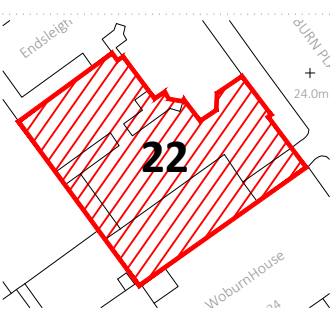


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Title plan at 1:2500 and North point is up



#### 22 UPPER WOBURN PLACE - PROPOSED LEGEND

- EXISTING WALLS TO RETAIN
- EXISTING STRUCTURE OR LIGHTWEIGHT WALLS, NON ORIGINAL CEILINGS, FINISHES, TO BE REMOVED
- COMMERCIAL UNIT AREA
- NEW WALLS NOT PART OF THIS PLANNING APPLICATION
- CIRCULATION AREA NOT PART OF THIS PLANNING APPLICATION
- NEW WC's / BATHROOM AREAS NOT PART OF THIS PLANNING APPLICATION
- ZONE FOR TENANT AC UNITS. NOT PART OF THIS PLANNING APPLICATION

#### PROPOSED - Gross Internal Areas

LEVEL	sq.m	sq.ft
Basement	438.1	4716
Ground	326.1	3510
TOTAL	764	8226

P5	DF	Planning Issue	22.11.2023
P4	DF	Planning Issue	17.10.2023
P3	DF	Revised Issue 3	24.07.2023
P2	DF	Revised Issue 2	11.07.2023
P1	DF	Initial Issue	27.06.2023

Rev	Iss.	Description	Date
-----	------	-------------	------

DRAWING TITLE

Lower Ground level proposed

PROJECT NAME

Feasibility

ADDRESS

22 Upper Woburn Place  
London WC1H 0HW

CLIENT

Moreland Newman (UK) Ltd

DRAWN BY

DF

CHECKED BY

DF

JOB NO.

25795

SCALE

1:100@A3

DATE

July 23

DRAWING NO.

A-200-P5

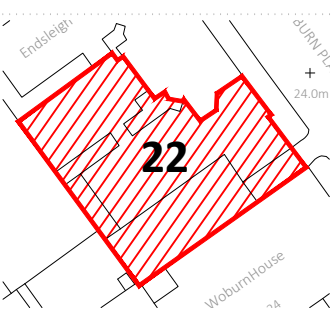


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Title plan at 1:2500 and North point is up



#### 22 UPPER WOBURN PLACE - PROPOSED LEGEND

- EXISTING WALLS TO RETAIN
- EXISTING STRUCTURE OR LIGHTWEIGHT WALLS, NON ORIGINAL CEILING, FINISHES, TO BE REMOVED
- COMMERCIAL UNIT AREA
- NEW WALLS NOT PART OF THIS PLANNING APPLICATION
- CIRCULATION AREA NOT PART OF THIS PLANNING APPLICATION
- NEW WC's / BATHROOM AREAS NOT PART OF THIS PLANNING APPLICATION
- ZONE FOR TENANT AC UNITS. NOT PART OF THIS PLANNING APPLICATION

#### PROPOSED - Gross Internal Areas

LEVEL	sq.m	sq.ft
Basement	438.1	4716
Ground	326.1	3510
TOTAL	764	8226

P6	DF	Planning Issue	22.11.2023
P5	DF	Planning Issue	17.10.2023
P4	DF	Revised Issue 4	24.07.2023
P3	DF	Revised Issue 3	18.07.2023
P2	DF	Revised Issue 2	11.07.2023
P1	DF	Initial Issue	27.06.2023

Rev. Iss.	Description	Date
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DRAWING TITLE

Ground Floor level proposed

PROJECT NAME

Feasibility

ADDRESS

22 Upper Woburn Place  
London WC1H 0HW

CLIENT

Moreland Newman (UK) Ltd

DRAWN BY

DF

CHECKED BY

DF

JOB NO.

