

Disclaimer and Notes
 Do not scale this drawing. All dimensions should be checked on site. Any discrepancy found between this drawing, site and/or other documents should be referred immediately to Messrs and Ties. All drawings should be read in conjunction with all other contract documents and specifications and all other consultants drawings.
 Copying or reproduction of this drawing without the written permission of Messrs and Ties is not permitted. Copyright is reserved.
 The PDF hard copy accompanying the CAD data is legal transmission of information. The electronic copies are issued only for convenience of use and record of original file. No liability for the accuracy or for any consequence resulting from the use, additions or alteration of information is accepted by Messrs and Ties.
 Title plan at 1:2500 and North point is up.



22 UPPER WOBURN PLACE - PROPOSED LEGEND

- EXISTING WALLS TO RETAIN
- EXISTING STRUCTURE OR LIGHTWEIGHT WALLS, NON ORIGINAL CEILING, FINISHES, TO BE REMOVED
- COMMERCIAL UNIT AREA
- NEW WALLS NOT PART OF THIS PLANNING APPLICATION
- CIRCULATION AREA NOT PART OF THIS PLANNING APPLICATION
- NEW WC'S / BATHROOM AREAS NOT PART OF THIS PLANNING APPLICATION
- ZONE FOR TENANT AC UNITS. NOT PART OF THIS PLANNING APPLICATION

PROPOSED - Gross Internal Areas

LEVEL	sq.m	sq.ft
Basement	438.1	4716
Ground	326.1	3510
TOTAL	764	8226

Rev Iss.	Description	Date
P5	DF Planning Issue	22.11.2023
P4	DF Planning Issue	17.10.2023
P3	DF Revised Issue 3	24.07.2023
P2	DF Revised Issue 2	11.07.2023
P1	DF Initial Issue	27.06.2023

Lower Ground level proposed

PROJECT NAME
Feasibility

ADDRESS
22 Upper Woburn Place
London WC1H 0HW

CLIENT
Moreland Newman (UK) Ltd

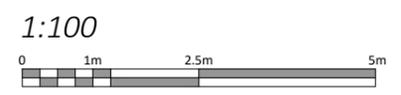
DRAWN BY DF **CHECKED BY** DF

JOB NO. 25795
Queen's House / 55-56 Lincoln's Inn Fields / LONDON WC2A 3JZ / 020 7895 7300 / www.fandt.com

