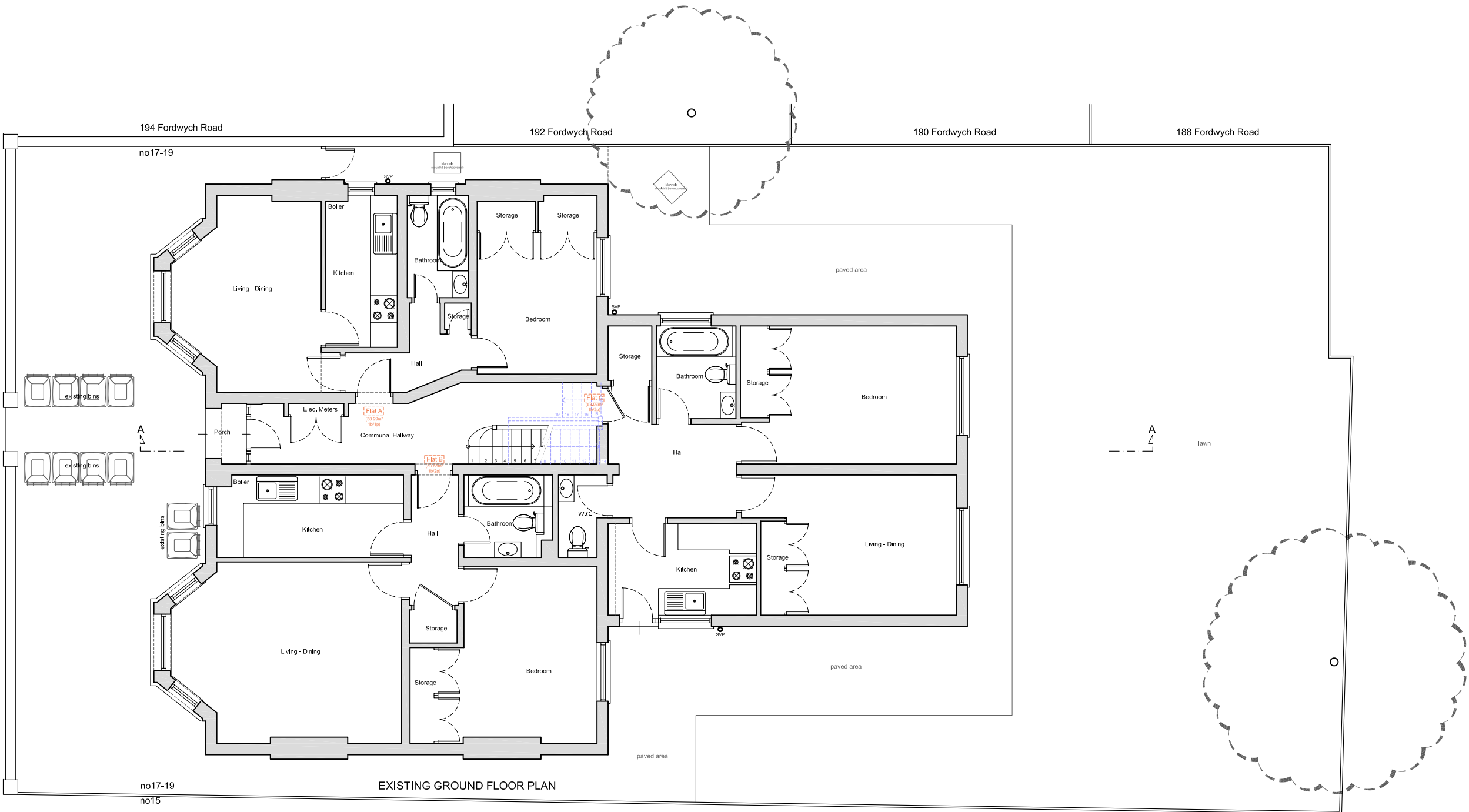
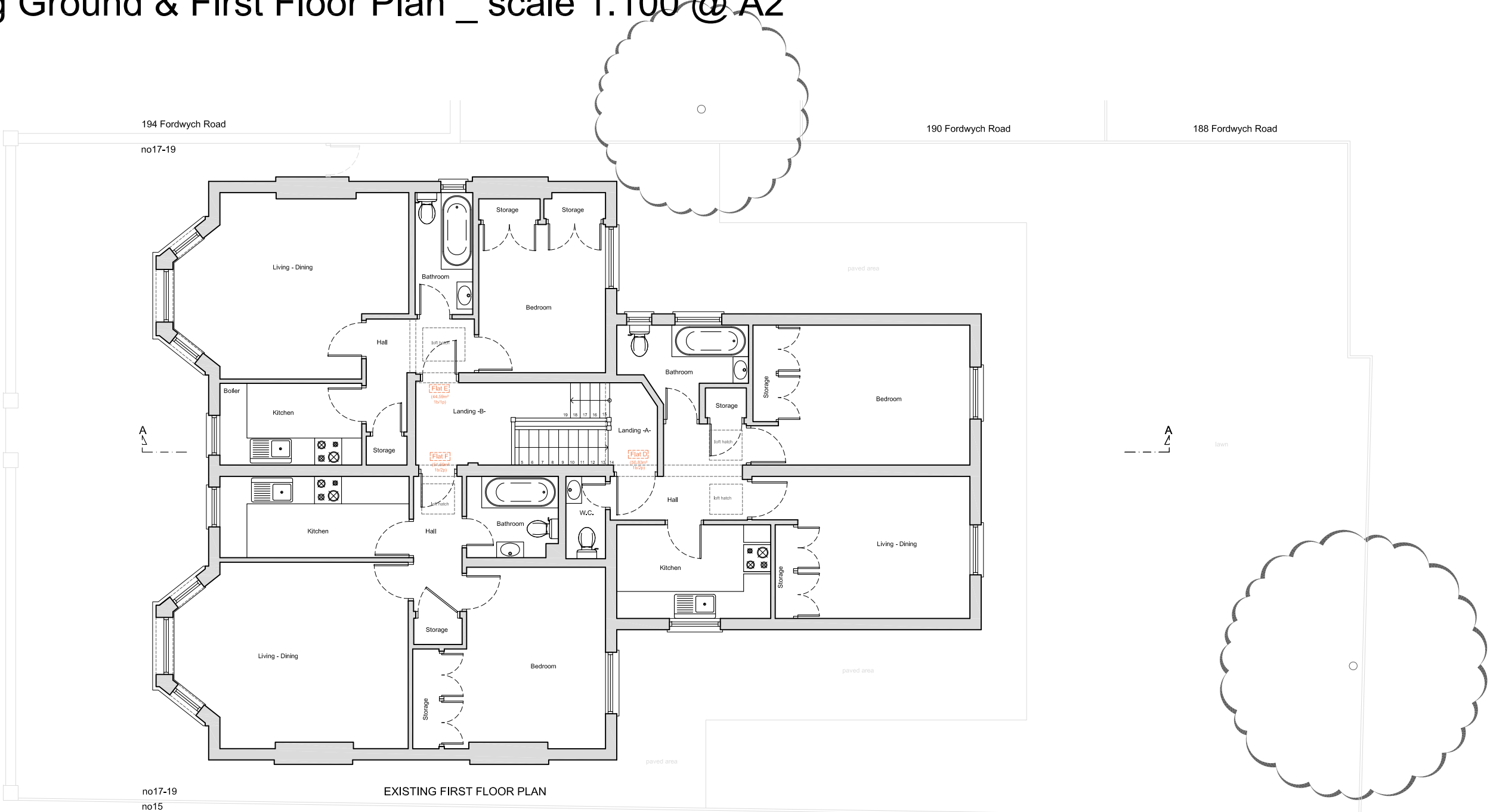