25795

SCALE

1:100@A3

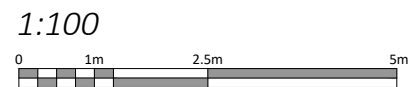
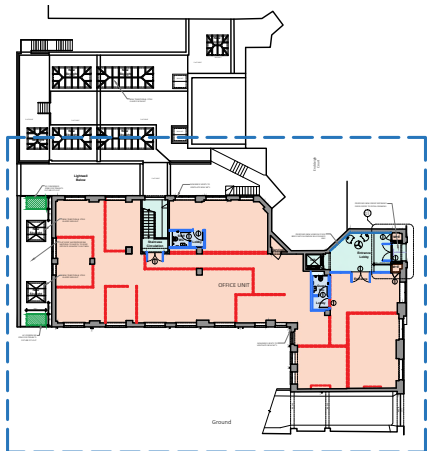
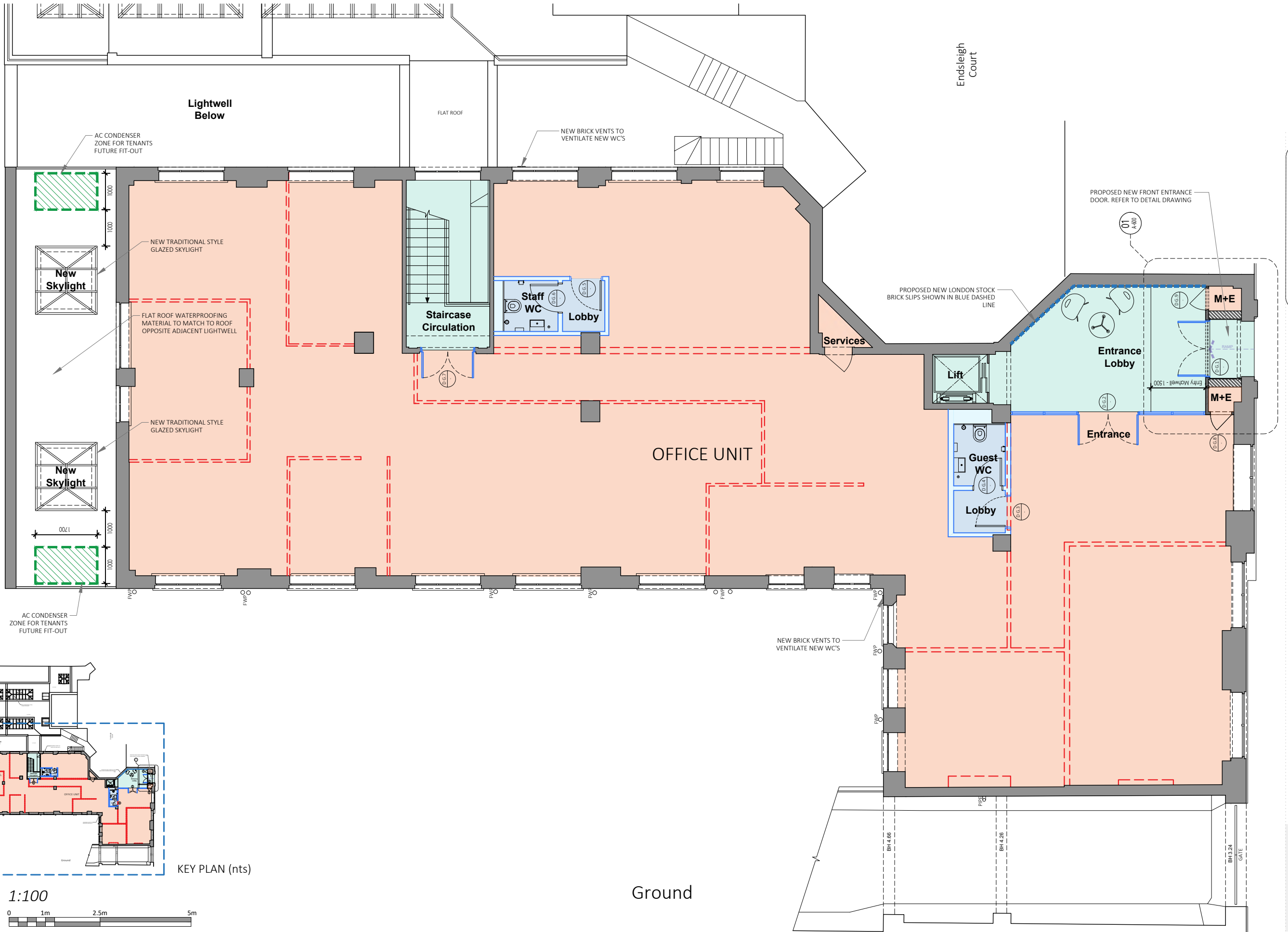
DATE

July 23

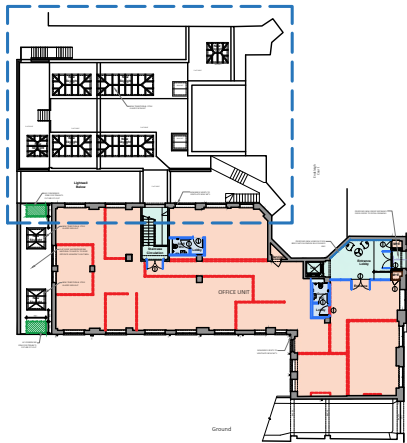
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A-201-P6

