

Generally

- Existing brickwork to be locally re-pointed and repaired where
- Window boxes, architraves and shutters to be repaired locally where
- required and redecorated. New mechanical, electrical and plumbing services installed
- throughout.
- Joists to be inspected by structural engineer, and where required strengthened by doubling up of joists. Sound joists to be levelled with plywood wedges fixed to tops of joists.
- Where new skirtings are required, they are to be made to match existing profiles. Existing panelling and mouldings to be stripped of paint with poultice
- paint removal system, then locally repaired and decorated. Any new panelled partitions or mouldings are to match those

- All walls and ceilings to be redecorated. Plaster surfaces to be

- FT-04: Tiled finishes laid over existing slab with UFH.
- FT-05: Exsiting stone finish to be repaired and refurbished.
- FT-06: New stone finish to match existing over plywood and existing
- FT-07: Timber floorboards, over existing floor joists. Insulation fitted
- between joists. Existing floorboards to be retained where possible.
- Reclaimed boards used locally to match existing.
- FT-08: New external stone slab pavers over new slab
- FT-09: Stone finishes over electric underfloor heating, over plywood
- FT-10: Composite timber decking on pedestals over new
- (2) Remove carpet and repair stair locally where necessary. Refinish with

- (8) Existing surround and hearth refurbished. Refer to schedule for detail.
- (9) Masonry infill in matching brick, bond and pointing. New brick toothed

- (17) New low level boxing to conceal services. Existing panelling and
- (20) Partition and lining emulating existing curve to complete apsidal plan

Existing structure demolished



Drawing Location Key

Proposed General Arrangement Lower Ground Floor

Quinn Architects

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В

CHECKED BY 1:50 @ A1 / 1:100 @ A3 DRAWING STATUS QA220 A100 **Planning**

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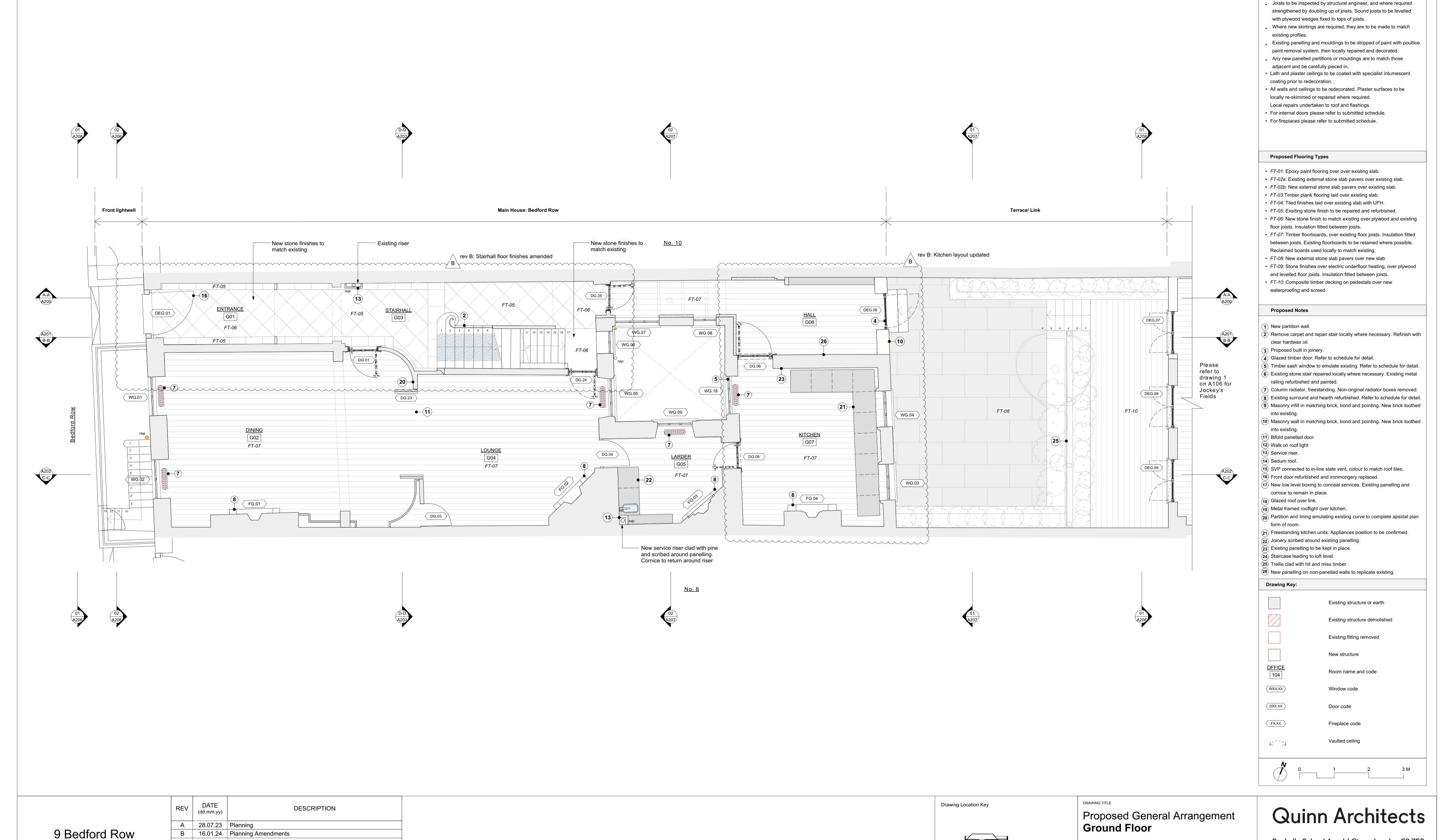
REV DATE (dd.mm.yy)

9 Bedford Row

A 28.07.23 Planning

B 16.01.24 Planning Amendments

DESCRIPTION



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Generally

throughout.

required and redecorated.