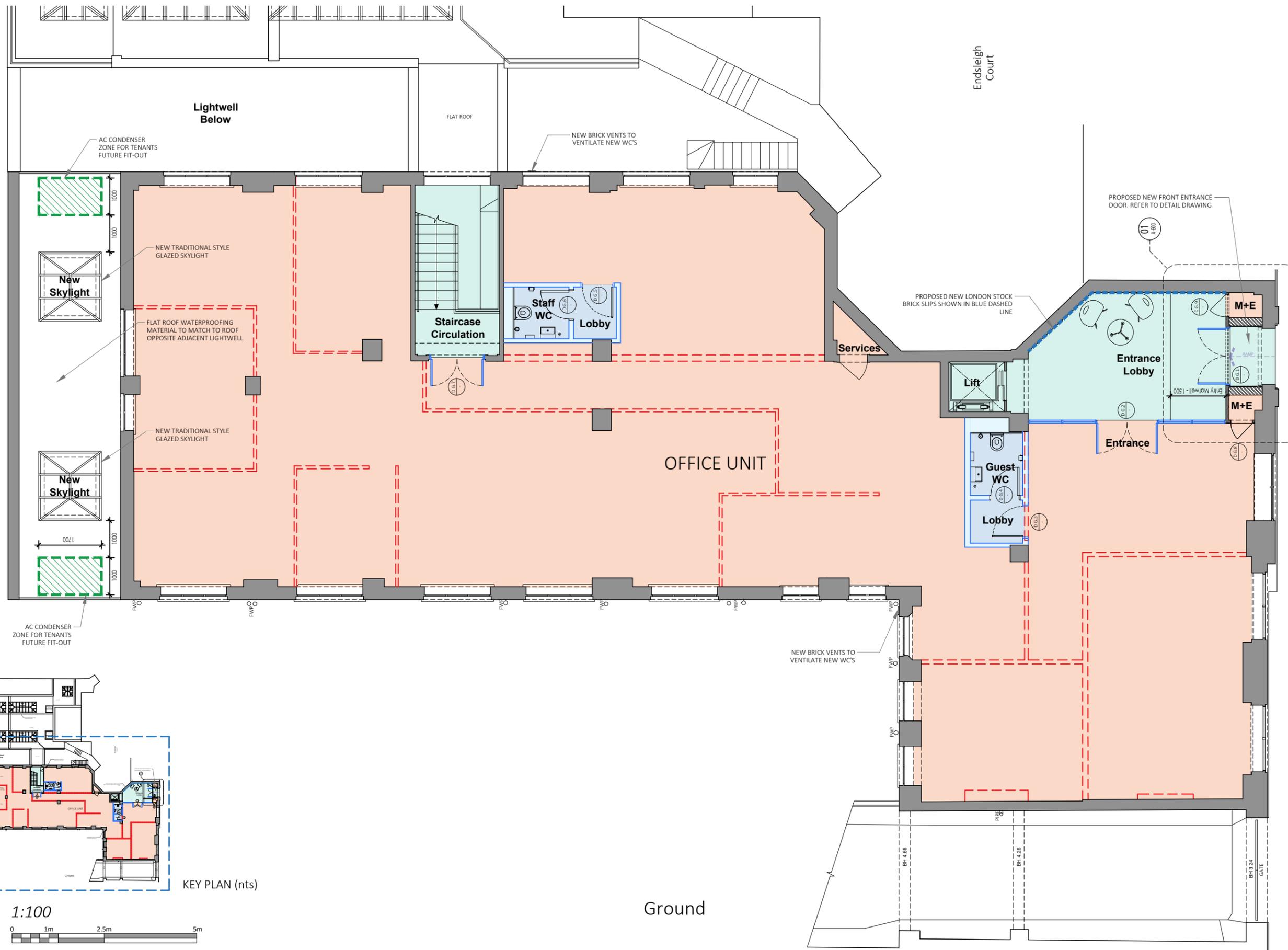
SCALE
1:100@A3

DATE
July 23

DRAWING NO.
A-200-P5



Disclaimer and Notes
 Do not scale this drawing. All dimensions should be checked on site. Any discrepancy found between this drawing, site and any other documents should be referred immediately to Messrs and Ties. All drawings should be read in conjunction with all other contract documents and specifications and all other consultants drawings.
 Copying or reproduction of this drawing without the written permission of Messrs and Ties is not permitted. Copyright is reserved.
 The PDF hard copy accompanying the CAD data is legal transmission of information. The electronic copies are issued only for convenience of use and record of original file. No liability for the accuracy or for any consequence resulting from the use, additions or alteration of information is accepted by Messrs and Ties.
 Title plan at 1:2500 and North point is up.



22 UPPER WOBURN PLACE - PROPOSED LEGEND

- EXISTING WALLS TO RETAIN
- EXISTING STRUCTURE OR LIGHTWEIGHT WALLS, NON ORIGINAL CEILING, FINISHES, TO BE REMOVED
- COMMERCIAL UNIT AREA
- NEW WALLS NOT PART OF THIS PLANNING APPLICATION
- CIRCULATION AREA NOT PART OF THIS PLANNING APPLICATION
- NEW WC'S / BATHROOM AREAS NOT PART OF THIS PLANNING APPLICATION
- ZONE FOR TENANT AC UNITS. NOT PART OF THIS PLANNING APPLICATION

PROPOSED - Gross Internal Areas

LEVEL	sq.m	sq.ft
Basement	438.1	4716
Ground	326.1	3510
TOTAL	764	8226

Rev. Iss.	Description	Date	
P6	DF	Planning Issue	22.11.2023
P5	DF	Planning Issue	17.10.2023
P4	DF	Revised Issue 4	24.07.2023
P3	DF	Revised Issue 3	18.07.2023
P2	DF	Revised Issue 2	11.07.2023
P1	DF	Initial Issue	27.06.2023

Ground Floor level proposed

PROJECT NAME
Feasibility

ADDRESS
22 Upper Woburn Place
London WC1H 0HW

CLIENT
Moreland Newman (UK) Ltd

DRAWN BY
DF

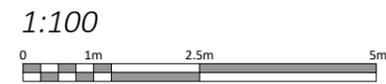
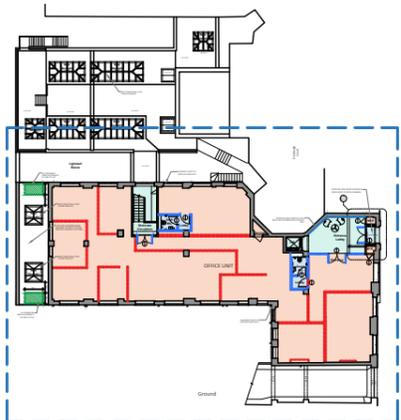
CHECKED BY
DF