Existing Ground & First Floor Plan \_ scale 1:100 @ A2



Flat Information

| Flat No | Floor  | Internal Gross Floor Area above 1.5m headroom | Bedrooms | People | Total         | Minimum |
|---------|--------|---|----------|--------|---------------|---------|
| Flat A  | Ground | 38.29m²                                       | 1        | 1      | 38.29m² 1b/1p | 37-39m² |
| Flat B  | Ground | 50.56m²                                       | 1        | 2      | 50.56m² 1b/2p | 50m²    |
| Flat C  | Ground | 53.03m²                                       | 1        | 2      | 53.03m² 1b/2p | 50m²    |
| Flat D  | First  | 50.83m²                                       | 1        | 2      | 50.83m² 1b/2p | 50m²    |
| Flat E  | First  | 44.59m²                                       | 1        | 1      | 44.59m² 1b/1p | 37-39m² |
| Flat F  | First  | 51.50m²                                       | 1        | 2      | 51.50m² 1b/2p | 50m²    |

Copyright © Studio136 Ltd

This drawing which is the property of Studio 136 Ltd is the subject of Intellectual Property Rights including copyright and design right and shall not be reproduced, copied, loaned or submitted to any other party without the written consent of Studio 136 Ltd.

Any discrepancies to be reported to Studio 136 Ltd prior to setting out or ordering of any materials.

Notes:

All new materials to match existing..

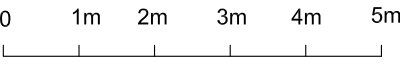
New casement window sizes to be confirmed with client on site.

Proposed staircase is shown as a guide. Exact layout and dimensions is to be confirmed by the staircase company and the Building Control on site.

Plans may change after Contract is Signed subject to Final Design and Specific Structural Engineer Specifications.

The Contractor should check all dimensions on site prior to ordering materials or fitting any steel beams/timber joists.

Exact position and size of all chimney stacks/breasts to be confirmed on site prior to ordering materials. In case the proposed structure is affected, the Contractor should seek report back to the Engineer or Architect.



KEYS

|  |                    |
|--|--------------------|
|  | Head height < 1.8m |
|  | demolition         |
|  | New Cavity Wall    |
|  | Proposed           |
|  | Existing           |