Existing brickwork to be locally re-pointed and repaired where

New mechanical, electrical and plumbing services installed

Window boxes, architraves and shutters to be repaired locally where

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A101

QA220

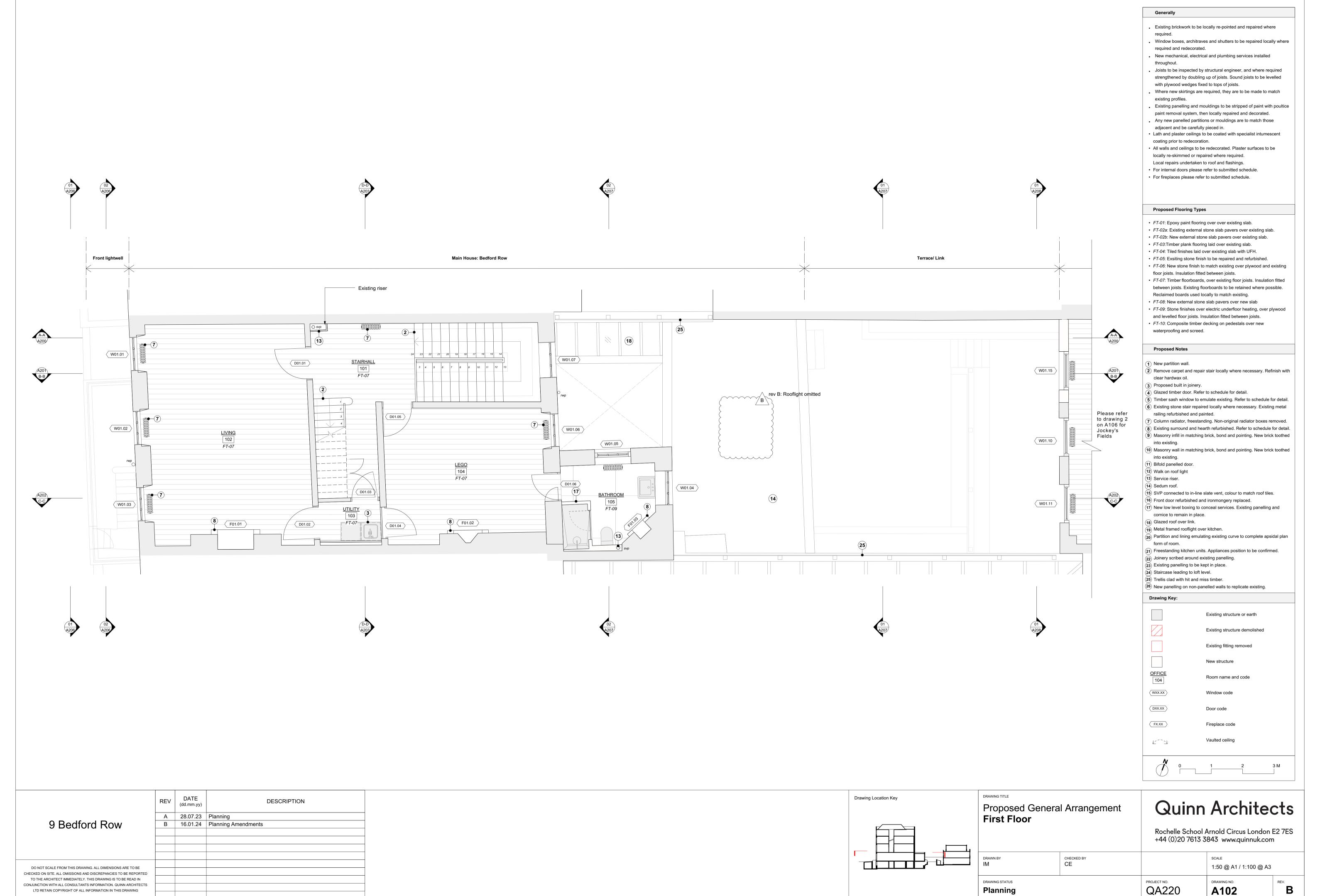