JOB NO.
25795

SCALE
1:100@A3

DATE
July 23

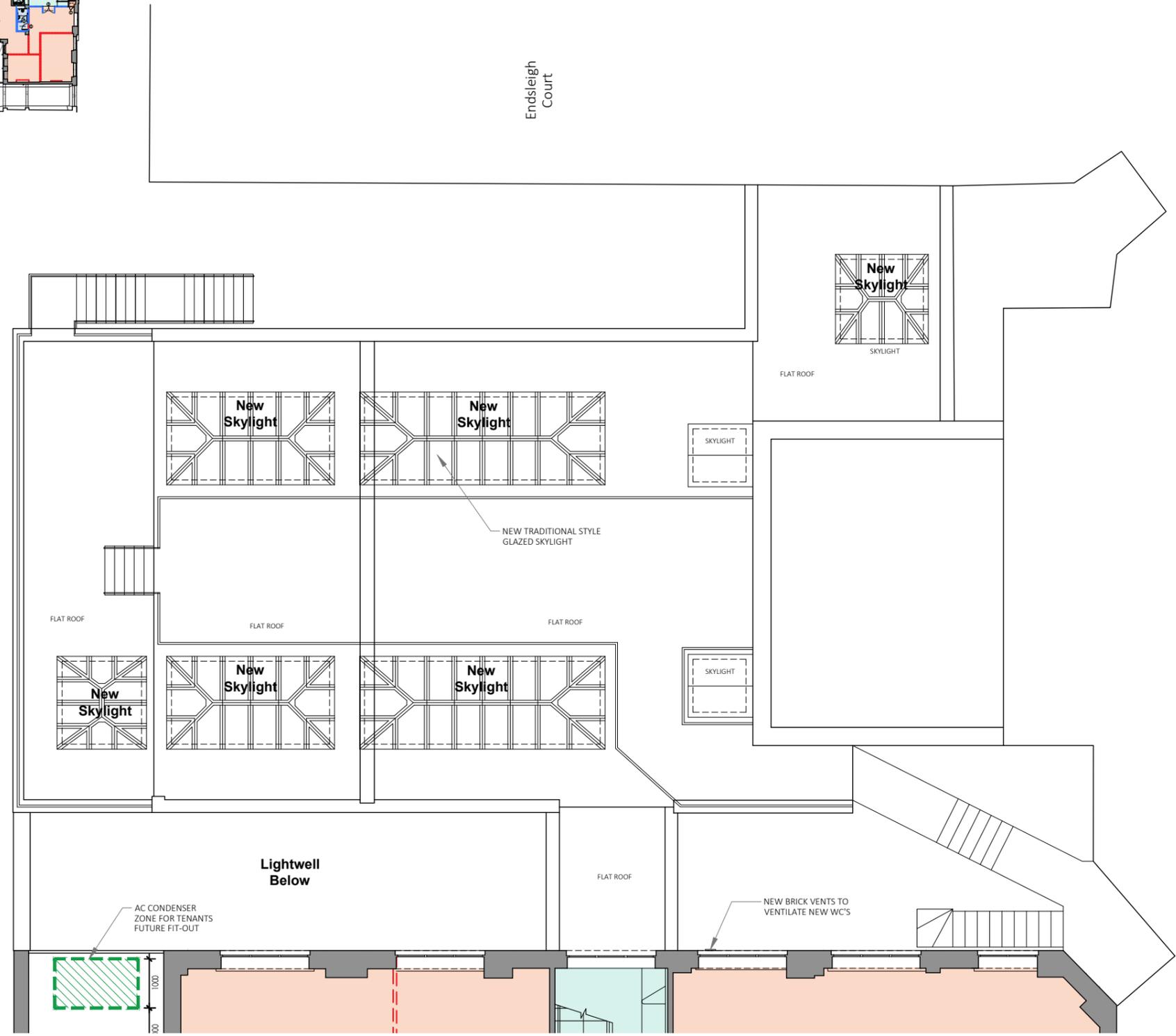
DRAWING NO.
A-201-P6



Ground



KEY PLAN (nts)



Disclaimer and notes
Do not scale this drawing. All dimensions should be checked on site. Any discrepancy found between this drawing, site and/or other documents should be referred immediately to Messrs and Ties. All drawings should be read in conjunction with all other contract documents and specifications and all other consultants drawings.
Copying or reproduction of this drawing without the written permission of Messrs and Ties is not permitted. Copyright is reserved.
The PDF hard copy accompanying the CAD data is legal transmission of information. The electronic copies are issued only for convenience of use and record of original file. No liability for the accuracy or for any consequence resulting from the use, additions or alteration of information is accepted by Messrs and Ties.
Title plan at 1:2500 and North point is up.



22 UPPER WOBURN PLACE - PROPOSED LEGEND

- EXISTING WALLS TO RETAIN
- EXISTING STRUCTURE OR LIGHTWEIGHT WALLS, NON ORIGINAL CEILINGS, FINISHES, TO BE REMOVED
- COMMERCIAL UNIT AREA
- NEW WALLS NOT PART OF THIS PLANNING APPLICATION
- CIRCULATION AREA NOT PART OF THIS PLANNING APPLICATION
- NEW WC'S / BATHROOM AREAS NOT PART OF THIS PLANNING APPLICATION
- ZONE FOR TENANT AC UNITS. NOT PART OF THIS PLANNING APPLICATION

Rev Iss.	Description	Date
P1	DF	Planning Issue
		21.11.2023

DRAWING TITLE
Roof Plan as proposed

PROJECT NAME
Feasibility

ADDRESS
22 Upper Woburn Place
London WC1H 0HW

CLIENT
Moreland Newman (UK) Ltd

DRAWN BY
DF

CHECKED BY
DF

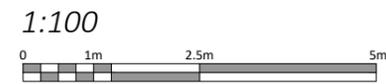
JOB NO.
25795

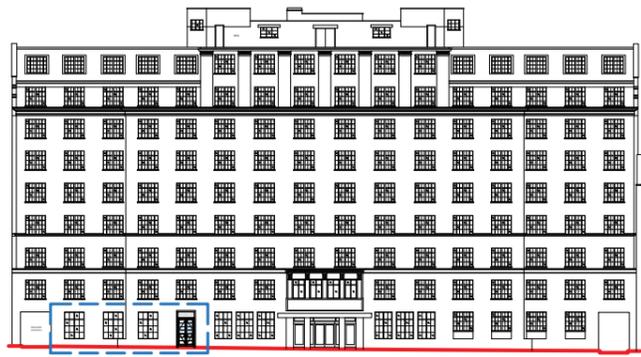
Queen's House / 55-56 Lincoln's Inn Fields / LONDON WC2A 3JZ
020 7895 7300 / www.ftand.com

