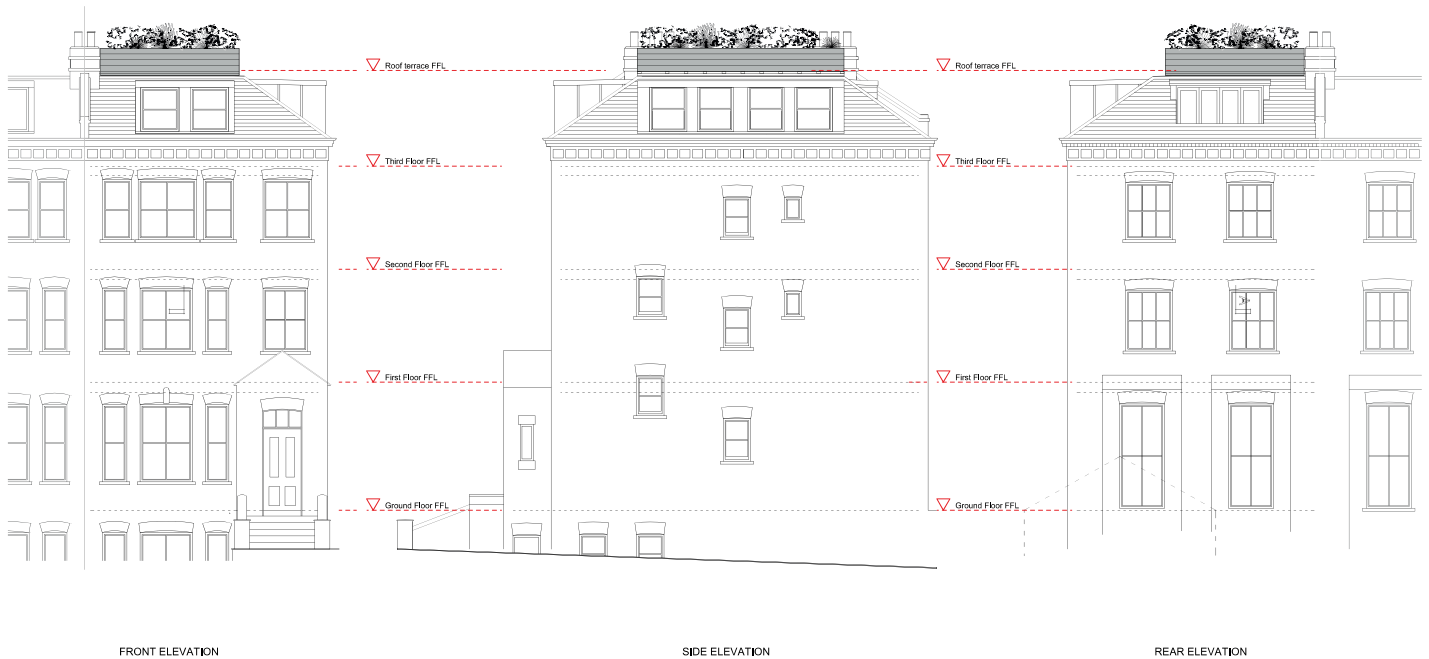


Planning Portal ref. PP-12807466
60 Parkhill Road, London, NW3 2YT

Supporting Documents and Images

- p1 Front page - elevations
- p2 Google Earth Pro aerial images - 01/01/2006 & 05/03/2008
- p3 Google Earth Pro aerial images - 19/07/2013 & 2024
- p4 Sales history - Greene&Co property brochure from 2009