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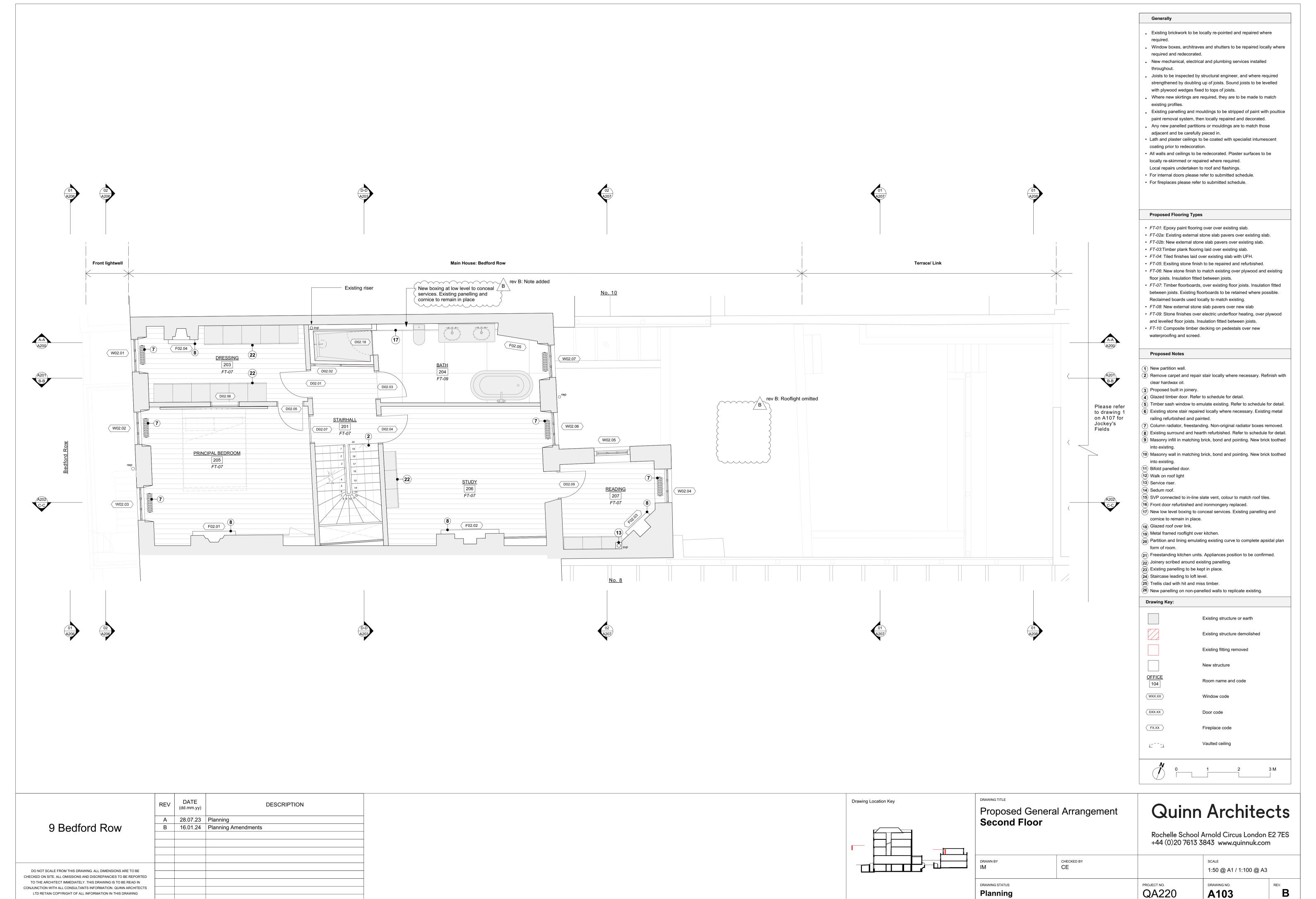
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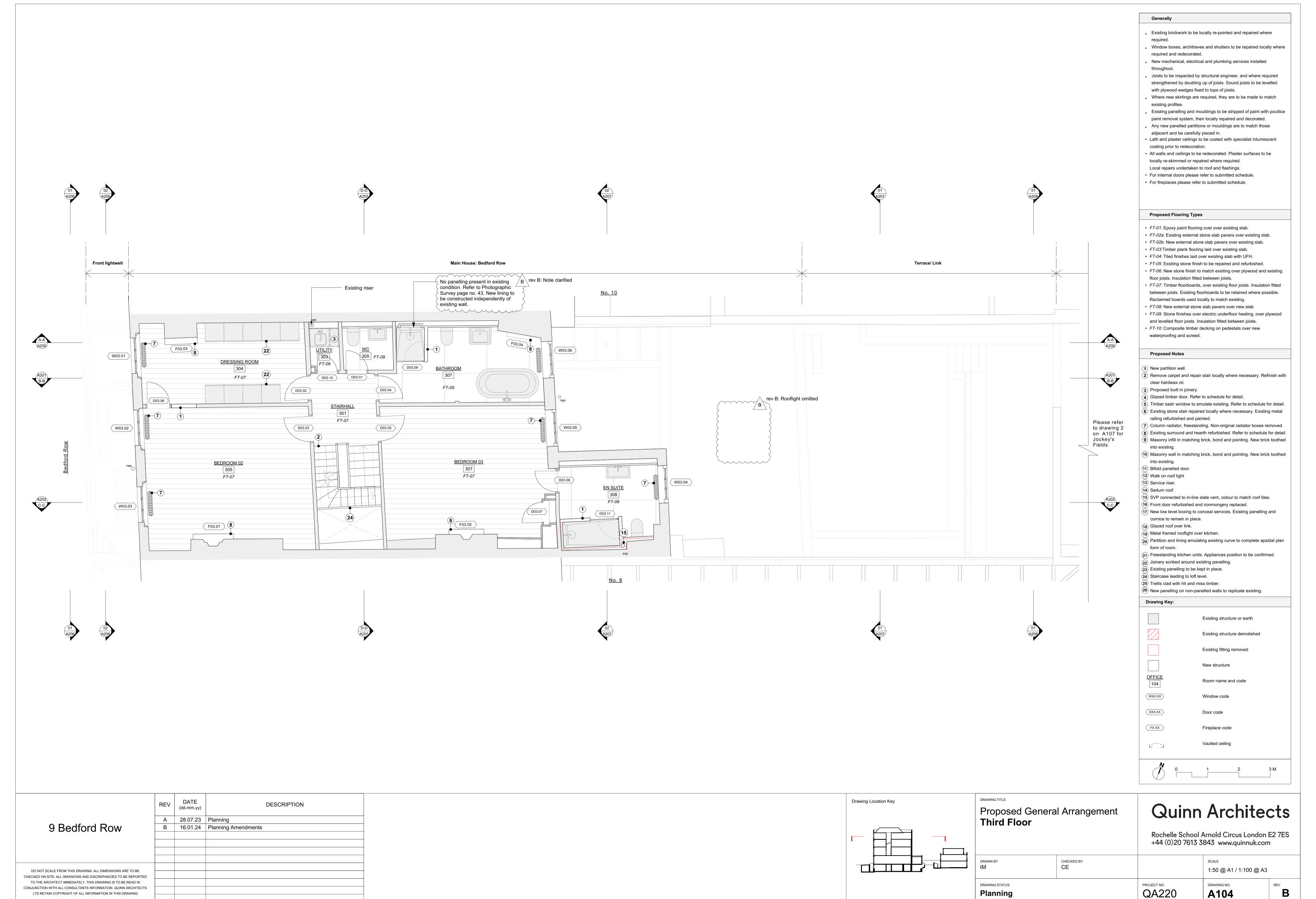
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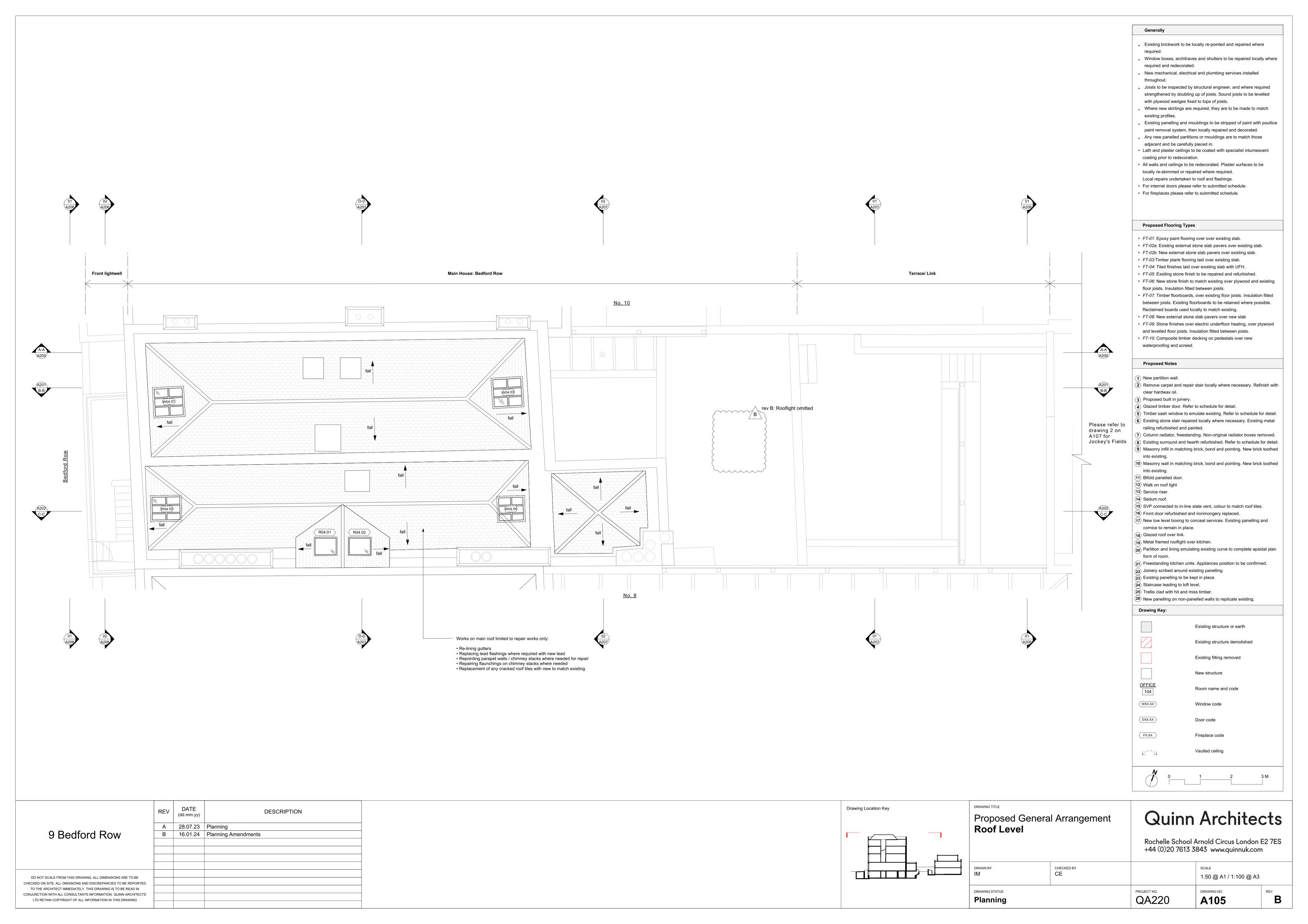
DRAWING STATUS