SCALE
1:100@A3

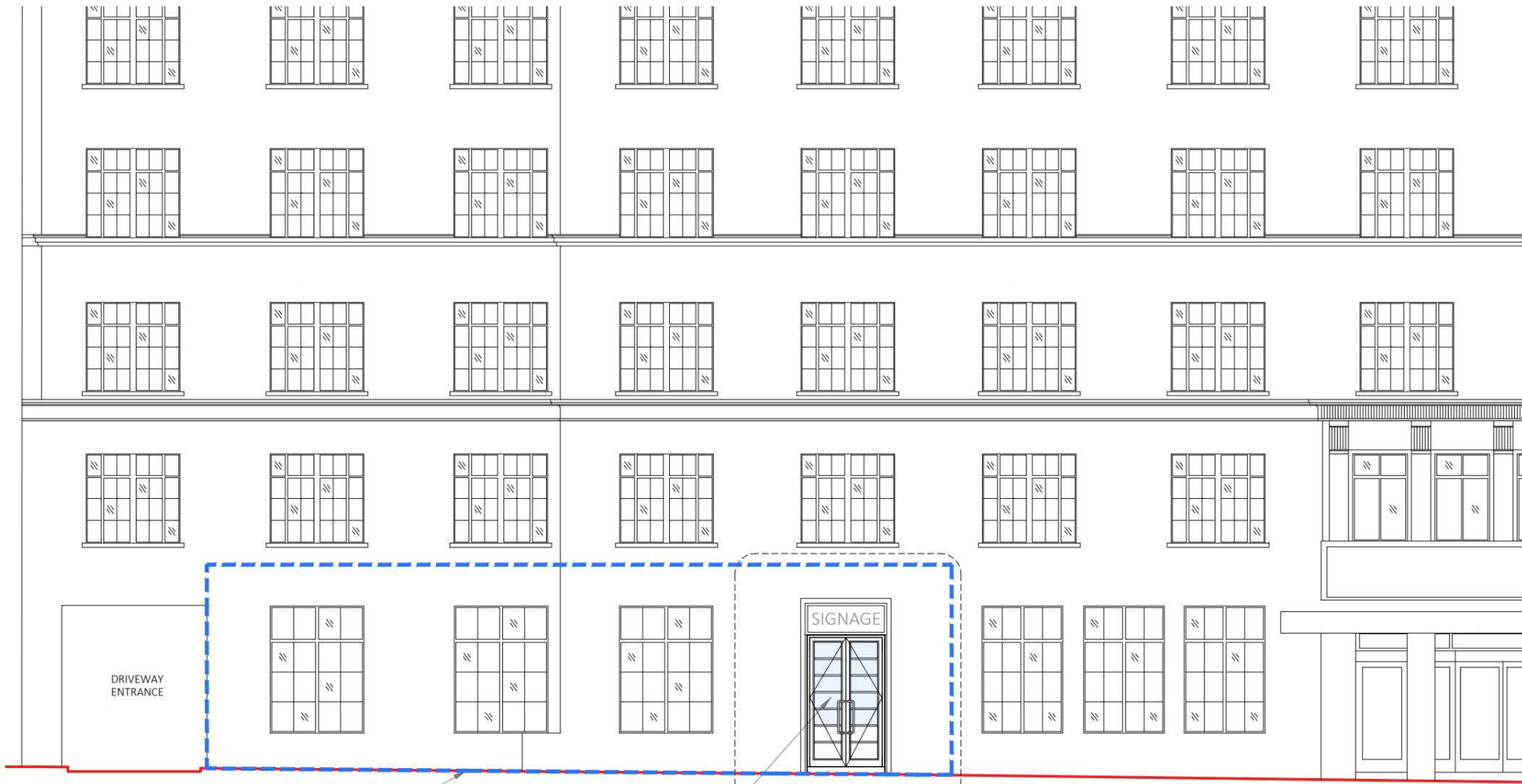
DATE
July 23

DRAWING NO.
A-202-P1





KEY ELEVATION (nts)



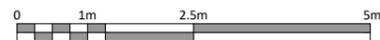
AREA OF DEMISE SHOWN IN BLUE DASHED LINE

PROPOSED NEW FRONT ENTRANCE DOOR. REFER TO DETAIL DRAWING

01
A-600

Street Elevation

1:100



Disclaimer and notes
Do not scale this drawing. All dimensions should be checked on site. Any discrepancy found between this drawing, site and any other documents should be referred immediately to Fresson and Tee. All drawings should be read in conjunction with all other contract documents and specifications and all other consultants drawings.

Copying or reproduction of this drawing without the written permission of Fresson and Tee is not permitted. Copyright is reserved.

The PDF hard copy accompanying the CAD data is legal transmission of information. The electronic copies are issued only for convenience of use and record of original file. No liability for the accuracy or for any consequence resulting from the use, additions or alteration of information is accepted by Fresson and Tee.

Title plan at 1:2500 and North point is up



Rev	Iss.	Description	Date
P1	DF	Planning Issue	21.11.2023

DRAWING TITLE
Front elevation Proposed

PROJECT NAME
Feasibility

ADDRESS
22 Upper Woburn Place
London WC1H 0HW

CLIENT
Moreland Newman (UK) Ltd

DRAWN BY: DF
CHECKED BY: DF

JOB NO. 25795
Queen's House / 55-56 Lincoln's Inn Fields / LONDON WC2A 3JZ
020 7895 7300 / www.fandt.com