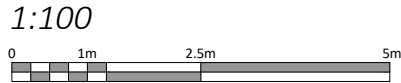
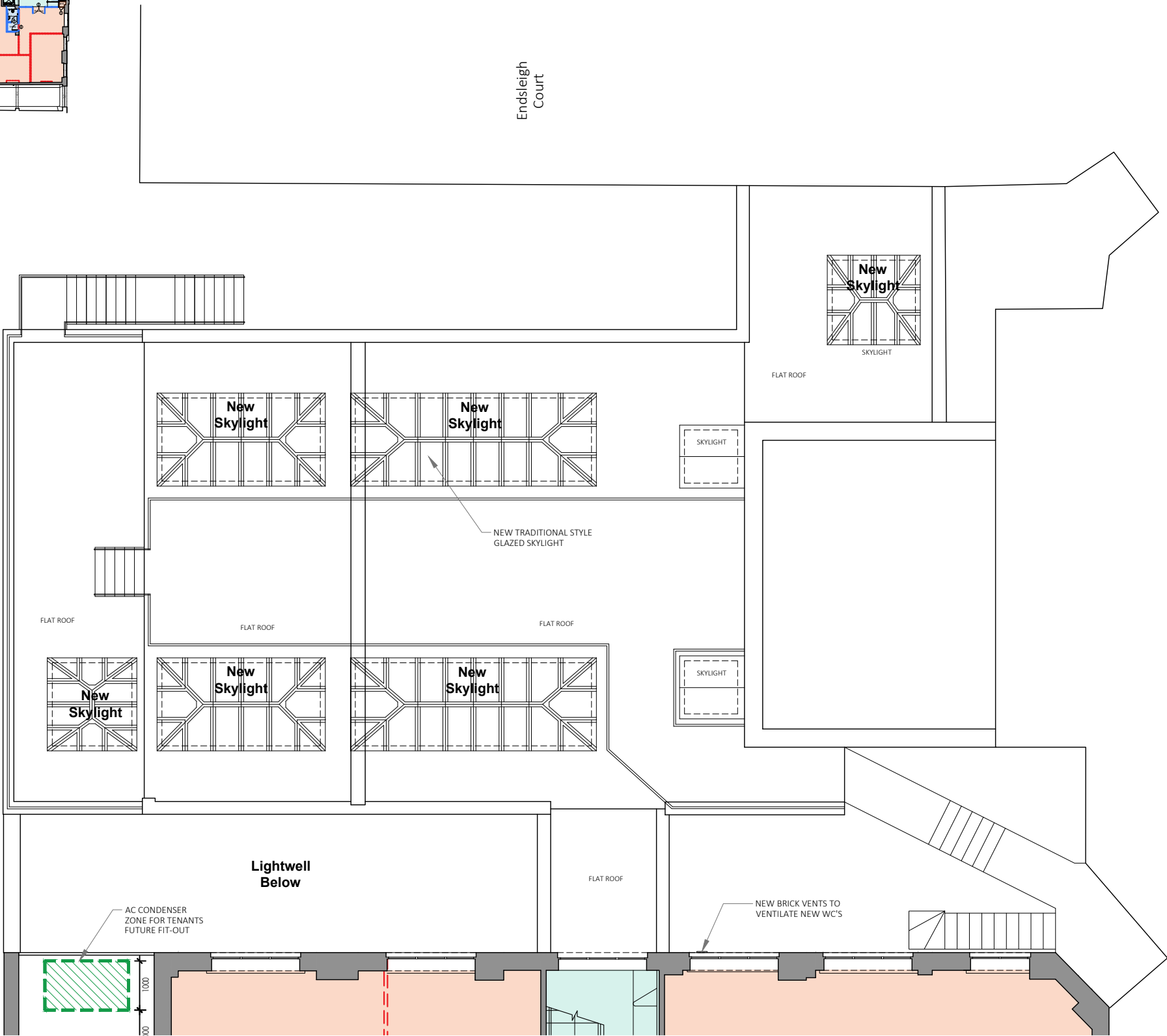
Queens House / 55-56 Lincoln's Inn Fields / LONDON WC2A 3JL  
020 7393 7300 / www.freesonandtee.com



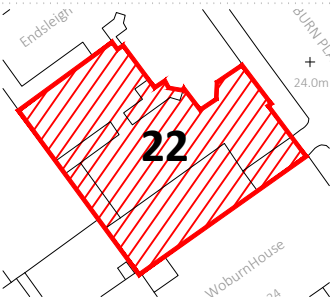
Ground



KEY PLAN (nts)



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Title plan at 1:2500 and North point is up



22 UPPER WOBURN PLACE - PROPOSED LEGEND

- EXISTING WALLS TO RETAIN
- EXISTING STRUCTURE OR LIGHTWEIGHT WALLS, NON ORIGINAL CEILINGS, FINISHES, TO BE REMOVED
- COMMERCIAL UNIT AREA
- NEW WALLS NOT PART OF THIS PLANNING APPLICATION
- CIRCULATION AREA NOT PART OF THIS PLANNING APPLICATION
- NEW WC's / BATHROOM AREAS NOT PART OF THIS PLANNING APPLICATION
- ZONE FOR TENANT AC UNITS. NOT PART OF THIS PLANNING APPLICATION

P1	DF	Planning Issue	21.11.2023
Rev	Iss.	Description	Date

DRAWING TITLE

Roof Plan as proposed

PROJECT NAME  
Feasibility

ADDRESS  
22 Upper Woburn Place  
London WC1H 0HW

CLIENT  
Moreland Newman (UK) Ltd

DRAWN BY  
DF

CHECKED BY  
DF

JOB NO.  
25795

Queens House / 55-56 Lincoln's Inn Fields / LONDON WC2A 3JL  
020 7393 7300 / www.ftand.com