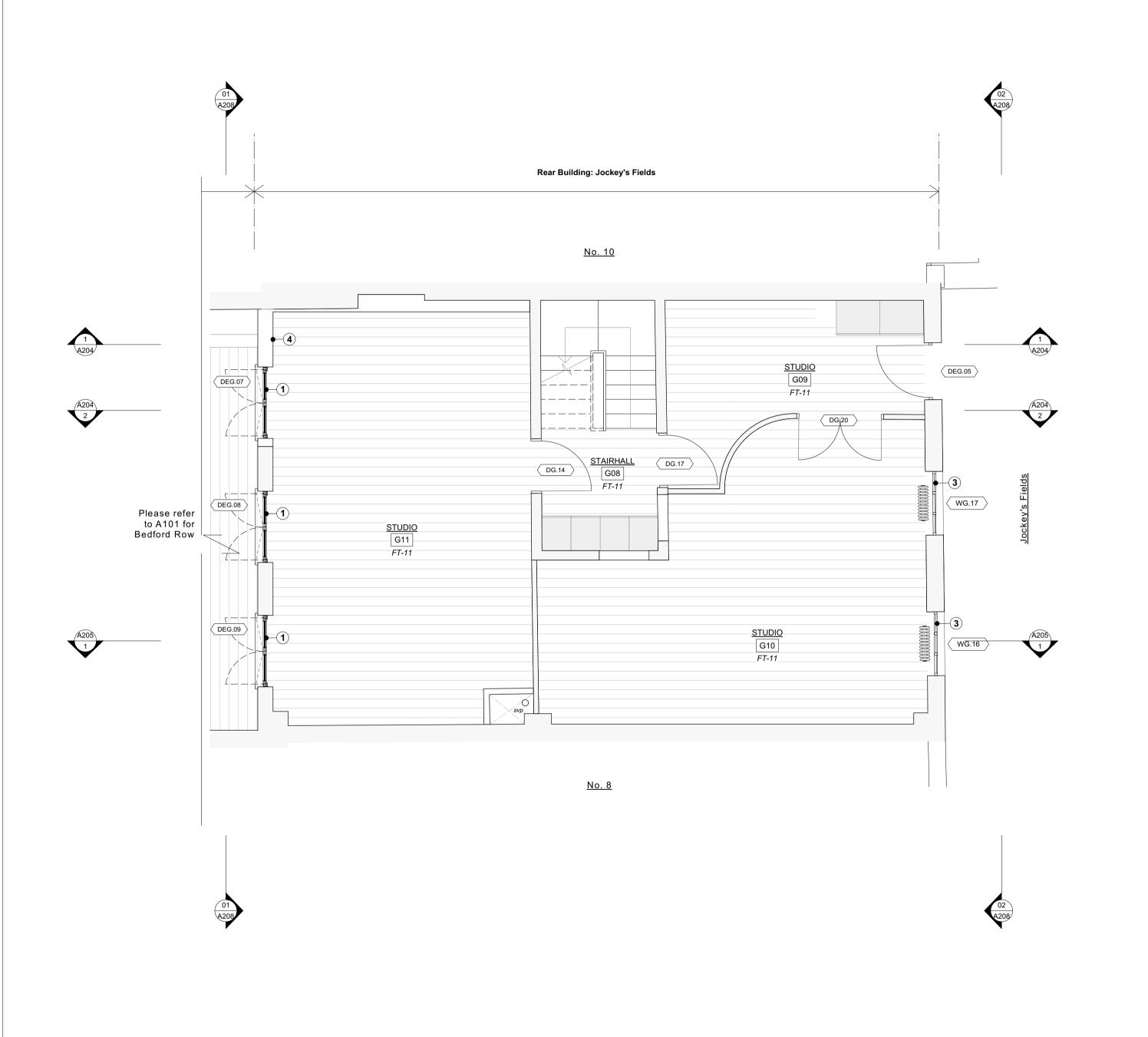
Planning

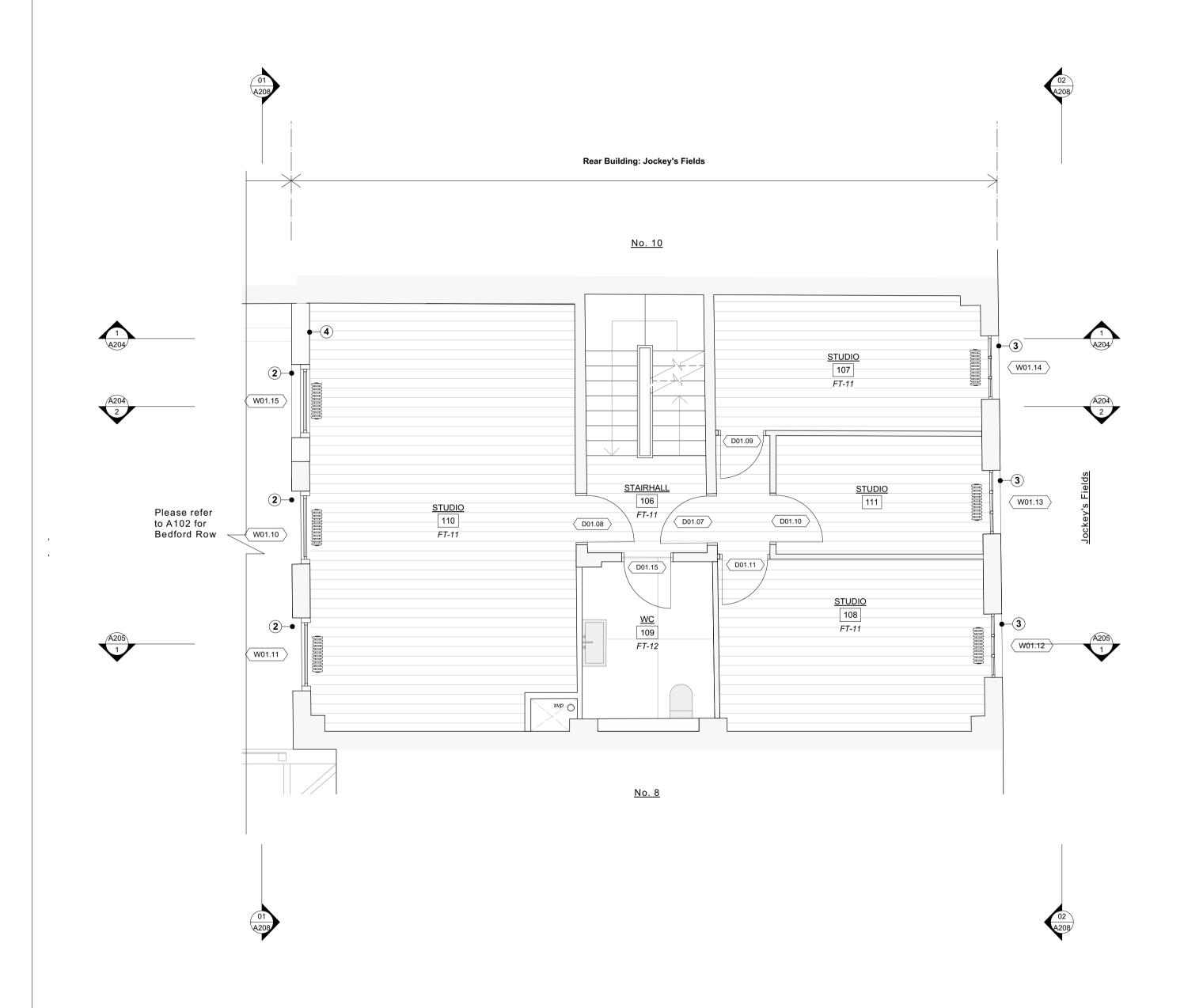












Jockey's Fields Ground Floor Plan - Proposed

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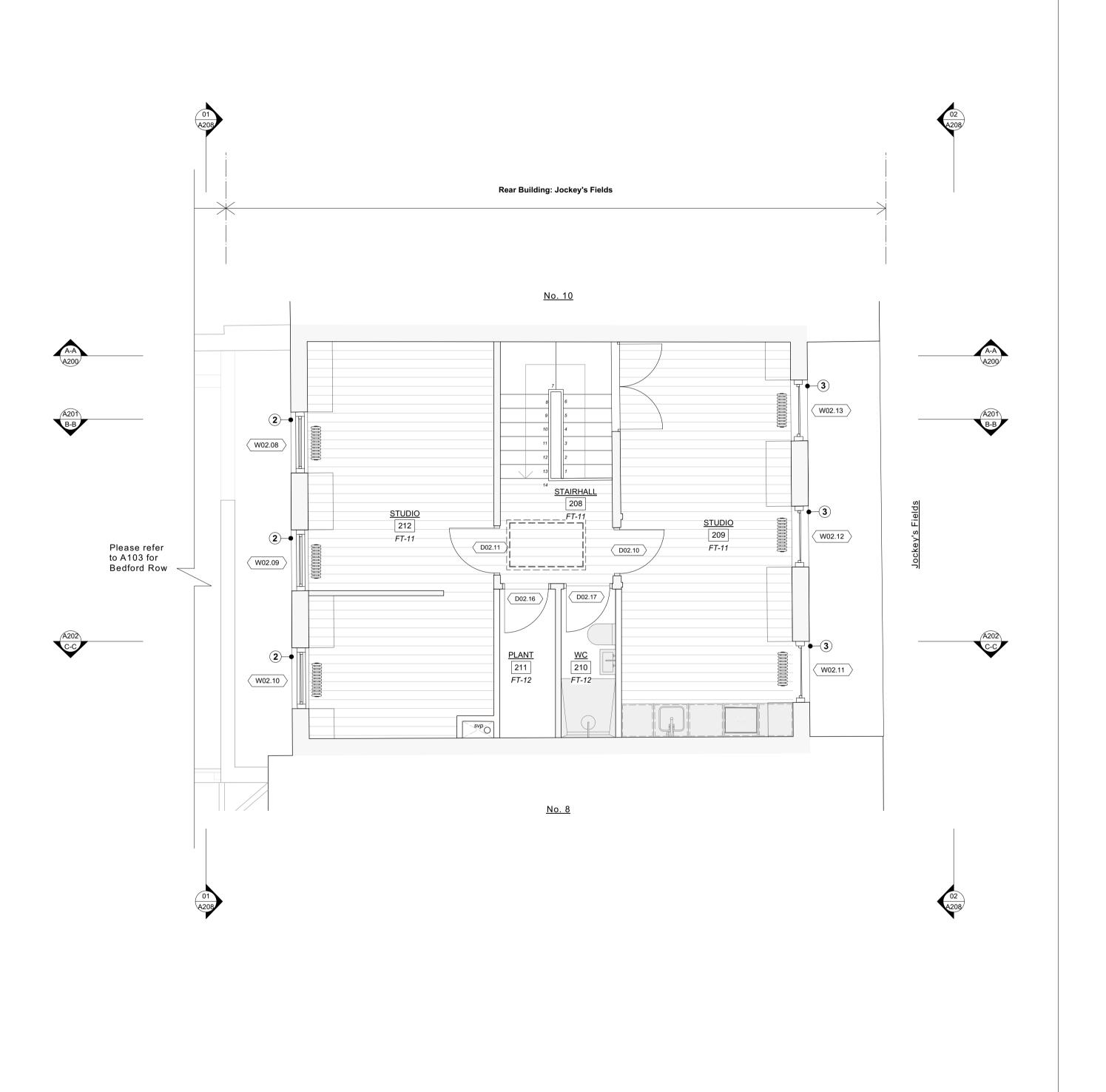
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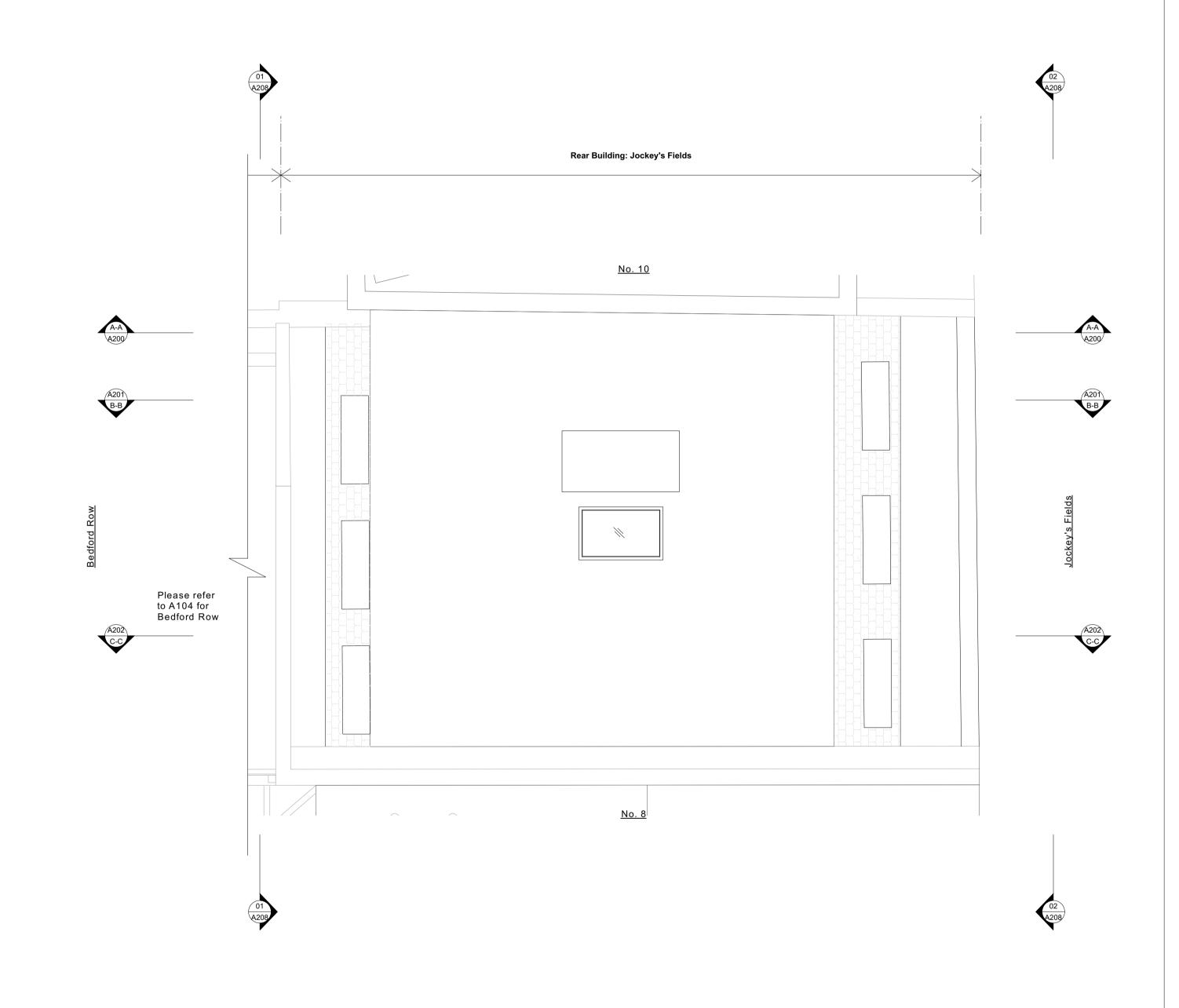
Jockey's Fields First Floor Plan - Proposed