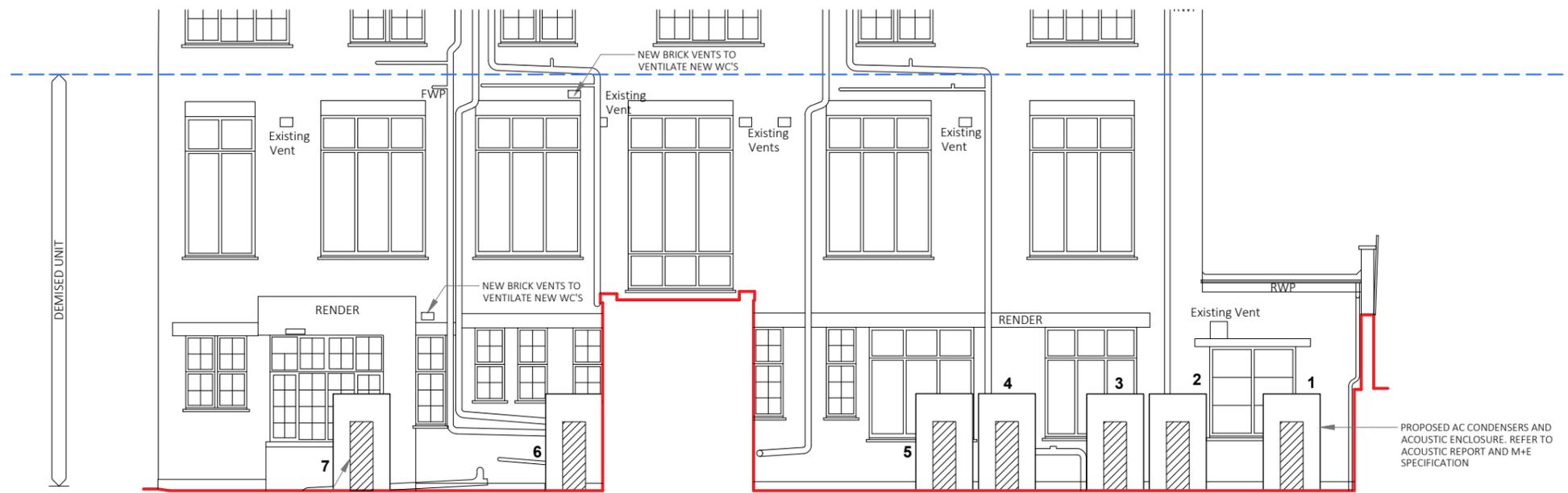
SCALE
1:100@A3

DATE
June 23

DRAWING NO.
A-400-P1



Disclaimer and notes
 Do not scale this drawing. All dimensions should be checked on site. Any discrepancy found between this drawing, site and any other documents should be referred immediately to Fresson and Tee. All drawings should be read in conjunction with all other contract documents and specifications and all other consultants drawings.
 Copying or reproduction of this drawing without the written permission of Fresson and Tee is not permitted. Copyright is reserved.
 The PDF hard copy accompanying the CAD data is legal transmission of information. The electronic copies are issued only for convenience of use and record of original file. No liability for the accuracy or for any consequence resulting from the use, additions or alteration of information is accepted by Fresson and Tee.
 Title plan at 1:2500 and North point is up.



PROPOSED AC CONDENSERS AND ACOUSTIC ENCLOSURE. REFER TO ACOUSTIC REPORT AND M+E SPECIFICATION

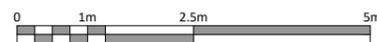
Central lightwell Elevation 1



PROPOSED NEW SIDE ENTRANCE DOOR. REFER TO DETAIL DRAWING

Rear Flank Elevation

1:100



Rev Iss.	Description	Date
P3 DF	Planning Issue	21.11.2023
P2 DF	Revised Issue 2	11.07.2023
P1 DF	Initial Issue	27.06.2023