SCALE  
1:100@A3

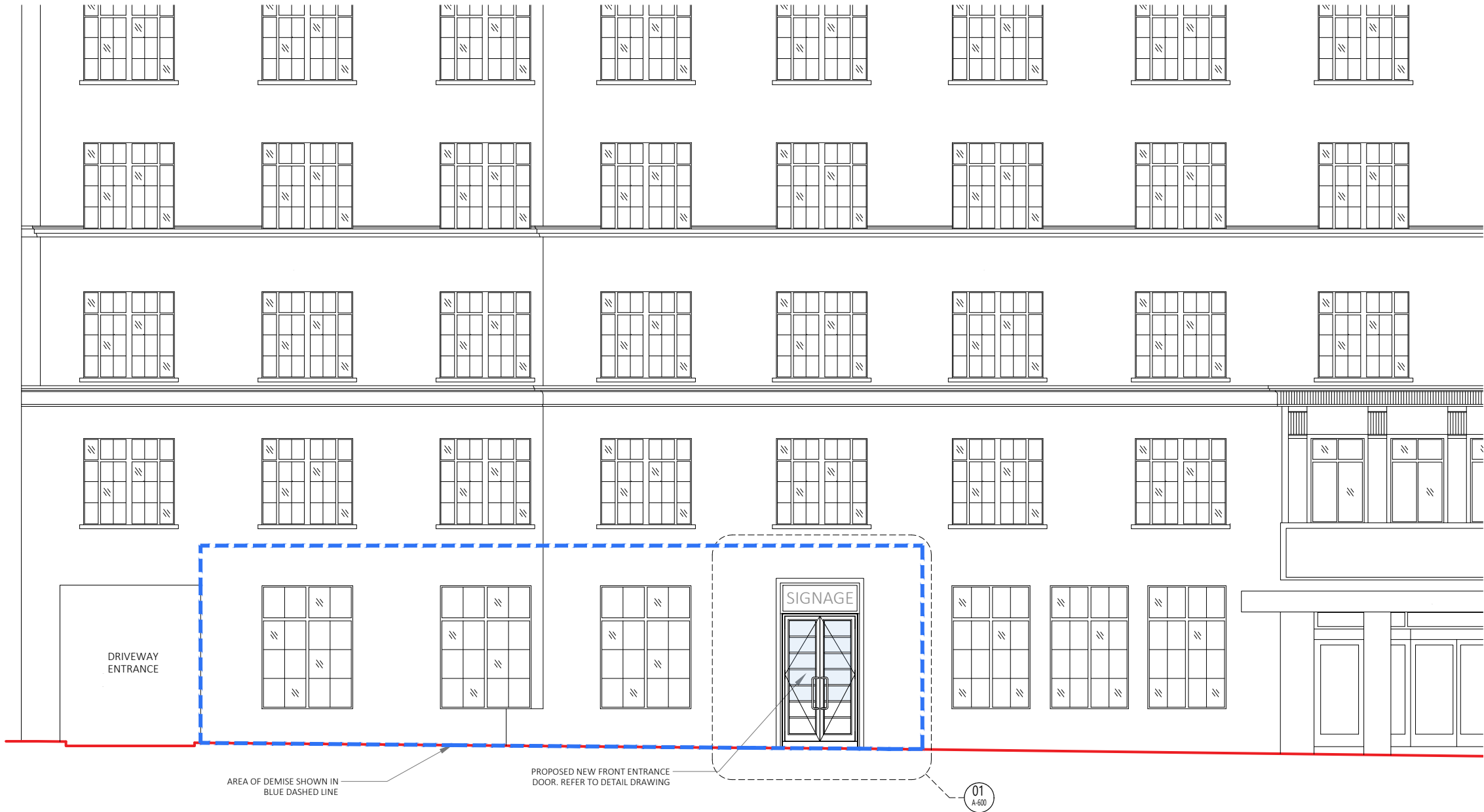
DATE  
July 23

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A-202-P1

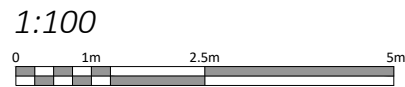




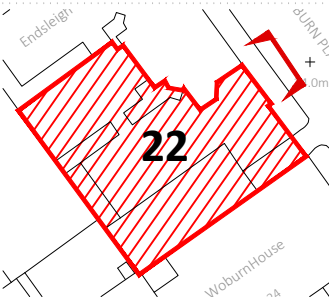
KEY ELEVATION (nts)



Street Elevation



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P1	DF	Planning Issue	21.11.2023
Rev	Iss.	Description	Date

DRAWING TITLE  
Front elevation Proposed

PROJECT NAME  
Feasibility

ADDRESS  
22 Upper Woburn Place  
London WC1H 0HW

CLIENT  
Moreland Newman (UK) Ltd

DRAWN BY  
DF

CHECKED BY  
DF

JOB NO.  
25795

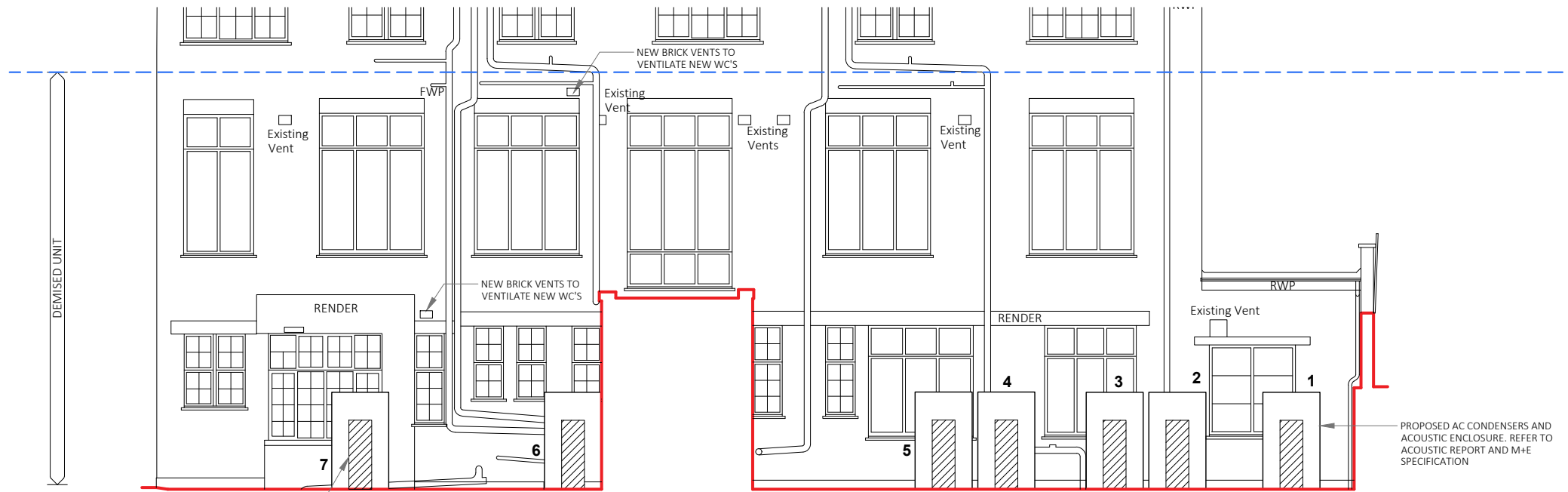
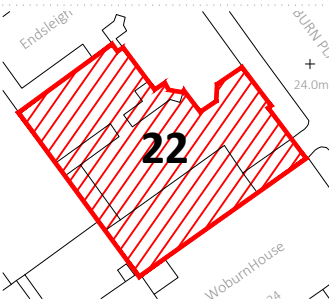
SCALE  
1:100@A3

