

Date: 11/12/2023

Our reference: 2023/3184/PRE

Contact: Miriam Baptist

Email: miriam.baptist@camden.gov.uk

Dear Sir or Madam,

Town and Country Planning Act 1990 (as amended)

Re: 38 Priory Road, London, NW6 4SJ

Thank you for submitting the above pre-application request. The proposal is for the erection of a rear and side dormer. The Council's response to the pre-application scheme at the above site is set below.

It is noted that a rear dormer has already been granted under recent application 2023/0525/P.

Latest proposed drawings: EXISTING/PROPOSED PLANS MPD-1179-PL-01-J, EXISTING/PROPOSED ELEVATIONS MPD-1179-PL-02-I.

Planning History

Application site

2022/1802/P - *Conversion of upper ground to second floors dwelling to 3 x 2 bedroom flats (Class C3) and erection of single storey rear extension to existing lower ground floor flat plus a cycle store in front garden.* – **Granted 15/12/2022**

2023/0525/P - *Conversion of existing maisonette dwelling over upper three floors into three flats, conversion of existing loft into a study as part of the second floor flat including construction of a new dormer and rooflight, single and double storey rear extension at the lower ground floor and upper ground floor levels to extend the existing lower ground floor flat and proposed upper ground floor flat; other ancillary associated works including extension of the existing rear patio, installation of cycle stands in the front yard, and repair or rebuild the existing front boundary wall.* – **Granted 17/07/2023**

Other properties in the area

44 Priory Road - **2009/4251/P** - Installation of two velux roof lights to the front, one to the side and a dormer window to the rear of a residential flat (Class C3). – **Granted 05/01/2010**

46 Priory Road - **PW9702141** - A loft conversion to provide additional space for the second floor flat including construction of rear dormer and recessed terrace. – **Granted 09/04/1997**

47 Priory Road - **2005/3187/P** - Enlargement of side dormer and alterations to rooflights to front and rear, as a revision to planning permission granted on 08/06/05 (2005/1138/P) for conversion of existing loft area to provide additional habitable accommodation, including the erection of a side dormer and four roof lights, two on the front and two on the rear roof slope. – **Granted 28/10/2005**

47 Priory Road - **2005/1138/P** - Conversion of existing loft area into additional habitable accommodation, including the erection of a side dormer and four roof lights, two on the front and two on the rear roof slope. - **Granted 08/06/2005**

Please note that dormers such as those a Nos 19, 22, 29 and 31 are not considered acceptable precedents.

Assessment

Heritage and design

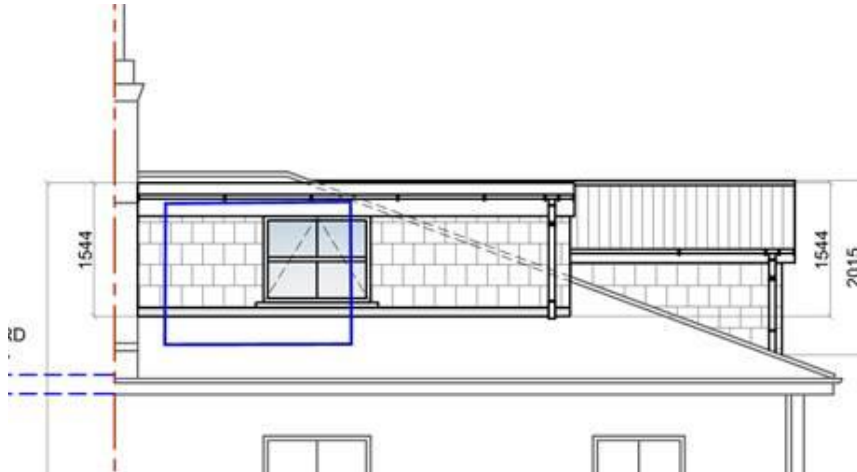
- The application site is located within the Priory Road Conservation Area, wherein the Council has a statutory duty to pay special attention to the desirability of preserving or enhancing the character or appearance of that area, in accordance with Section 72 of The Planning (Listed Buildings and Conservation Areas) Act 1990 (as amended).
- Policy D1 of the Local Plan seeks to secure high quality design which respects local context and character and which preserves or enhances the historic environment and heritage assets in accordance with Policy D2.
- Policy D2 seeks to preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas and listed buildings.

This document seeks to communicate our advice which we consider has already been given in person.