DRAWING TITLE
Rear and lightwell elevations Proposed

PROJECT NAME
 Feasibility

ADDRESS
 22 Upper Woburn Place
 London WC1H 0HW

CLIENT
 Moreland Newman (UK) Ltd

DRAWN BY
 DF

CHECKED BY
 DF

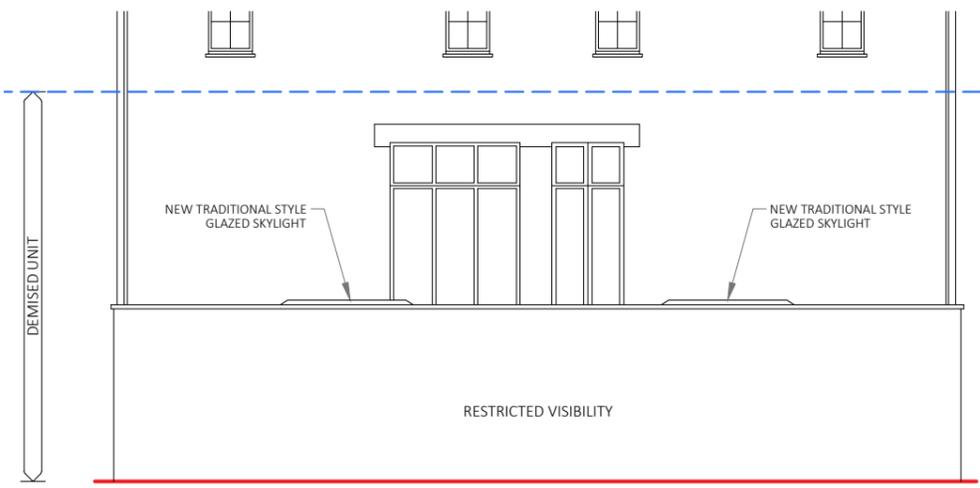
JOB NO.
 25795

SCALE
 1:100@A3

DATE
 June 23

DRAWING NO.
 A-401-P3

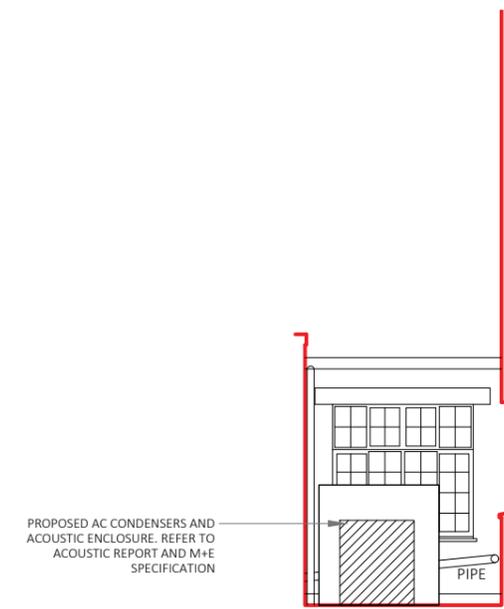




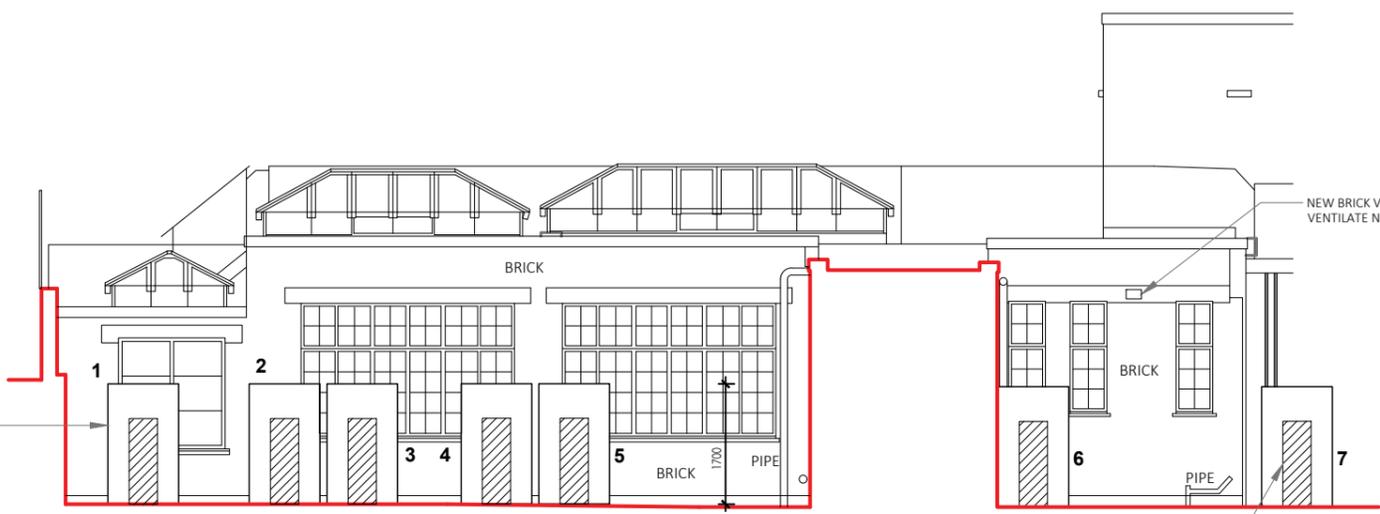
Rear Side Elevation



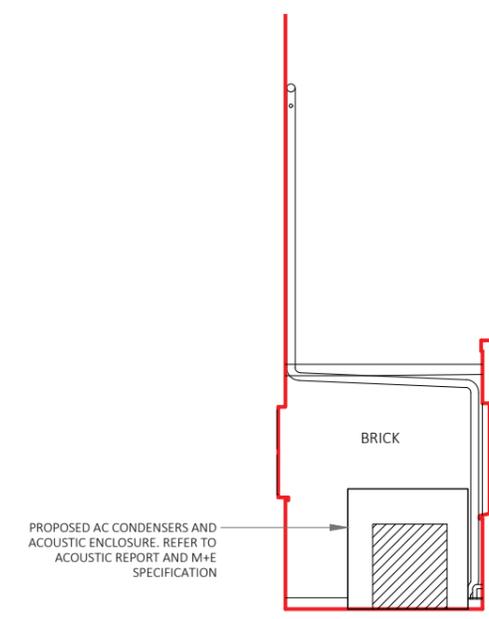
Rear side lightwell Elevation



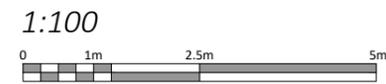
Rear lightwell Side Elevation 1



Central lightwell Elevation 2



Rear lightwell Side Elevation 2



Disclaimer and notes
 Do not scale this drawing. All dimensions should be checked on site. Any discrepancy found between this drawing, site and any other documents should be referred immediately to Fresson and Tee. All drawings should be read in conjunction with all other contract documents and specifications and all other consultants drawings.
 Copying or reproduction of this drawing without the written permission of Fresson and Tee is not permitted. Copyright is reserved.
 The PDF hard copy accompanying the CAD data is legal transmission of information. The electronic copies are issued only for convenience of use and record of original file. No liability for the accuracy or for any consequence resulting from the use, additions or alteration of information is accepted by Fresson and Tee.
 Title plan at 1:2500 and North point is up.



Rev Iss.	Description	Date
P3 DF	Planning Issue	21.11.2023
P2 DF	Revised Issue 2	11.07.2023
P1 DF	Initial Issue	27.06.2023