studio  
136 architects

© The Broadway, Wembley, Middlesex, HA9 6JT

Tel/Fax: 020 8907 7131 e-mail: info@studio136.co.uk

Project

LOFT CONVERSION AT  
17-19 EBBSFLEET ROAD  
LONDON  
NW2 3NB

Client

Mr Rami Yehood  
Copperbrick  
23 Aylestone Avenue  
London  
NW6 7AE

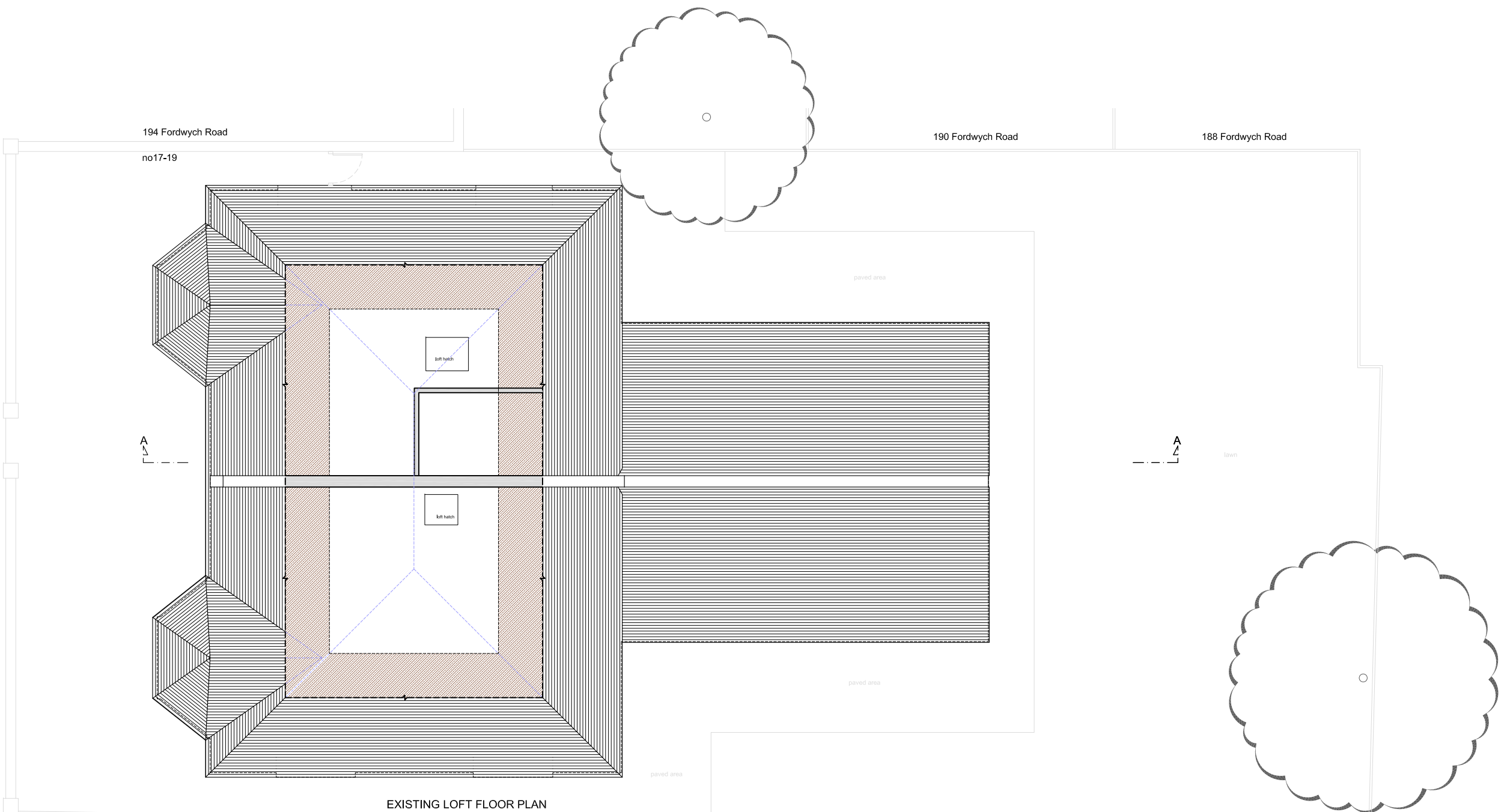
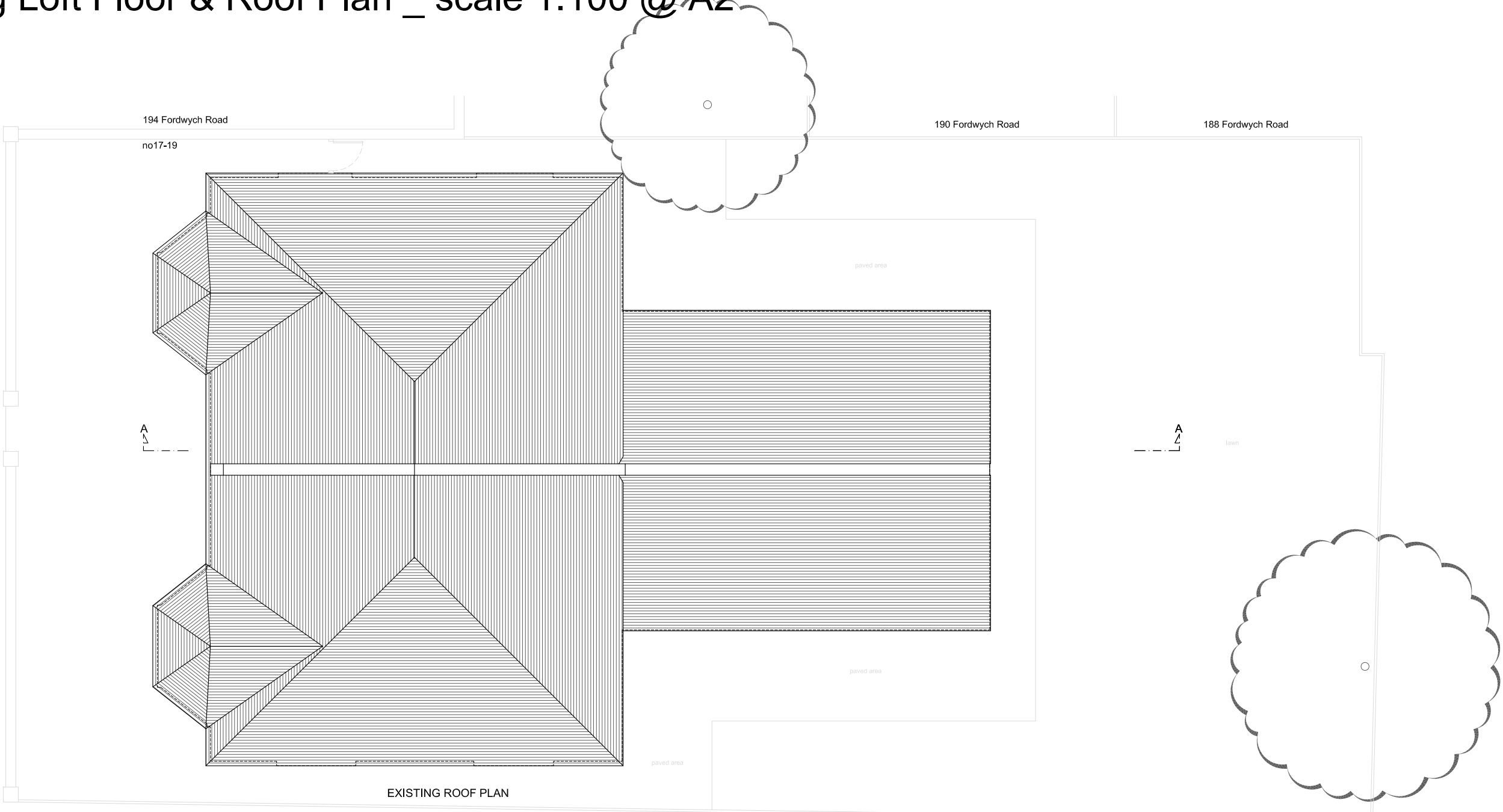
Drawing Title