Scale: 1:50

0 1 2 3 4 5

	DATE	DECORIDEION	Drawing	Key:			Generally	Proposed Flooring Types	Drawing Location Key	DRAWING TITLE			
9 Bedford Row	REV DATE (dd.mm.yy) A 28.07.23 Planning	DESCRIPTION	Existing structure or earth		OFFICE 104	Room name and code	Existing brickwork to be locally re-pointed and repaired where required. Model of the control of the cont	 FT-11: New hard finishes for office use FT-12: Tiled finishes for bathroom 		Proposed General Arrangement Ground Floor and First Floor	Quinr	Quinn Architects	
				Existing structure demolished	WXX.XX	Window code	 Window boxes, architraves and shutters to be repaired locally where required and redecorated. New mechanical, electrical and plumbing services 	Proposed Notes	Jockey's Fields			Rochelle School Arnold Circus London E2 7ES +44 (0)20 7613 3843 www.quinnuk.com	
				Existing fitting removed	\(\begin{align*} DXX.XX \\ \end{align*}	Door code	installed throughout. New skirtings and cornices throughout	New metal frame glazed double door New metal frame casement window			+44 (0)20 7613	3043 www.quinnui	ik.com
DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE				New structure	\(\begin{align*} DXX.XX \\ \end{align*}	Fireplace code	Water Mist system installed throughout for fire safetyLocal repairs undertaken to roof and flashings.	3 Existing window refurbished 4 Cavity masonry wall infilled following demolition of		IM CHECKED BY		1:50 @ A1 / 1:100 (@ A3
CHECKED ON SITE. ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL CONSULTANTS INFORMATION. QUINN ARCHITECTS LTD RETAIN COPYRIGHT OF ALL INFORMATION IN THIS DRAWING					K7	Vaulted ceiling		outrigger. Facing brick to match existing.		DRAWING STATUS Planning	PROJECT NO. QA220	DRAWING NO. A106	REV.





Jockey's Fields Second Floor Plan - Proposed

A107 Scale: 1:50

Jockey's Fields Roof Plan - Proposed

Scale: 1:50

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Quinn Architects Proposed General Arrangement Second Floor and Roof Plan ockey's Fields

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CHECKED BY 1:50 @ A1 / 1:100 @ A3 DRAWING STATUS QA220 A107 Α **Planning**

		DATE			Drawing Key:	
	REV	(dd.mm.yy)	DESCRIPTION		-	
	Α	28.07.23	Planning		Ex	
9 Bedford Row					Ex	
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OFFICE 104 Existing structure or earth Room name and code $\langle wxx.xx \rangle$ Existing structure demolished Window code \(DXX.XX \) Existing fitting removed Door code DXX.XX New structure Fireplace code Vaulted ceiling

• FT-11: New hard finishes for office use • Existing brickwork to be locally re-pointed and repaired • FT-12: Tiled finishes for bathroom where required. • Window boxes, architraves and shutters to be repaired locally where required and redecorated. Proposed Notes New mechanical, electrical and plumbing services installed throughout. New skirtings and cornices throughout

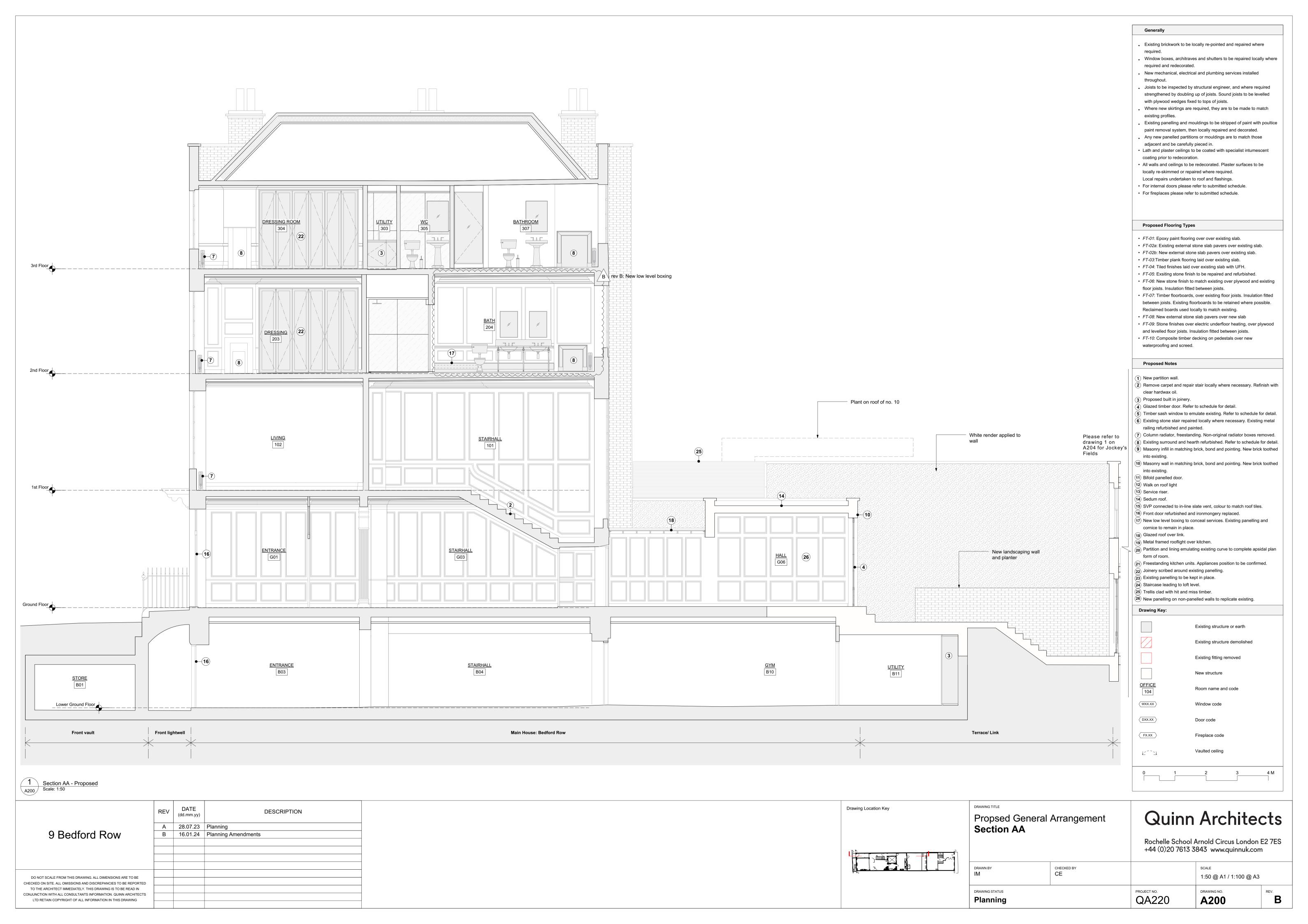
Water Mist system installed throughout for fire safety