The site has a low profile pitched roof which is the characteristic, architectural style in this part of the Priory Road Conservation Area. The roof is not meant to be habitable, which is clear from its height. Despite this several properties in the area have inserted dormer windows to the rear, and sometimes to the side. Of the worthy precedents in the area, none straddle the roof ridges, but are separate and distinct on the individual roof planes – be it on the side or rear roofslopes. It is important to note that applications are assessed on a case-by-case basis and that the property in question is more visible than many on the street- it is seen in direct views down the approach from Abbotts' Place and can also be seen from the rear from Abbey Road.

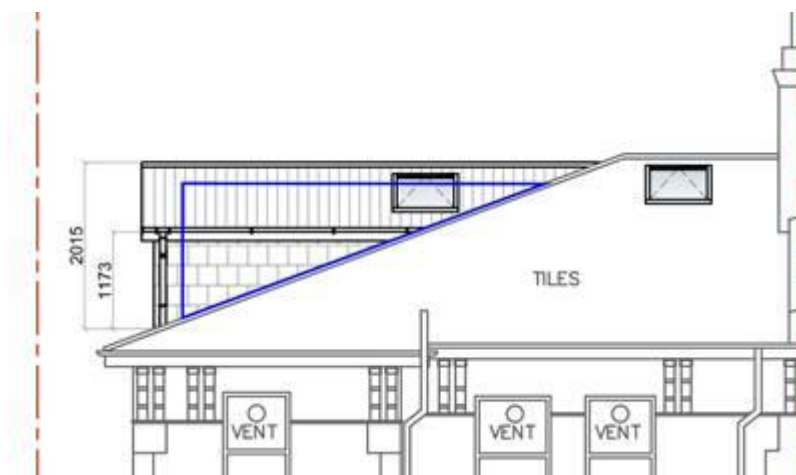
Please see below for some rough sketches of the size of dormers that we consider likely to be acceptable on this roofscape. Please note that these are indicative only and the council will not be bound by them. The rear dormer is similar to what is seen on other nearby properties.

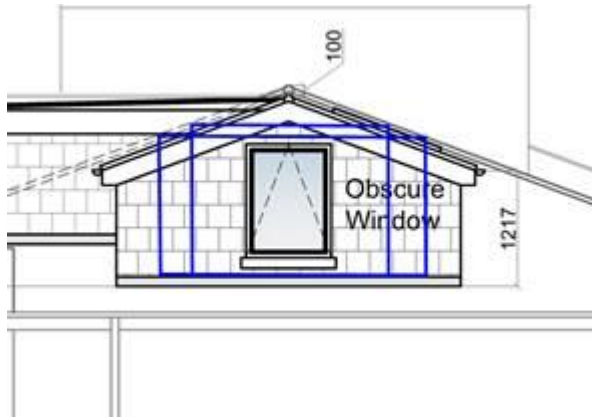
Rear dormer (this can be extended to be against the chimney breast as per the previously granted dormer, but leaving a gap is ideal for rain run off):



Side dormer:

You will see the second image has 2 options for the side dormer – both within the ridge lines of the main roof. It also is flat-topped (rather than pitched) like nearby examples.





Thank you for the photos of 46 and 47, we are in agreement that those are acceptable examples of roof dormers in the area, but also note they are not comparable to the last drawings submitted for review.

Something similar to the side dormer at No 47 would be acceptable, it is set down from the roof ridge and up from the eaves by a reasonable distance, the windows look traditional (thin fenestration bars etc) and there are no chunky dormer cheeks (solid) on its end elevation – this is what we consider to be acceptable. Anything larger we would struggle to support.

No 46 is a more appropriate size than the proposed rear dormer- in comparison the proposed dormer seems almost double the length. Any proposed dormer should have thin dormer cheeks and be sympathetically design.

Whilst we would not accept the dormers proposed in this pre-app, the sketches above provide an indication of what would be considered subordinate and appropriate in this location. If you want to proceed with an application, we would not accept anything larger than the advice given.

As stated this roof is not designed to be habitable, or to provide a generous area of living space, and it may be that what we consider appropriate does not meet your client's brief.

Please note that historic extensions (not assessed against current policies) and developments constructed without planning permission (either unlawfully or through permitted development) do not set a precedent for an acceptable form of development at the subject site.

This document represents an initial informal view of your proposals based on the information available to us at this stage and would not be binding upon the Council, nor prejudice any future planning application decisions made by the council.

Thank you for using Camden's pre-application advice service.

Yours sincerely,

Miriam Baptist
Planning Officer