EXISTING GROUND & FIRST FLOOR PLAN

| Scale    | Drawn             | Checked | Authorised |
|----------|-------------------|---------|------------|
| 1:100@A2 | -                 | -       | -          |
|          | 9th February 2024 | -       | -          |

| Drawing Number               | Rev    |
|------------------------------|--------|
| ST_24_17-19EBBSFLEET_loft_01 | Prelim |

Existing Loft Floor & Roof Plan \_ scale 1:100 @ A2



Flat Information

| Flat No | Floor  | Internal Gross Floor Area above 1.5m headroom | Bedrooms | People | Total         | Minimum |
|---------|--------|---|----------|--------|---------------|---------|
| Flat A  | Ground | 38.29m²                                       | 1        | 1      | 38.29m² 1b/1p | 37-39m² |
| Flat B  | Ground | 50.56m²                                       | 1        | 2      | 50.56m² 1b/2p | 50m²    |
| Flat C  | Ground | 53.03m²                                       | 1        | 2      | 53.03m² 1b/2p | 50m²    |
| Flat D  | First  | 50.83m²                                       | 1        | 2      | 50.83m² 1b/2p | 50m²    |
| Flat E  | First  | 44.59m²                                       | 1        | 1      | 44.59m² 1b/1p | 37-39m² |
| Flat F  | First  | 51.50m²                                       | 1        | 2      | 51.50m² 1b/2p | 50m²    |

Copyright © Studio136 Ltd

This drawing which is the property of Studio 136 Ltd is the subject of Intellectual Property Rights including copyright and design right and shall not be reproduced, copied, loaned or submitted to any other party without the written consent of Studio 136 Ltd.

Any discrepancies to be reported to Studio 136 Ltd prior to setting out or ordering of any materials.

**Notes:**

All new materials to match existing..

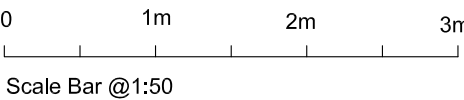
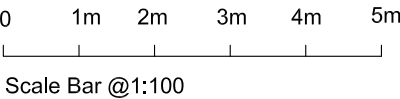
New casement window sizes to be confirmed with client on site.

Proposed staircase is shown as a guide. Exact layout and dimensions is to be confirmed by the staircase company and the Building Control on site.

Plans may change after Contract is Signed subject to Final Design and Specific Structural Engineer Specifications.

The Contractor should check all dimensions on site prior to ordering materials or fitting any steel beams/timber joists.