DATE  
June 23

DRAWING NO.  
A-400-P1



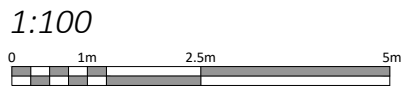
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Central lightwell Elevation 1



Rear Flank Elevation



P3	DF	Planning Issue	21.11.2023
P2	DF	Revised Issue 2	11.07.2023
P1	DF	Initial Issue	27.06.2023
Rev	Iss.	Description	Date

DRAWING TITLE  
**Rear and lightwell elevations  
Proposed**

PROJECT NAME  
Feasibility

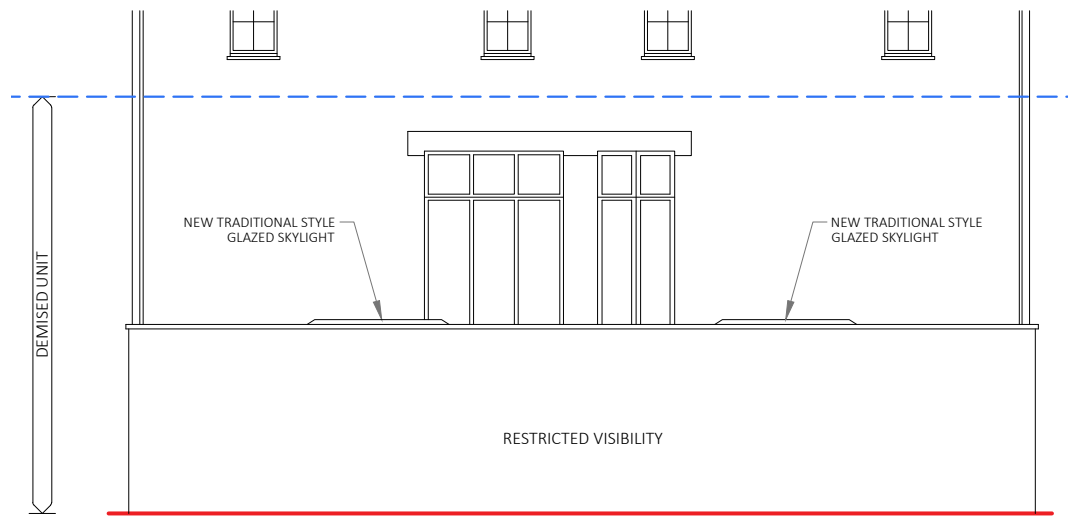
ADDRESS  
22 Upper Woburn Place  
London WC1H 0HW  
CLIENT  
Moreland Newman (UK) Ltd

DRAWN BY  
DF  
CHECKED BY  
DF

JOB NO.  
25795  
SCALE  
1:100@A3  
DATE  
June 23  
DRAWING NO.  
A-401-P3

Queen's House / 55-56 Lincoln's Inn Fields / LONDON WC2A 3JL  
020 7393 7300 / www.ftand.com

