provide privacy to residents from the courtyard & to provide level access thresholds to gardens and comply with Approved Document M. Panels also screen off the private garden areas, concealing objects in the gardens from the wider estate, providing an improved aesthetic appearance and reducing theft risk.



# Non-Material Amendment Application / Section 96A

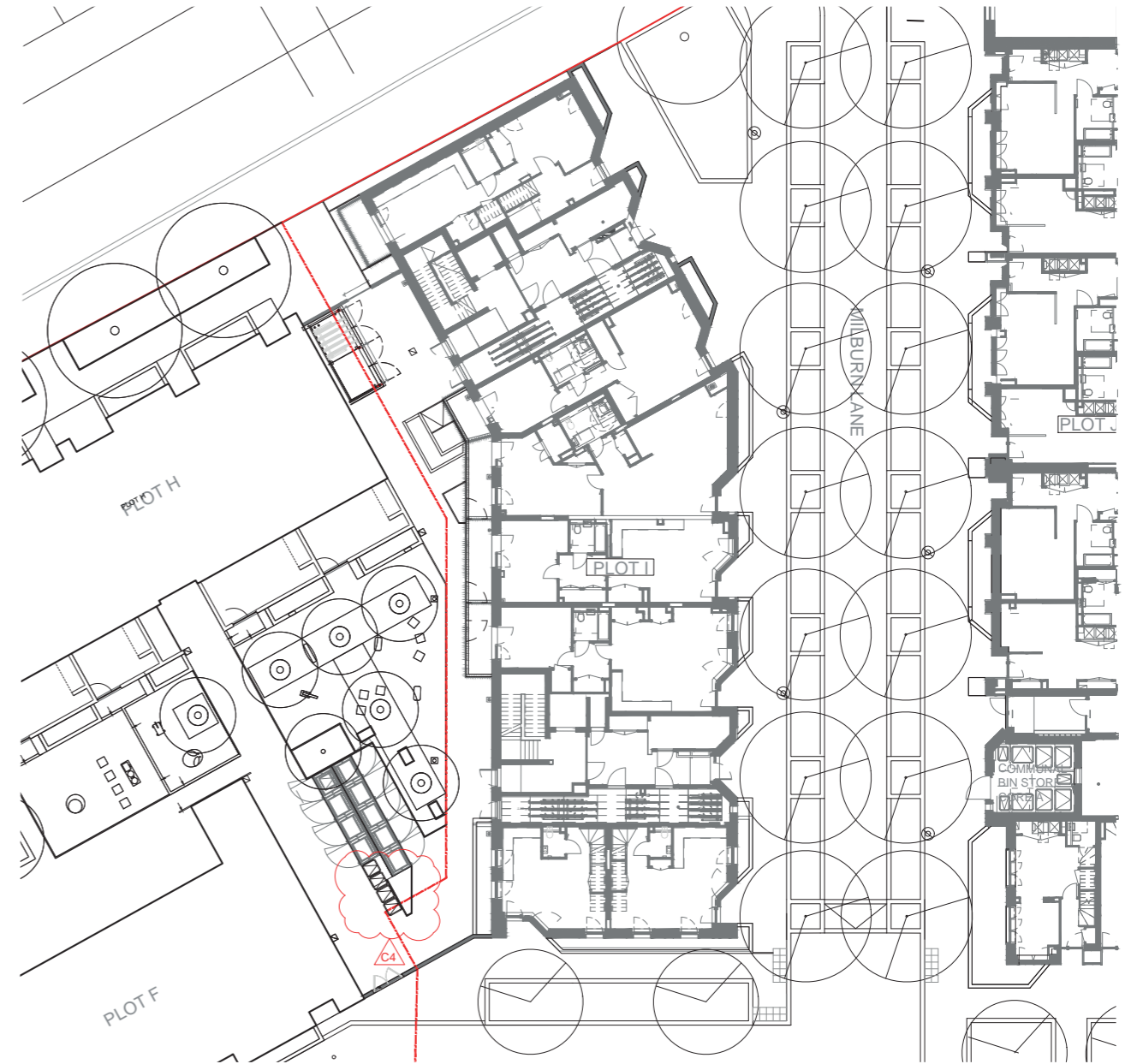
Change (1) - Block I - Courtyard gardens