DRAWING TITLE
Rear Lightwell elevations Proposed

PROJECT NAME
 Feasibility

ADDRESS
 22 Upper Woburn Place
 London WC1H 0HW

CLIENT
 Moreland Newman (UK) Ltd

DRAWN BY
 DF

CHECKED BY
 DF

JOB NO.
 25795

SCALE
 1:100@A3

DATE
 June 23

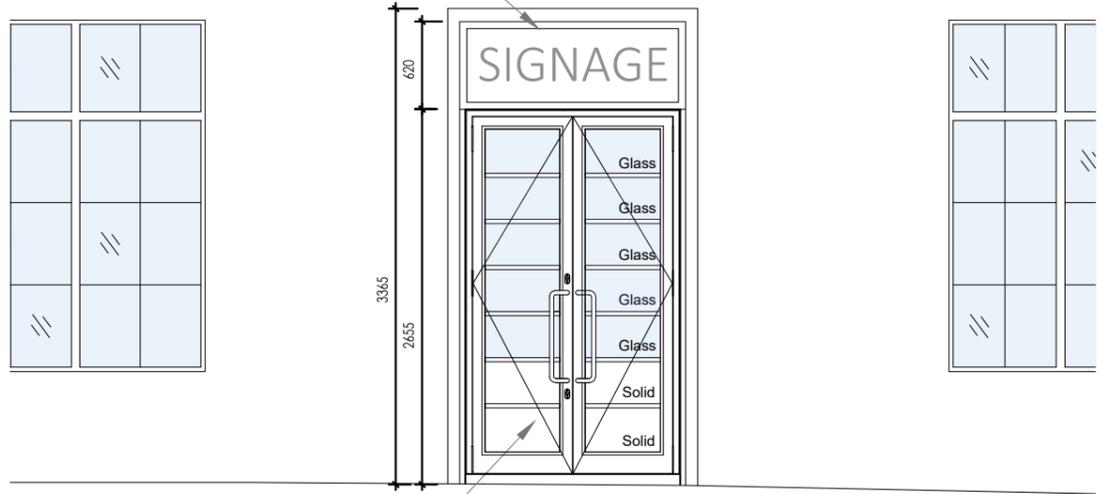
DRAWING NO.
 A-402-P3



Disclaimer and notes
 Do not scale this drawing. All dimensions should be checked on site. Any discrepancy found between this drawing, site and any other documents should be referred immediately to Fresson and Tee. All drawings should be read in conjunction with all other contract documents and specifications and all other consultants drawings.
 Copying or reproduction of this drawing without the written permission of Fresson and Tee is not permitted. Copyright is reserved.
 The PDF hard copy accompanying the CAD data is legal transmission of information. The electronic copies are issued only for convenience of use and record of original file. No liability for the accuracy or for any consequence resulting from the use, additions or alteration of information is accepted by Fresson and Tee.
 Title plan at 1:2500 and North point is up