FRONT ELEVATION

SIDE ELEVATION

REAR ELEVATION

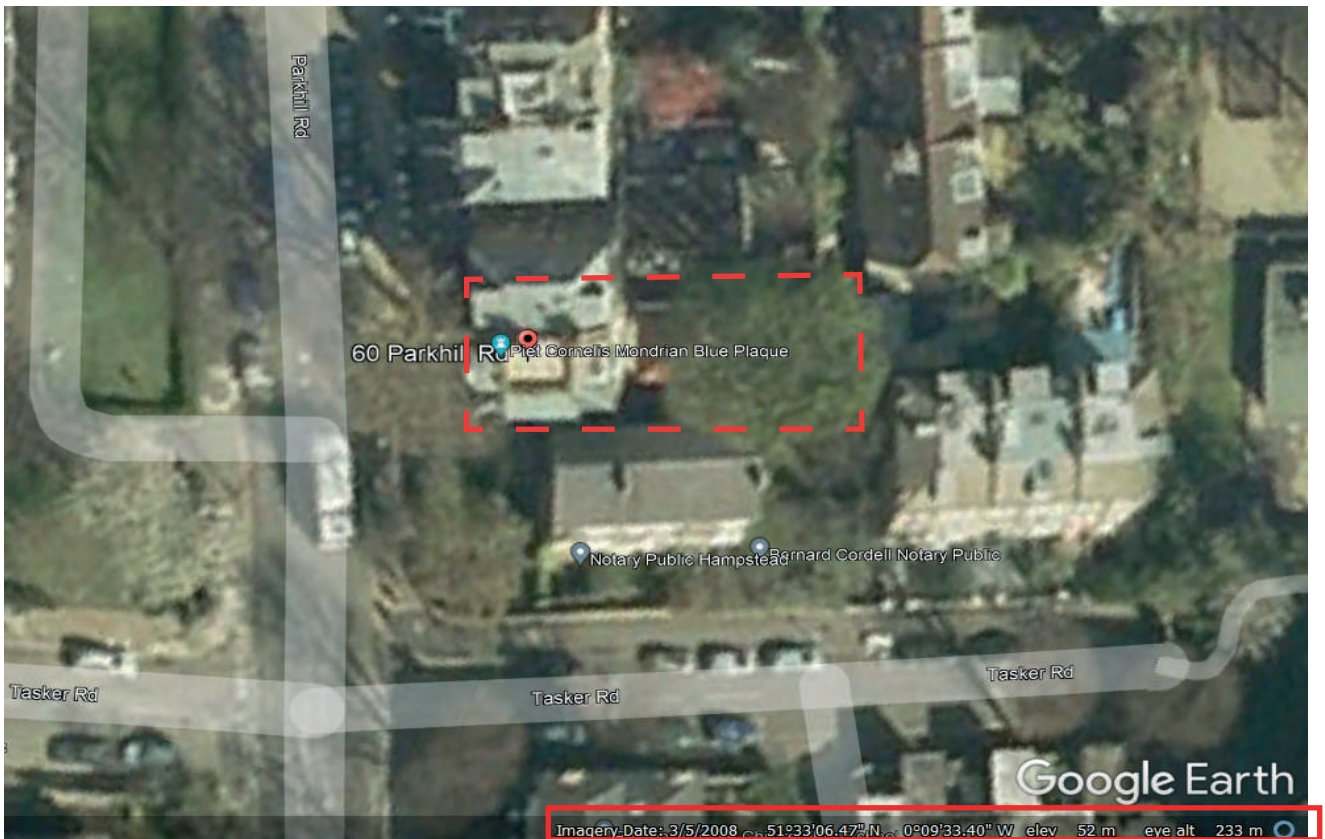
Google Earth Pro aerial images

60 Parkhill Road, London, NW3 2YT

- 01/01/2006 without roof terrace
- 05/03/2008 with roof terrace



01/01/2006 without roof terrace

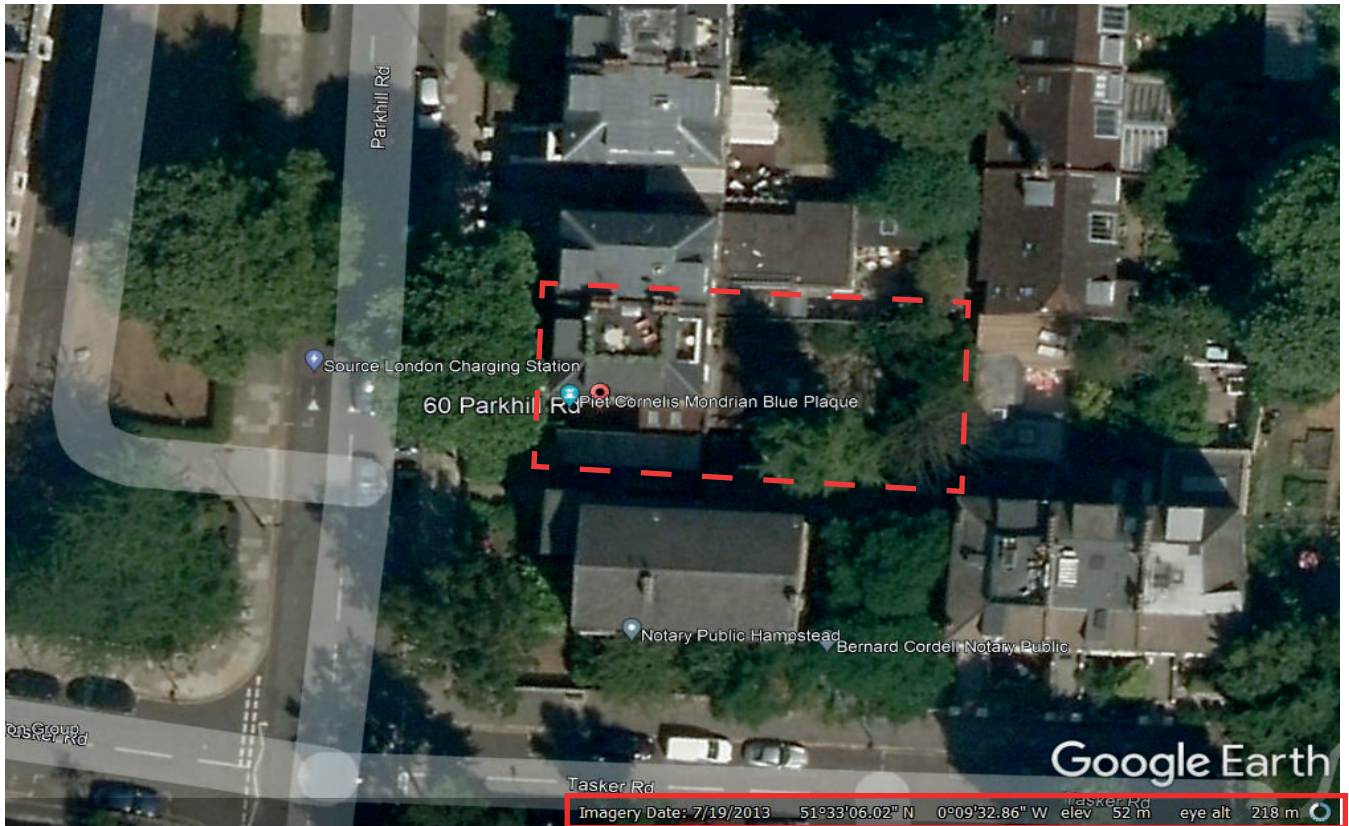


05/03/2008 with roof terrace

Google Earth Pro aerial images

60 Parkhill Road, London, NW3 2YT

- 19/07/2013 with roof terrace
- 13/02/2024 with roof terrace



19/07/2013 with roof terrace



2024 with roof terrace

Sales history

- property brochure from greene & co, 2009 - with inclusion of the roof terrace in floor plans and property description.

greene.co.uk
 Residential sales, Lettings, Property management
 Commercial, Financial services
 161 Haverstock Hill, Belsize Park, NW3 4QT
 0207 483 2551



greene & co

PARKHILL ROAD, NW3 **£9,950**

FEATURES

- Parking permit
- Fitted wardrobes
- Viewing highly recommended
- Gas fired central heating
- Excellent Condition
- Converted flat

This apartment has been refurbished throughout and has wood flooring with a large reception room and open plan kitchen. The property benefits from a roof terrace and all bedrooms have fitted wardrobes, and two bathrooms (one ensuite). Parkhill Road is situated only moments from the amenities of Pond Street and within easy reach of the shops, bars and restaurants of South End Road. Parkhill Road is close to the extensive facilities of Haverstock Hill, while the wide-open spaces of Hampstead Heath are also close by. The nearest Underground Tube Station is Belsize Park which is on the Northern Line.

ACCOMMODATION COMPRISES OF

Entrance hall
Wood flooring, entry phone.

Reception 1
25'3 x 20'5
Wood flooring, radiator, windows, spot lights, double doors to an unofficial roof terrace.

Kitchen
Open Plan
open plan, range of wall and base units with work surfaces, stainless steel sink unit, oven and hob, extractor hood, spot lights, integrated dish washer and washing machine, built-in fridge freezer, wood flooring.

Bedroom 1
13'10 x 13'1
Built-in wardrobes, wood floor, windows, radiator.

Bedroom 2
11'7 x 9'6
Built-in wardrobes, wood floor, windows, radiator.

Bedroom 3
11'1 x 8'7
Built-in wardrobes, wood floor, windows, radiator.