Exact position and size of all chimney stacks/breasts to be confirmed on site prior to ordering materials. In case the proposed structure is affected, the Contractor should seek report back to the Engineer or Architect.



| KEYS |                    |
|------|--------------------|
|      | Head height < 1.8m |
|      | demolition         |
|      | New Cavity Wall    |
|      | Proposed           |
|      | Existing           |

studio

136

architects

© The Broadway, Wembley, Middlesex, HA9 6JT

Tel/Fax: 020 8907 7131

e-mail: info@studio136.co.uk

Project

LOFT CONVERSION AT  
17-19 EBBSFLEET ROAD  
LONDON  
NW2 3NB

Client

Mr Rami Yehood  
Copperbrick  
23 Aylestone Avenue  
London  
NW6 7AE

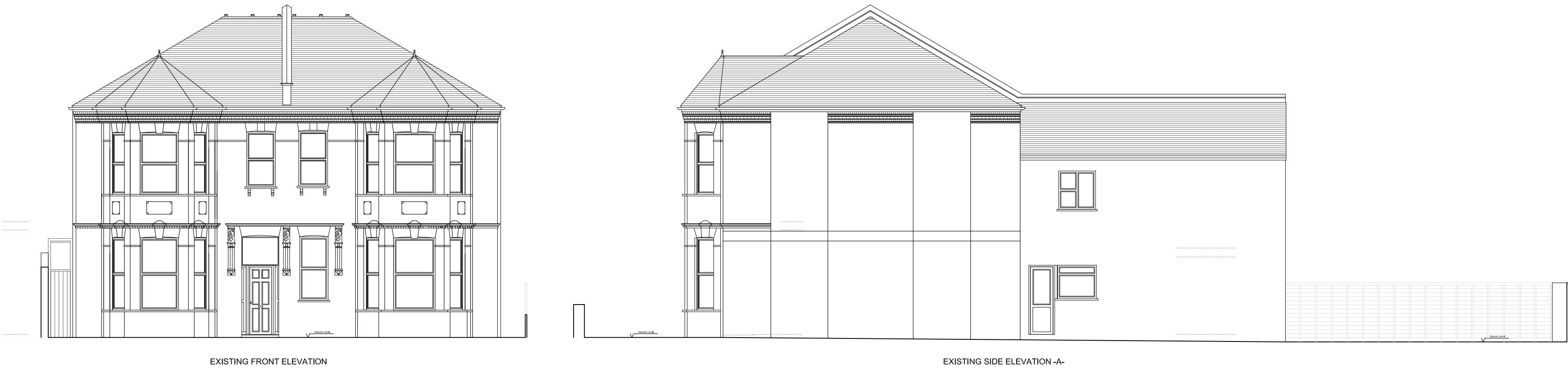
Drawing Title

EXISTING LOFT FLOOR & ROOF PLAN

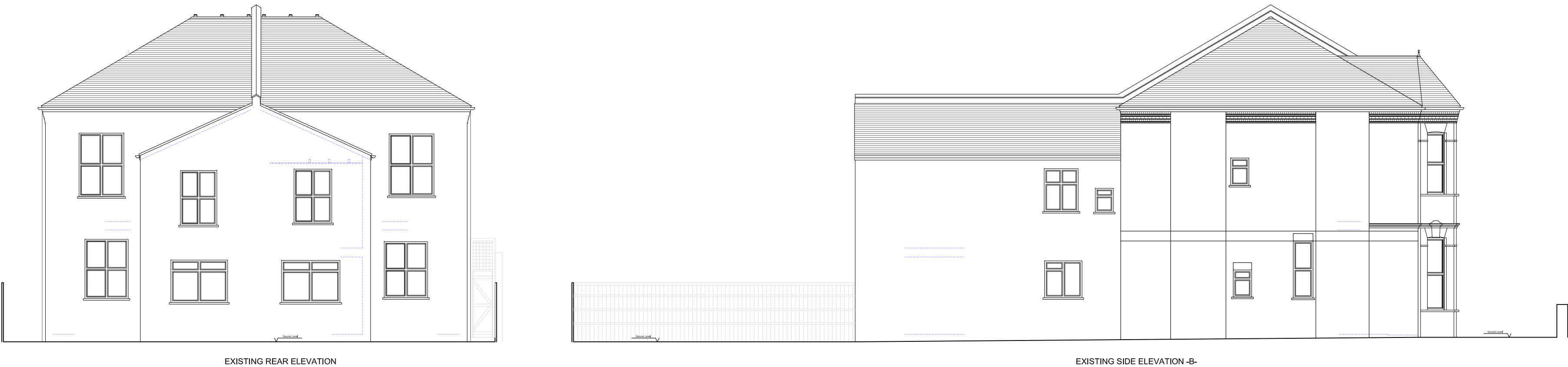
| Scale    | Drawn             | Checked | Authorised |
|----------|-------------------|---------|------------|
| 1:100@A2 | -                 | -       | -          |
|          | 9th February 2024 | -       | -          |

| Drawing Number               | Rev    |
|------------------------------|--------|
| ST_24_17-19EBBSFLEET_loft_02 | Prelim |

Existing Front & Side Elevation A \_ scale 1:100 @ A2



Existing Rear & Side Elevation B \_ scale 1:100 @ A2



Copyright © Studio136 Ltd

This drawing which is the property of Studio 136 Ltd is the subject of Intellectual Property Rights including copyright and design right and shall not be reproduced, copied, loaned or submitted to any other party without the written consent of Studio 136 Ltd.

Any discrepancies to be reported to Studio 136 Ltd prior to setting out or ordering of any materials.

**Notes:**

All new materials to match existing..

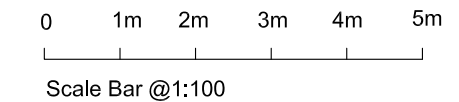
New casement window sizes to be confirmed with client on site.

Proposed staircase is shown as a guide. Exact layout and dimensions is to be confirmed by the staircase company and the Building Control on site.

Plans may change after Contract is Signed subject to Final Design and Specific Structural Engineer Specifications.

The Contractor should check all dimensions on site prior to ordering materials or fitting any steel beams/timber joists.