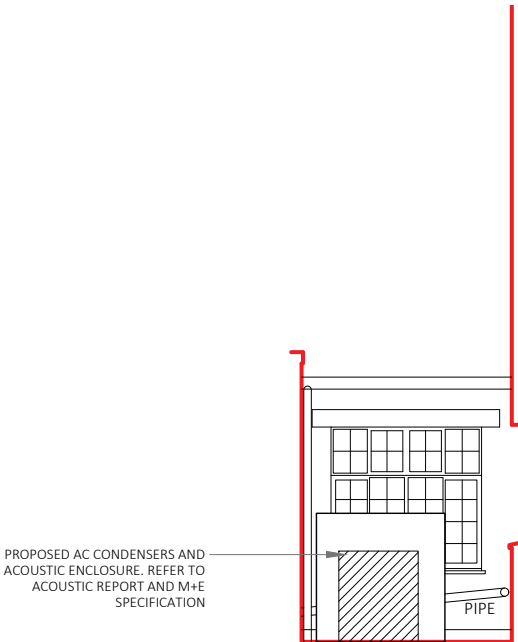
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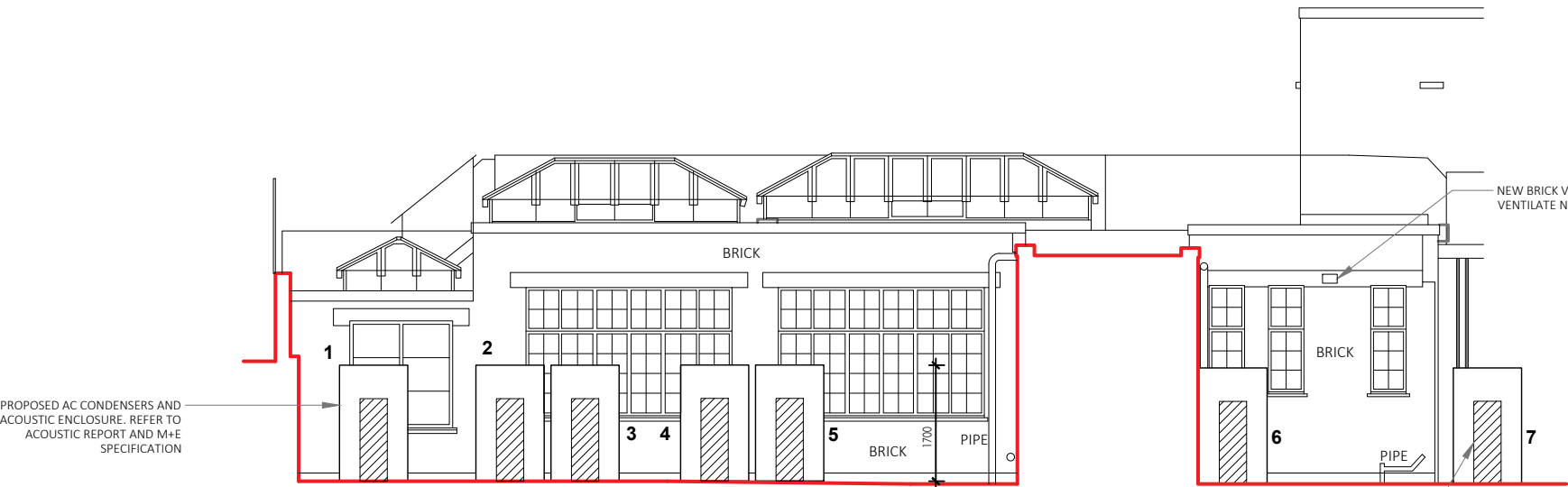
Rear Side Elevation



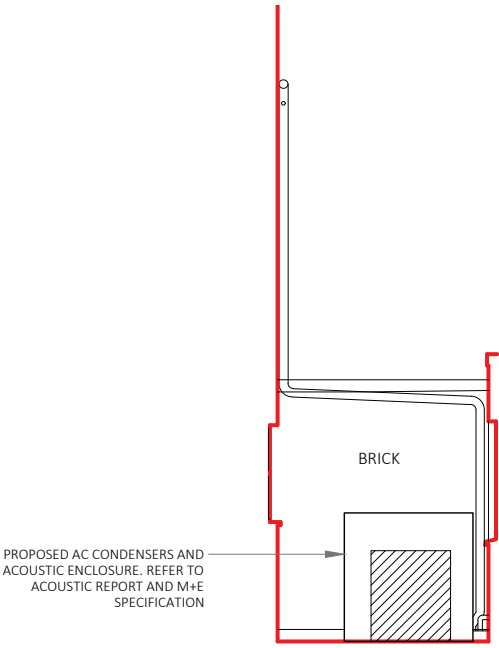
Rear side lightwell Elevation



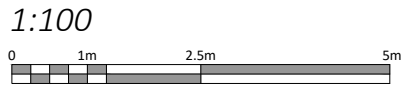
Rear lightwell Side Elevation 1



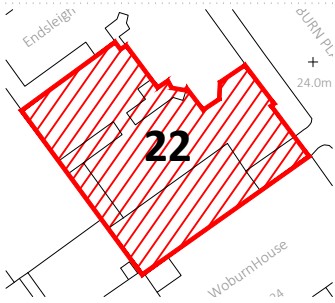
Central lightwell Elevation 2



Rear lightwell Side Elevation 2



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P3	DF	Planning Issue	21.11.2023
P2	DF	Revised Issue 2	11.07.2023
P1	DF	Initial Issue	27.06.2023
Rev	Iss.	Description	Date

DRAWING TITLE  
**Rear Lightwell elevations  
Proposed**

PROJECT NAME  
Feasibility

ADDRESS  
22 Upper Woburn Place  
London WC1H 0HW

CLIENT  
Moreland Newman (UK) Ltd

DRAWN BY  
DF

CHECKED BY  
DF

JOB NO.  
25795

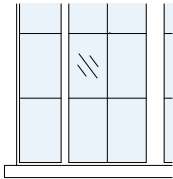
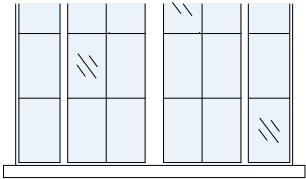
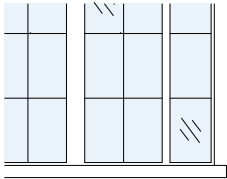
SCALE  
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DATE  
June 23