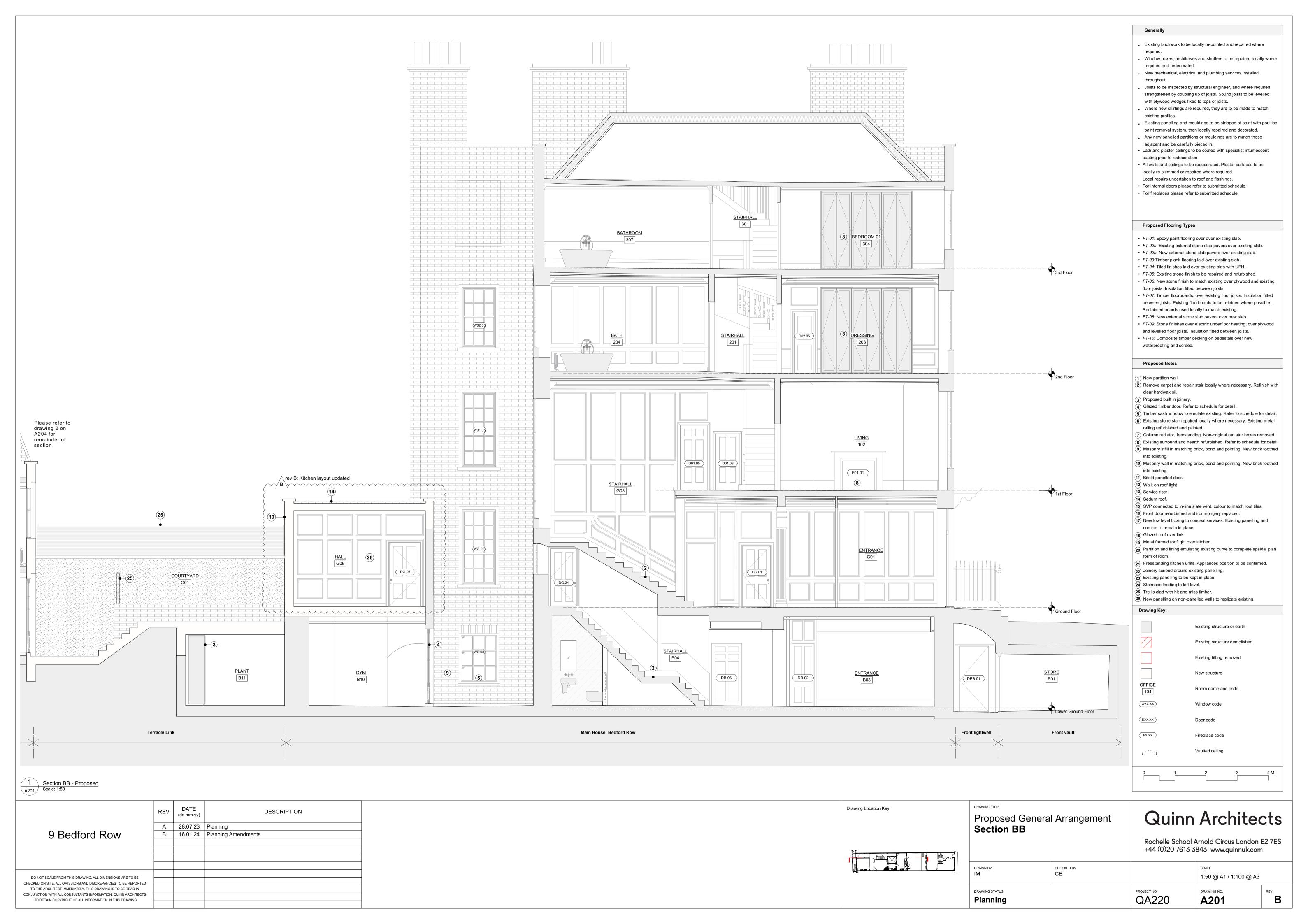
• Local repairs undertaken to roof and flashings.

Generally

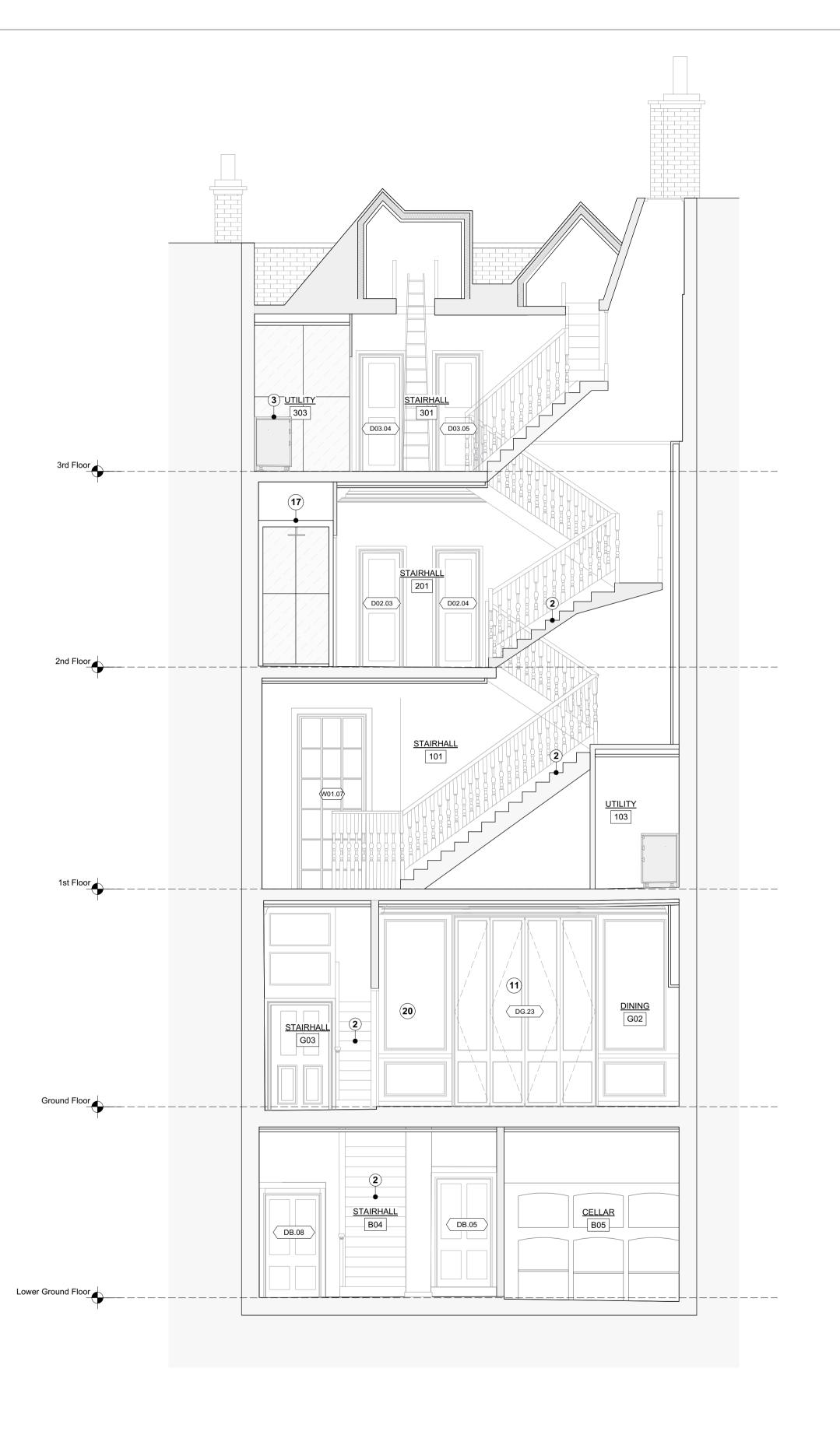
1 New metal frame glazed double door 2 New metal frame casement window 3 Existing window refurbished 4 Cavity masonry wall infilled following demolition of outrigger. Facing brick to match existing.

Proposed Flooring Types



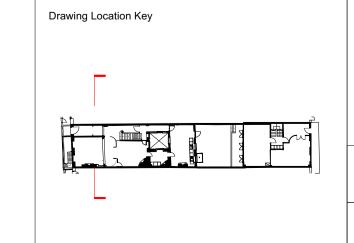








		DATE (dd.mm.yy)	DESCRIPTION
	Α	28.07.23	Planning
9 Bedford Row			
-			
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DRAWING IIILE
Proposed General Arrangement
Section DD

Quinn Architects

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• Existing brickwork to be locally re-pointed and repaired where Window boxes, architraves and shutters to be repaired locally where

Generally

required and redecorated.