Exact position and size of all chimney stacks/breasts to be confirmed on site prior to ordering materials. In case the proposed structure is affected, the Contractor should seek report back to the Engineer or Architect.



| KEYS |                    |
|------|--------------------|
|      | Head height < 1.8m |
|      | demolition         |
|      | New Cavity Wall    |
|      | Proposed           |
|      | Existing           |

studio

136

architects

© The Broadway, Wembley, Middlesex, HA9 6JT

Tel/Fax: 020 8907 7131

e-mail: info@studio136.co.uk

Project

LOFT CONVERSION AT  
17-19 EBBSFLEET ROAD  
LONDON  
NW2 3NB

Client

Mr Rami Yehood  
Copperbrick  
23 Aylestone Avenue  
London  
NW6 7AE

Drawing Title

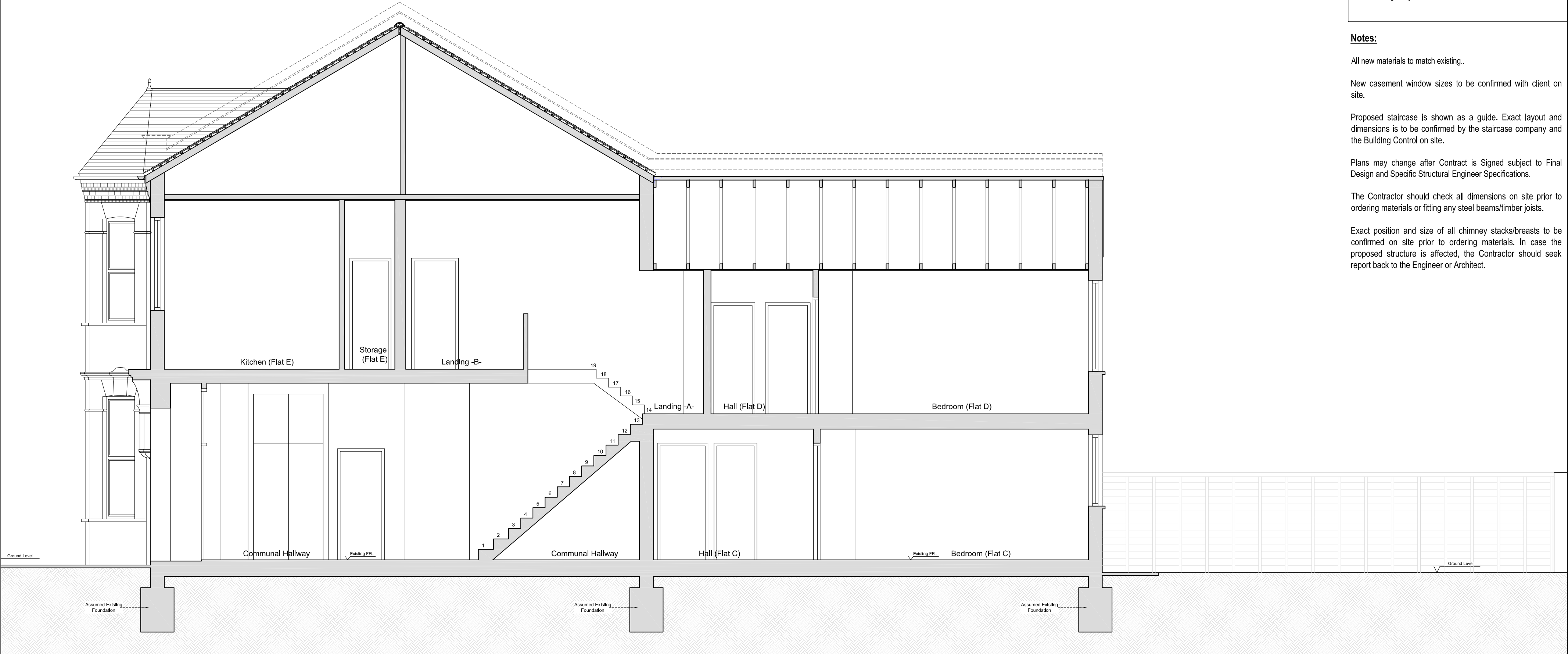
EXISTING ELEVATIONS

|          |                   |         |            |
|----------|-------------------|---------|------------|
| Scale    | Drawn             | Checked | Authorised |
| 1:100@A2 | -                 | -       | -          |
|          | 9th February 2024 | -       | -          |

|                              |        |
|------------------------------|--------|
| Drawing Number               | Rev    |
| ST_24_17-19EBBSFLEET_loft_03 | Prelim |

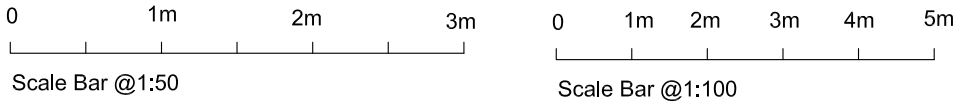


Existing Section A-A \_ scale 1:50 @ A2



EXISTING SECTION A-A

| KEYS |                    |
|------|--------------------|
|      | Head height < 1.8m |
|      | demolition         |
|      | New Cavity Wall    |
|      | Proposed           |
|      | Existing           |



Copyright © Studio136 Ltd

This drawing which is the property of Studio 136 Ltd is the subject of Intellectual Property Rights including copyright and design right and shall not be reproduced, copied, loaned or submitted to any other party without the written consent of Studio 136 Ltd.