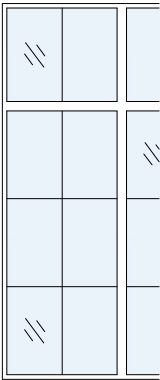
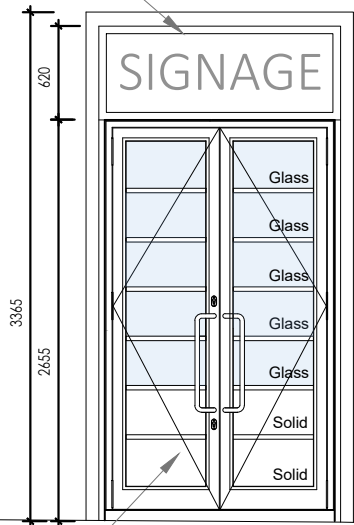
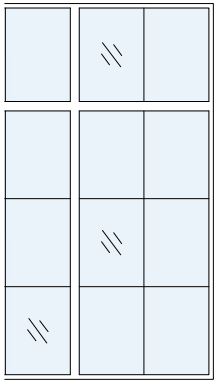
DRAWING NO.  
A-402-P3







NEW EXTERNAL SIGNAGE AREA  
WITHIN EXISTING RECESS



NEW EXTERNAL CRITTLE STYLE DOUBLE  
GLAZED DOORS WITH LOW LEVEL SOLID  
PANEL IN MATCHING COLOUR, CLEAR  
GLAZED PANELS ABOVE

NEW EXTERNAL CRITTLE STYLE GLAZED  
DOORS WITH LOW LEVEL SOLID PANEL IN  
MATCHING COLOUR, CLEAR GLAZED  
PANELS ABOVE

Entrance  
Lobby

Office area

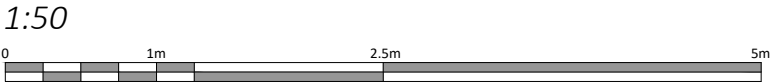
NEW RENDERED  
BLOCKWORK WALL

NEW INTERCOM SYSTEM

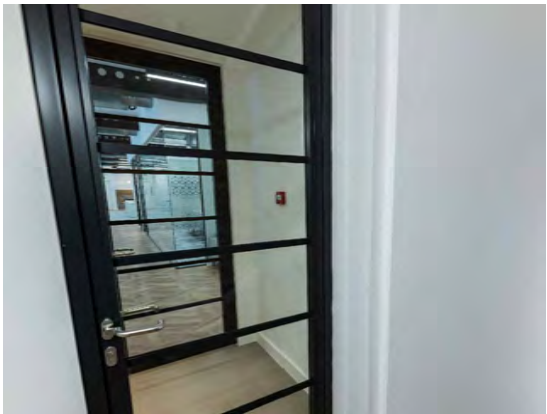
SECURITY SHUTTER CONCEALED  
HIGH LEVEL BEHIND PROPOSED  
SIGNAGE BOARD

EXISTING RAMP TO BE REFURBISHED  
WITH NEW SELECTED TILES  
(SEE OPPOSITE)

STREET ELEVATION



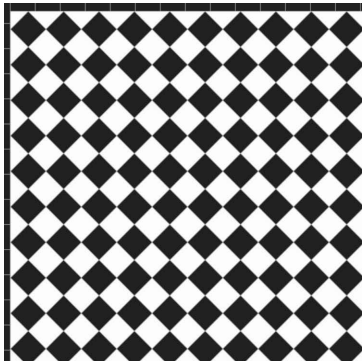
EXISTING FRONT ENTRANCE DOOR



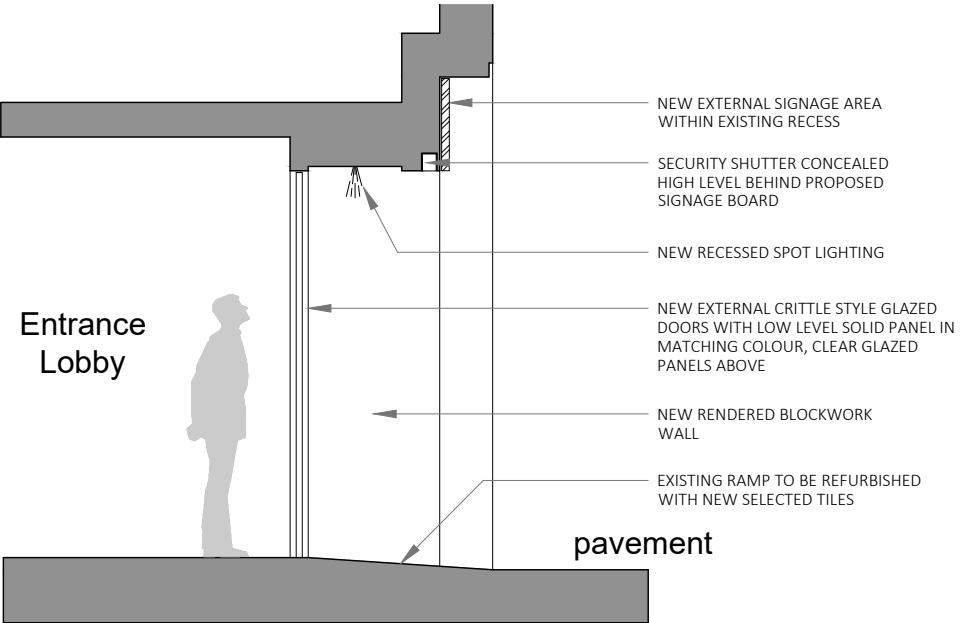
CRITTLE DOOR EXAMPLE



DOOR COLOUR: RAL 9004

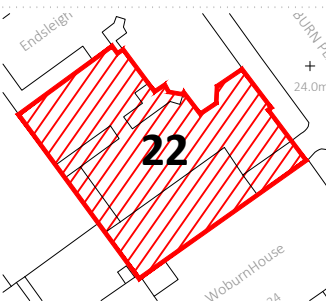


OPTION FOR FRONT ENTRANCE RAMP TILES.