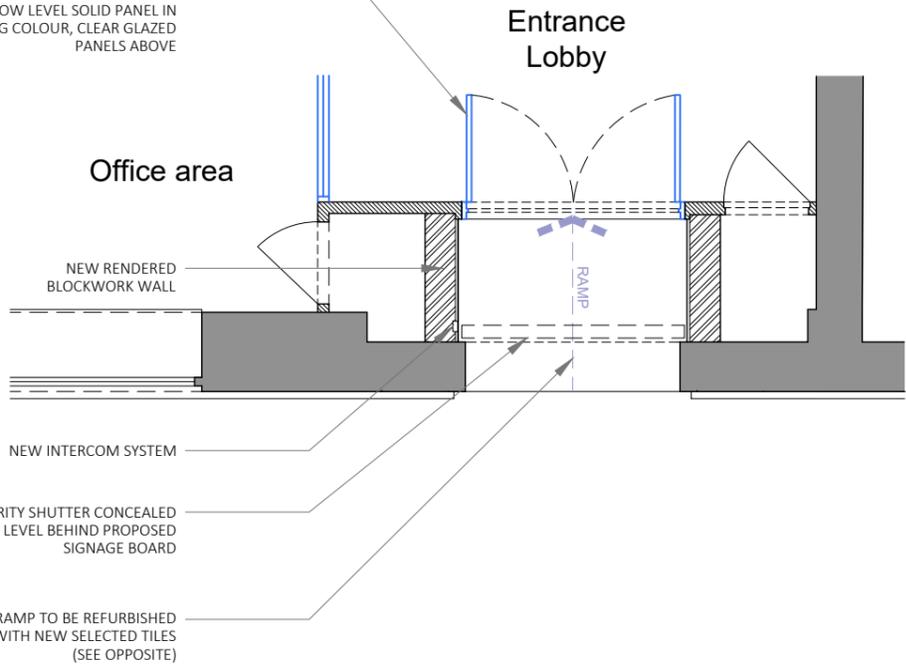


NEW EXTERNAL SIGNAGE AREA WITHIN EXISTING RECESS

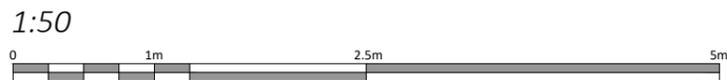


NEW EXTERNAL CRITTLER STYLE DOUBLE GLAZED DOORS WITH LOW LEVEL SOLID PANEL IN MATCHING COLOUR, CLEAR GLAZED PANELS ABOVE

NEW EXTERNAL CRITTLER STYLE GLAZED DOORS WITH LOW LEVEL SOLID PANEL IN MATCHING COLOUR, CLEAR GLAZED PANELS ABOVE



STREET ELEVATION



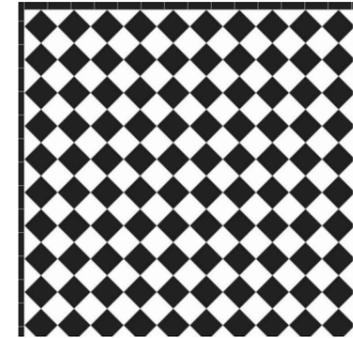
EXISTING FRONT ENTRANCE DOOR



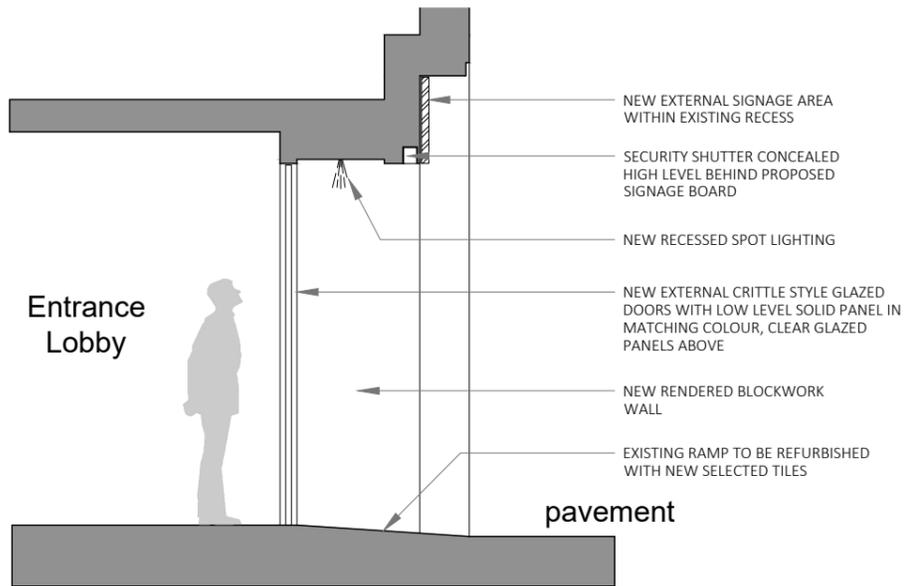
CRITTLER DOOR EXAMPLE



DOOR COLOUR: RAL 9004



OPTION FOR FRONT ENTRANCE RAMP TILES.



STREET SECTION

Rev	Iss.	Description	Date
P1	DF	Issue for Planning	21.11.2023

DRAWING TITLE
Front main entrance Door Proposed

PROJECT NAME
 Feasibility

ADDRESS
 22 Upper Woburn Place
 London WC1H 0HW

CLIENT
 Moreland Newman (UK) Ltd

DRAWN BY
 DF

CHECKED BY
 AK

JOB NO.
 25795

SCALE
 1:50@A3

DATE
 July 23

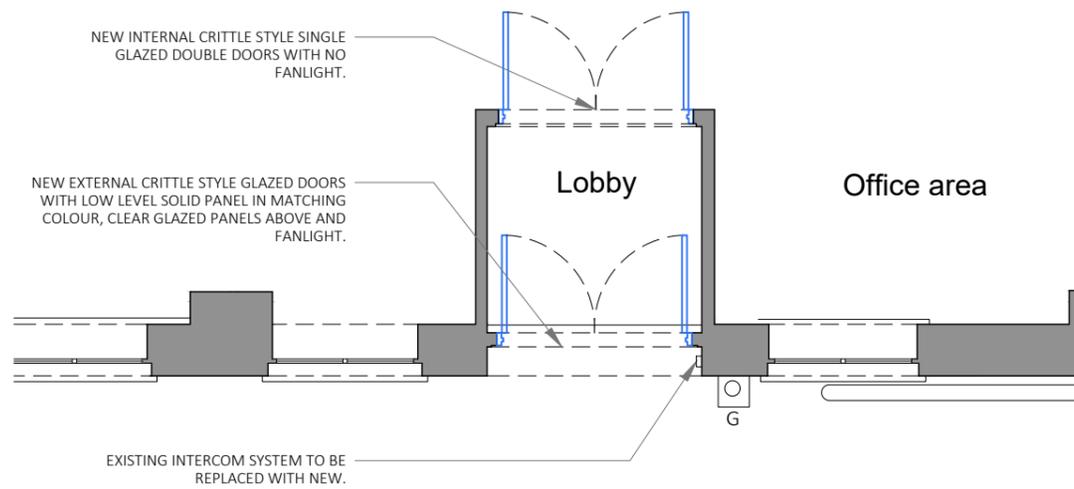
DRAWING NO.
 A-600-P1



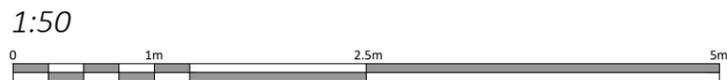


NEW EXTERNAL CRITTLÉ STYLE GLAZED DOORS WITH LOW LEVEL SOLID PANEL IN MATCHING COLOUR, CLEAR GLAZED PANELS ABOVE AND FANLIGHT.

SIDE ELEVATION



STREET ELEVATION



EXISTING SIDE ENTRANCE DOOR



CRITTLÉ DOOR EXAMPLE



DOOR COLOUR: RAL 9004

Disclaimer and notes
Do not scale this drawing. All dimensions should be checked on site. Any discrepancy found between this drawing, site and any other documents should be referred immediately to Fresson and Tee. All drawings should be read in conjunction with all other contract documents and specifications and all other consultants drawings.
Copying or reproduction of this drawing without the written permission of Fresson and Tee is not permitted. Copyright is reserved.
The PDF hard copy accompanying the CAD data is legal transmission of information. The electronic copies are issued only for convenience of use and record of original file. No liability for the accuracy or for any consequence resulting from the use, additions or alteration of information is accepted by Fresson and Tee.
Title plan at 1:2500 and North point is up



Rev	Iss.	Description	Date
P1	DF	Issue for Planning	21.11.2023

DRAWING TITLE
Side entrance Door Proposed

PROJECT NAME
Feasibility

ADDRESS
22 Upper Woburn Place
London WC1H 0HW

CLIENT
Moreland Newman (UK) Ltd

DRAWN BY
DF

CHECKED BY
AK

JOB NO.
25795

Queens House | 55-56 Lincoln's Inn Fields | LONDON WC2A 3JZ
020 7895 7300 | www.ftand.com

SCALE
1:50@A3

DATE
July 23

DRAWING NO.
A-601-P1