Any discrepancies to be reported to Studio 136 Ltd prior to setting out or ordering of any materials.

Notes:

- All new materials to match existing..
- New casement window sizes to be confirmed with client on site.
- Proposed staircase is shown as a guide. Exact layout and dimensions is to be confirmed by the staircase company and the Building Control on site.
- Plans may change after Contract is Signed subject to Final Design and Specific Structural Engineer Specifications.
- The Contractor should check all dimensions on site prior to ordering materials or fitting any steel beams/timber joists.
- Exact position and size of all chimney stacks/breasts to be confirmed on site prior to ordering materials. In case the proposed structure is affected, the Contractor should seek report back to the Engineer or Architect.

studio

136

architects

© The Broadway, Wembley, Middlesex, HA9 8JT

Tel/Fax: 020 8907 7131

e-mail: info@studio136.co.uk

Project

LOFT CONVERSION AT  
17-19 EBBSFLEET ROAD  
LONDON  
NW2 3NB

Client

Mr Rami Yehood  
Copperbrick  
23 Aylestone Avenue  
London  
NW6 7AE

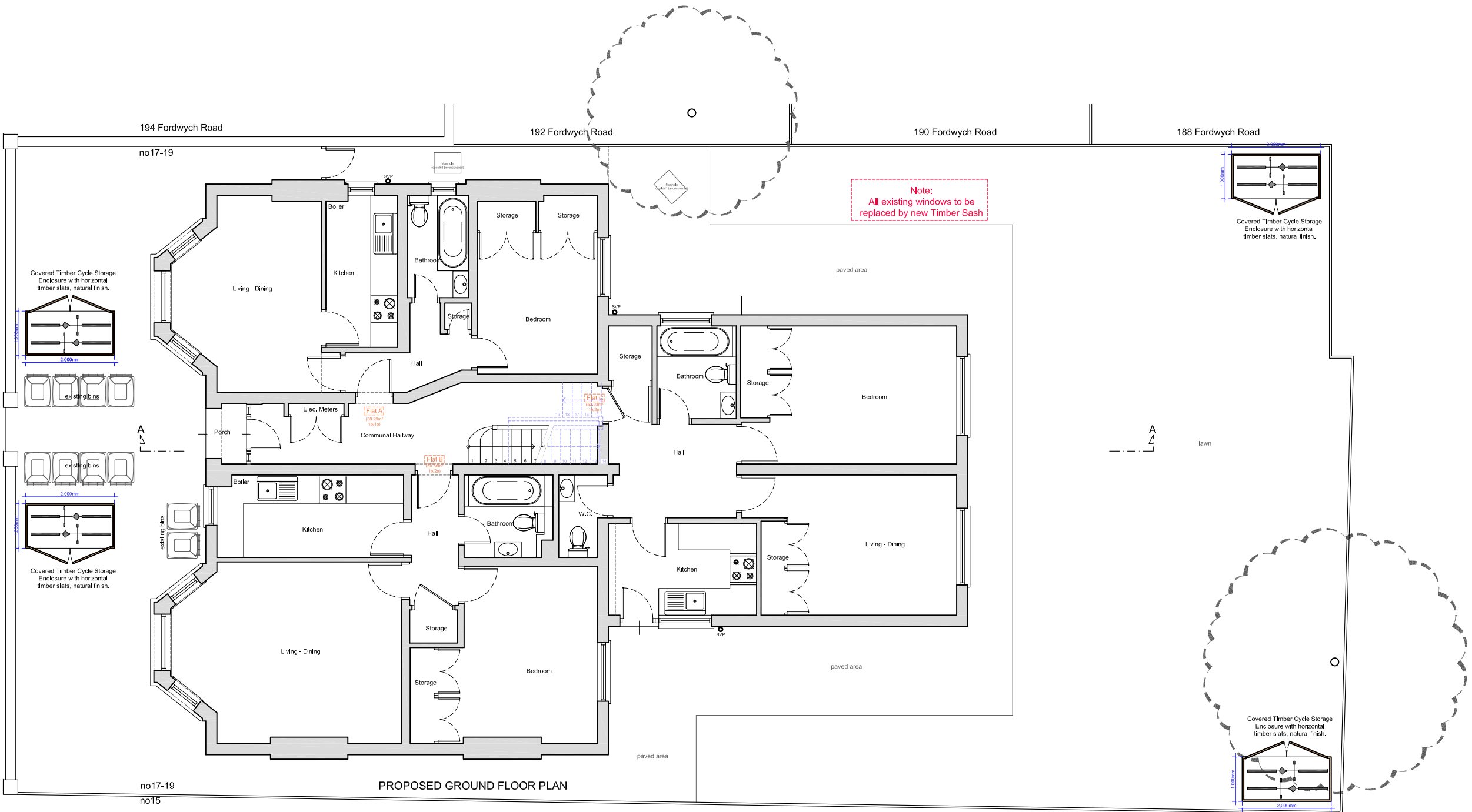
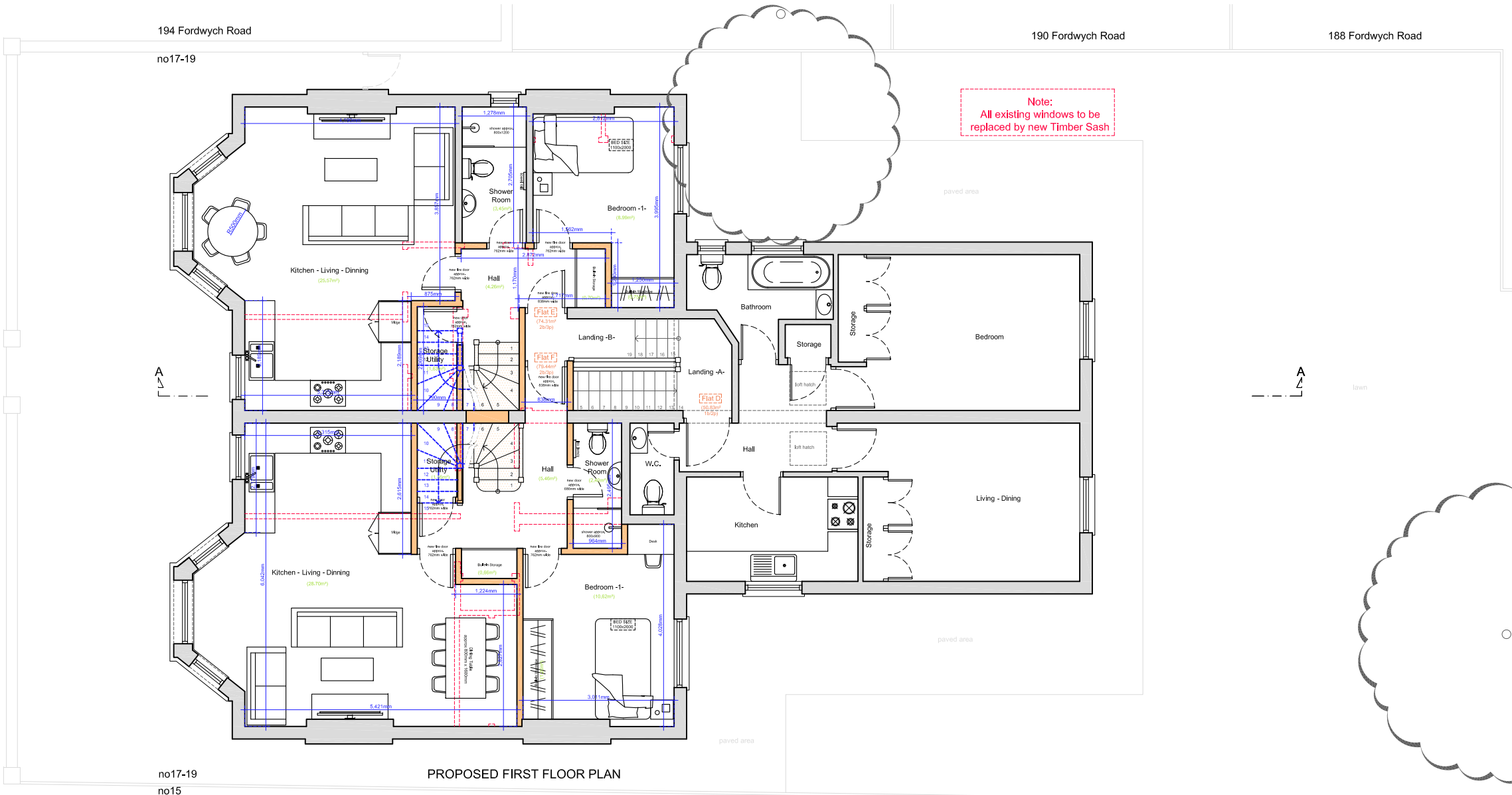
Drawing Title