Approved



Block I courtyard landscaping  
2019/4280/P  
AGC377-GRA-1C-XX-DR-L-1101 P03

Proposed



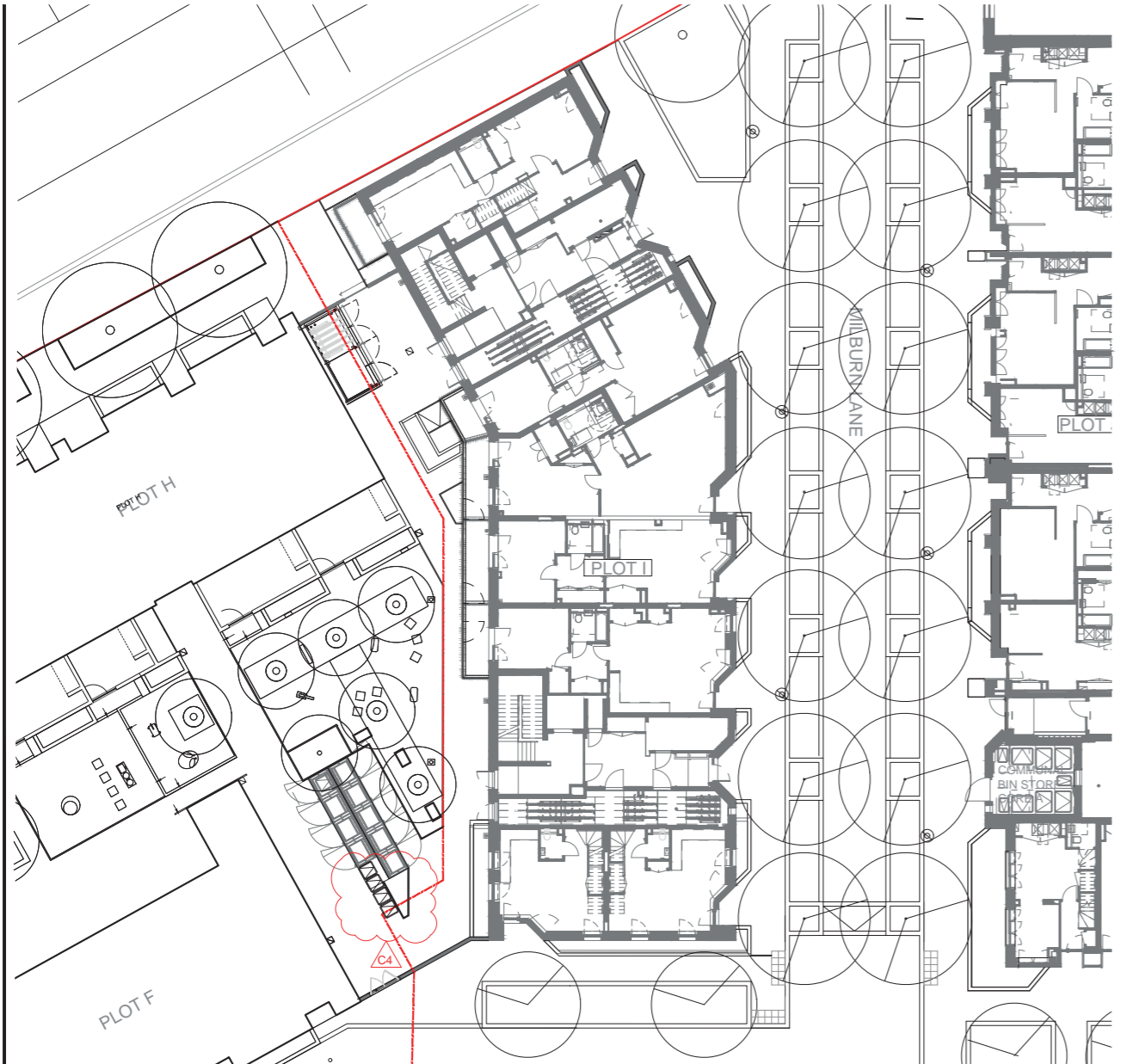
Proposed Block I Landscape  
Drawing AGC377-GRA-1C-XX-DR-L-1121\_C4



**Non-Material Amendment Application / Section 96A**

Change (2) - Block H - Cycle Storage

**Proposed**



Proposed Block I Landscape  
Drawing AGC377-GRA-1C-XX-DR-L1121\_C4



# Non-Material Amendment Application / Section 96A

Change (3) - Block JKL changes - Bin store louvered vent

Approved



Block JKL, east elevation MMA 2023/0362/P  
Drawing: AGV-HBA-JKL-XX-DR-A-080200\_P4

Proposed



Block JKL, proposed east elevation (vent highlighted in red)  
Drawing: AGV-HBA-JKL-ZZ-DR-A-200200\_P5

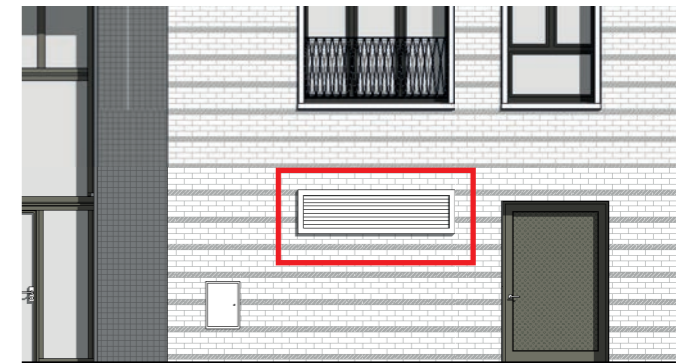
## Amendment to east elevation

### 1) Amendment:

Additional of metal louvered vent to Core C bin store, RAL to match windows (7003)

### Reasoning:

Required to meet fire regulation requirements in Core C and wider block. In the event of a fire the duct is activated by an actuator and the ventilation system clears smoke from the cleaner's store lobby adjacent to the main staircase and helps to ensure that the protected stair is free from smoke for safe evacuation and fire fighter access.



Block JKL, proposed east elevation (shown highlighted in red)