New mechanical, electrical and plumbing services installed throughout.

Joists to be inspected by structural engineer, and where required strengthened by doubling up of joists. Sound joists to be levelled with plywood wedges fixed to tops of joists. Where new skirtings are required, they are to be made to match

existing profiles.

Existing panelling and mouldings to be stripped of paint with poultice paint removal system, then locally repaired and decorated.

 Any new panelled partitions or mouldings are to match those adjacent and be carefully pieced in.

 Lath and plaster ceilings to be coated with specialist intumescent coating prior to redecoration.

Water Mist system installed throughout for fire safety

All walls and ceilings to be redecorated. Plaster surfaces to be

locally re-skimmed or repaired where required. Local repairs undertaken to roof and flashings.

• For internal doors please refer to submitted schedule. • For fireplaces please refer to submitted schedule.

Proposed Flooring Types

• FT-01: Epoxy paint flooring over over existing slab. • FT-02a: Existing external stone slab pavers over existing slab.

• FT-02b: New external stone slab pavers over existing slab.

• FT-03:Timber plank flooring laid over existing slab. • FT-04: Tiled finishes laid over existing slab with UFH.

• FT-05: Coir mat, over plywood and existing floor joists. Insulation

fitted between joists.

• FT-06: Stone finishes over plywood and existing floor joists. Insulation fitted between joists.

• FT-07: Timber floorboards, over existing floor joists. Insulation fitted between joists. Existing floorboards to be retained where possible.

Reclaimed boards used locally to match existing. • FT-08: New external stone slab pavers over new slab

• FT-09: Stone finishes over electric underfloor heating, over plywood and levelled floor joists. Insulation fitted between joists.

• FT-10: Composite timber decking on pedestals over new

waterproofing and screed.

Proposed Notes

1 New partition wall.

(2) Remove carpet and repair stair locally where necessary. Refinish with clear hardwax oil.

(3) Proposed built in joinery.

(4) Glazed timber door. Refer to schedule for detail.

5 Timber sash window to emulate existing. Refer to schedule for detail. 6 Existing stone stair repaired locally where necessary. Existing metal

railing refurbished and painted. (7) Column radiator, freestanding. Non-original radiator boxes removed.

(8) Existing surround and hearth refurbished. Refer to schedule for detail. (9) Masonry infill in matching brick, bond and pointing. New brick toothed

into existing. 10 Masonry wall in matching brick, bond and pointing. New brick toothed

into existing. (11) Bifold panelled door.

(12) Walk on roof light

(13) Service riser

(14) Sedum roof

SVP connected to in-line slate vent, colour to match roof tiles

(16) Front door refurbished and ironmongery replaced. (17) Shower and WC enclosure tiled and bonded to plywood and spaced

away from the wall panelling with battens.

(18) Glazed roof over link.

(19) Metal framed rooflight over kitchen. Partition and lining emulating existing curve to complete. apsidal plan

form of room.

(21) Freestanding kitchen units.

Joinery scribed around existing panelling. (23) Existing panelling relocated to northern wall of kitchen.

(24) Staircase leading to loft level

(25) Trellis clad with hit and miss timber

Drawing Key:

Existing structure or earth Existing structure demolished

Room name and code

Existing fitting removed

New structure

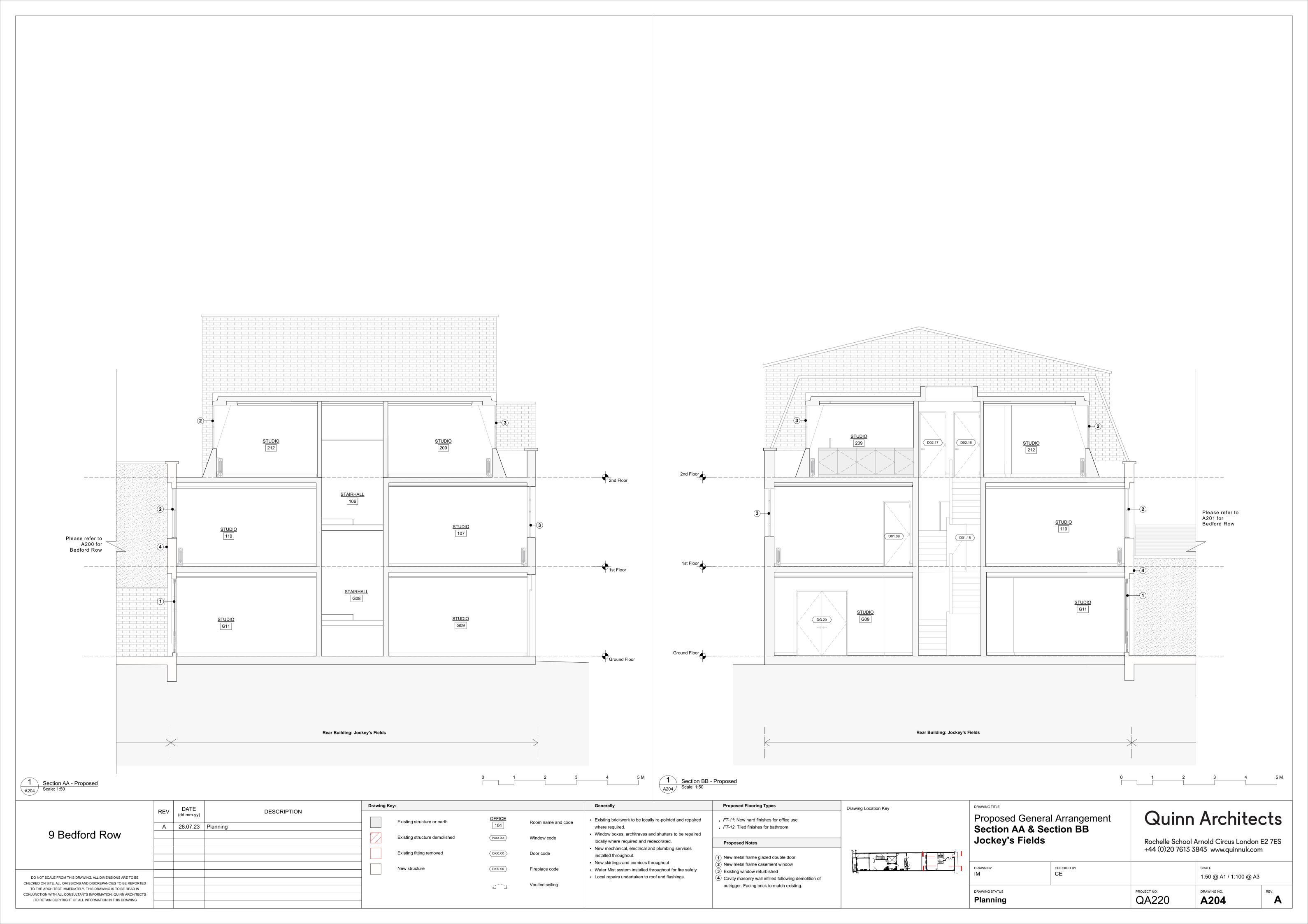
OFFICE 104 (WXX.XX) Window code

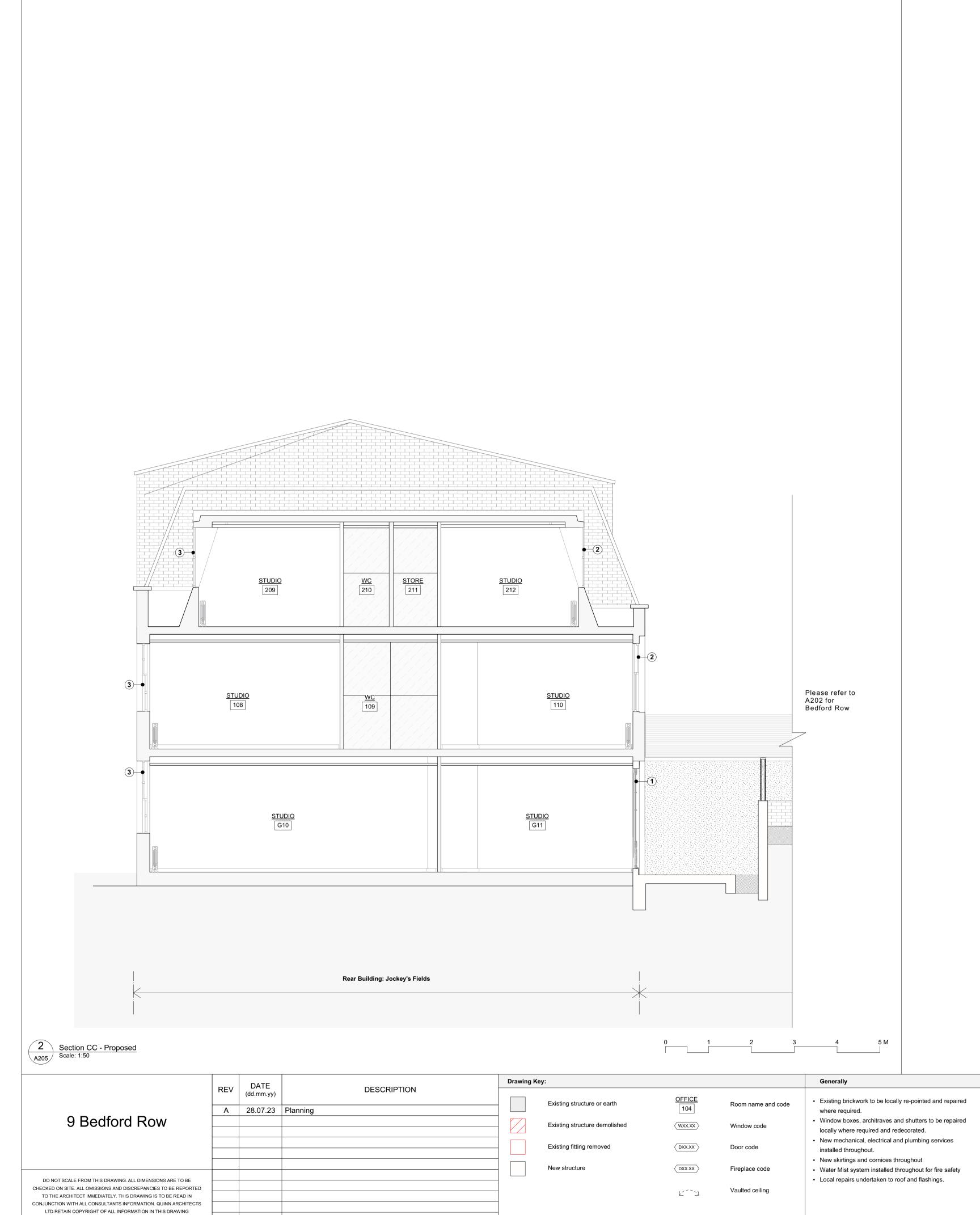
DXX.XX Door code

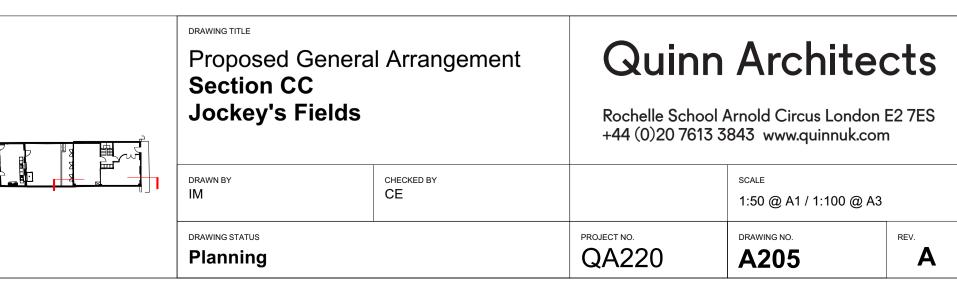
FX.XX Fireplace code

Vaulted ceiling

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Proposed Flooring Types

Proposed Notes

• FT-11: New hard finishes for office use

• FT-12: Tiled finishes for bathroom

1 New metal frame glazed double door

4 Cavity masonry wall infilled following demolition of

outrigger. Facing brick to match existing.

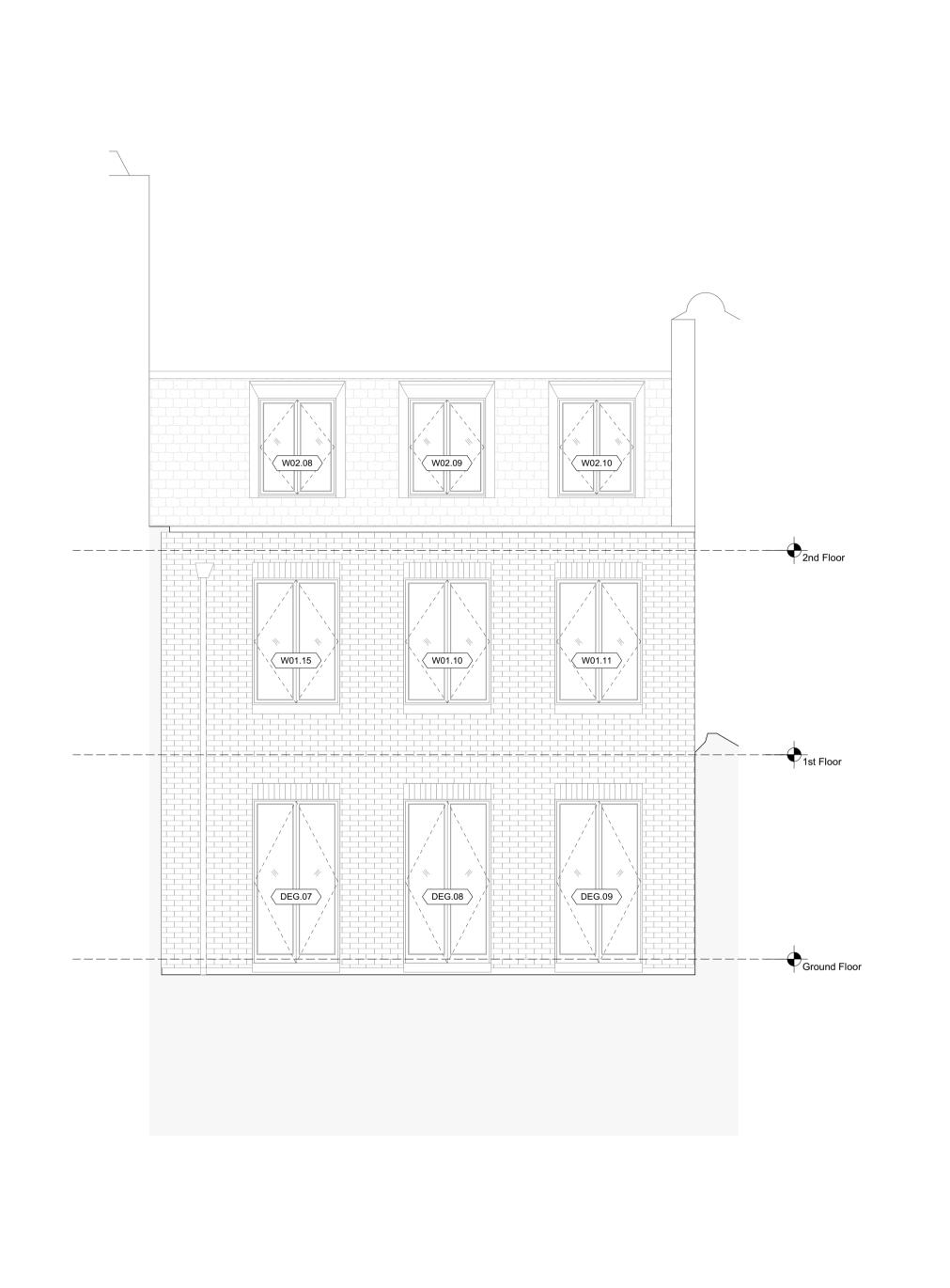
2 New metal frame casement window

3 Existing window refurbished

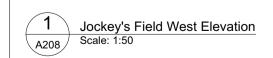
Drawing Location Key











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Drawing Key: Generally REV DATE (dd.mm.yy) DESCRIPTION OFFICE 104 Existing brickwork to be locally re-pointed and repaired Existing structure or earth Room name and code A 28.07.23 Planning where required. 9 Bedford Row Window boxes, architraves and shutters to be repaired $\langle wxx.xx \rangle$ Existing structure demolished Window code locally where required and redecorated. New mechanical, electrical and plumbing services \(\begin{aligned} DXX.XX \end{aligned} Existing fitting removed Door code installed throughout. New skirtings and cornices throughout (DXX.XX) New structure Fireplace code Water Mist system installed throughout for fire safety Local repairs undertaken to roof and flashings. DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE. ALL OMISSIONS AND DISCREPANCIES TO BE REPORTED Vaulted ceiling outrigger. Facing brick to match existing. TO THE ARCHITECT IMMEDIATELY. THIS DRAWING IS TO BE READ IN

Drawing Location Key	
	Drawing Location Key

DRAWING TITLE					
Proposed General Arrangement East & West Elevation	Quinn Architects				
Jockey's Fields	Rochelle School Arnold Circus London E2 7ES				

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