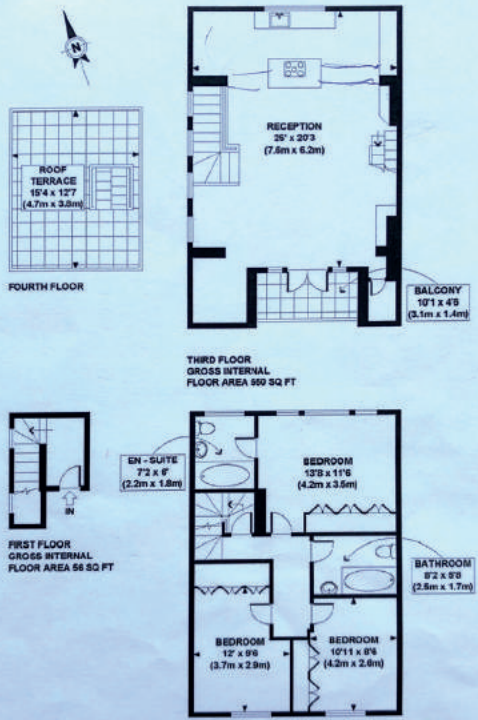
Bathroom 1
Panelled bath with shower attachment, pedestal wash hand basin, low level WC, tiled floors, fully tiled walls, window, heated towel rail, spot lights, and tiled floor.

Bathroom 2
Panelled bath with shower attachment, pedestal wash hand basin, low level WC, tiled floors, fully tiled walls, window, heated towel rail, spot lights, and tiled floor.

THE TERMS
Tenure: Share of freehold







FOURTH FLOOR
ROOF TERRACE 15'4 x 12'7 (4.7m x 3.8m)
BALCONY 10'1 x 4'8 (3.1m x 1.4m)


THIRD FLOOR
GROSS INTERNAL FLOOR AREA 300 SQ FT
RECEPTION 25' x 20'3 (7.6m x 6.2m)

SECOND FLOOR
GROSS INTERNAL FLOOR AREA 576 SQ FT
BEDROOM 13'8 x 11'8 (4.2m x 3.5m)
BEDROOM 12'11 x 9'8 (4.2m x 2.9m)
BEDROOM 12' x 9'8 (3.7m x 2.9m)
BATHROOM 8'2 x 9'8 (2.5m x 2.9m)

FIRST FLOOR
GROSS INTERNAL FLOOR AREA 56 SQ FT
EN-SUITE 7'2 x 6' (2.2m x 1.8m)
BEDROOM 12'11 x 9'8 (4.2m x 2.9m)

APPROX. GROSS INTERNAL FLOOR AREA 1181 SQ FT / 110 SQ M
SMBP - 016000 Copyright pho@pohl.co.uk
Floorplans are for identification and guideline purposes only, not to scale. Compliant with RICS code of measuring practice.

PARKHILL ROAD, NW3 **£699,950**



For more details on this property or to arrange a viewing, please contact our Belsize Park office.

Part of the Greene Corporation

greene.co.uk
West Hampstead, NW6
020 7328 3232
Belsize Park, NW3
020 7483 8551
Maida Vale, NW9
020 7286 8787
Crutch End, NR
020 8348 7666

greene.co.uk investments
West Hampstead, NW6
020 7328 9608

greene.co.uk financial services
West Hampstead, NW6
020 7328 3280

urban spaces
Chiswick, EC1M
020 7551 4000

Full details found at greene.co.uk

ENERGY PERFORMANCE RATING

Energy Efficiency Rating			Environmental (CO ₂) Impact Rating		
Current	Potential	Score	Current	Potential	Score
2	3	72	3	4	11

England & Wales EU Directive 2002/91/EC

greene & co

A message from the big cheese
Criticism, comments, suggestions, praise? Call me, David Pollock, Managing Director on my private line: 020 7604 2525

Legal stuff
Our solicitors say we must clearly outline that these details are only to give you a rough idea of the above property. We say buyers and renters know this anyway, however so there is no confusion we have tried to get this information as accurate as possible. Before making an offer, buying or renting this property please seek independent advice.

Greene stuff
Greene&Co care for the environment and are conscious of the effects large paper use has on it. This brochure is printed on environmentally friendly paper and is 100% recyclable. If you would like more information about recycling go to www.recycle-more.co.uk



Existing photos



Existing photos

- photos taken from corner of Tasker Rd and Parkhill Rd