STREET SECTION

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Title plan at 1:2500 and North point is up



P1	DF	Issue for Planning	21.11.2023
Rev	Iss.	Description	Date

DRAWING TITLE  
**Front main entrance Door  
Proposed**

PROJECT NAME  
Feasibility

ADDRESS  
22 Upper Woburn Place  
London WC1H 0HW

CLIENT  
Moreland Newman (UK) Ltd

DRAWN BY  
DF

CHECKED BY  
AK

JOB NO.  
25795

SCALE  
1:50@A3

DATE  
July 23

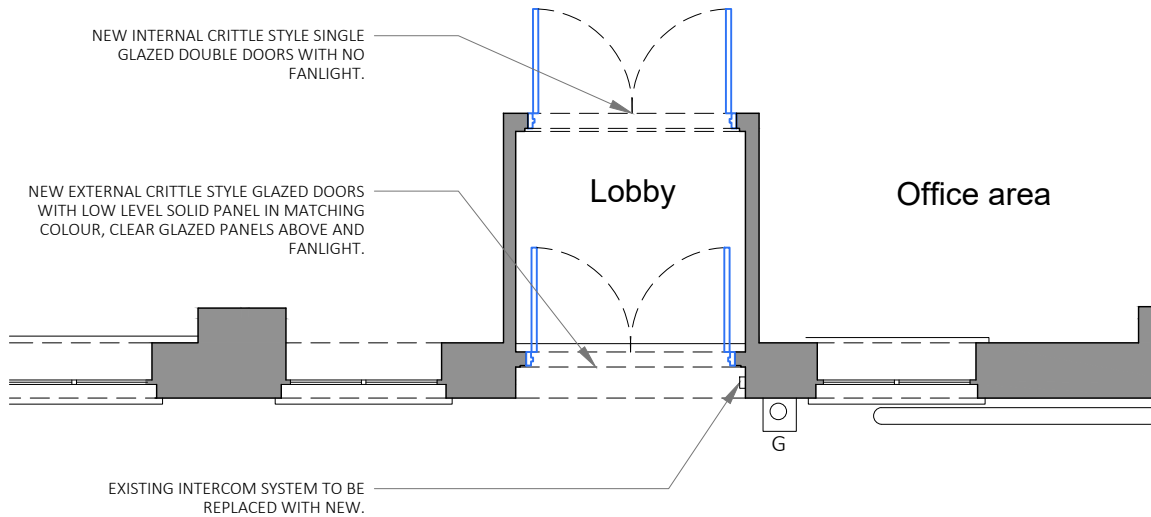
DRAWING NO.  
A-600-P1





NEW EXTERNAL CRITTLE STYLE GLAZED DOORS WITH LOW LEVEL SOLID PANEL IN MATCHING COLOUR, CLEAR GLAZED PANELS ABOVE AND FANLIGHT.

SIDE ELEVATION



NEW INTERNAL CRITTLE STYLE SINGLE GLAZED DOUBLE DOORS WITH NO FANLIGHT.

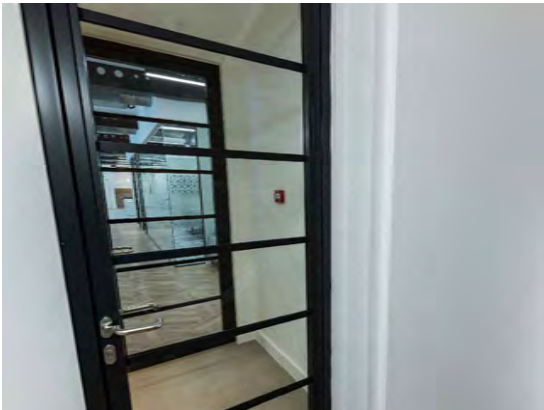
NEW EXTERNAL CRITTLE STYLE GLAZED DOORS WITH LOW LEVEL SOLID PANEL IN MATCHING COLOUR, CLEAR GLAZED PANELS ABOVE AND FANLIGHT.

EXISTING INTERCOM SYSTEM TO BE REPLACED WITH NEW.

STREET ELEVATION



EXISTING SIDE ENTRANCE DOOR

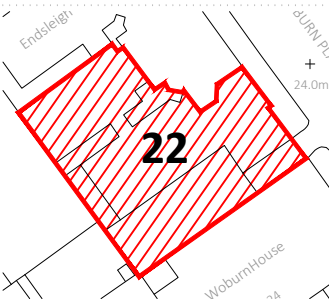


CRITTLE DOOR EXAMPLE



DOOR COLOUR: RAL 9004

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P1	DF	Issue for Planning	21.11.2023
Rev	Iss.	Description	Date

DRAWING TITLE

Side entrance Door  
Proposed

PROJECT NAME  
Feasibility

ADDRESS  
22 Upper Woburn Place  
London WC1H 0HW

CLIENT  
Moreland Newman (UK) Ltd

DRAWN BY  
DF

CHECKED BY  
AK

JOB NO.  
25795

SCALE  
1:50@A3

DATE  
July 23

DRAWING NO.  
A-601-P1