EXISTING SECTION A-A

|         |                   |         |            |
|---------|-------------------|---------|------------|
| Scale   | Drawn             | Checked | Authorised |
| 1:50@A2 | -                 | -       | -          |
|         | 9th February 2024 | -       | -          |

|                              |        |
|------------------------------|--------|
| Drawing Number               | Rev    |
| ST_24_17-19EBBSFLEET_loft_04 | Prelim |

Proposed Ground & First Floor Plan \_ scale 1:100 @ A2



Flat Information

| Flat No | Floor  | Internal Gross Floor Area above 1.5m headroom | Bedrooms | People | Total                     | Minlmum             | Comments  |
|---------|--------|---|----------|--------|---------------------------|---------------------|---|
| Flat A  | Ground | 38.29m <sup>2</sup>                           | 1        | 1      | 38.29m <sup>2</sup> 1b/1p | 37-39m <sup>2</sup> | No Alterations, Internal refurbishment only and replacement of existing windows with new Timber Sash. |
| Flat B  | Ground | 50.56m <sup>2</sup>                           | 1        | 2      | 50.56m <sup>2</sup> 1b/2p | 50m <sup>2</sup>    | No Alterations, Internal refurbishment only and replacement of existing windows with new Timber Sash. |
| Flat C  | Ground | 53.03m <sup>2</sup>                           | 1        | 2      | 53.03m <sup>2</sup> 1b/2p | 50m <sup>2</sup>    | No Alterations, Internal refurbishment only and replacement of existing windows with new Timber Sash. |
| Flat D  | First  | 50.83m <sup>2</sup>                           | 1        | 2      | 50.83m <sup>2</sup> 1b/2p | 50m <sup>2</sup>    | No Alterations, Internal refurbishment only and replacement of existing windows with new Timber Sash. |
| Flat E  | First  | 47.29m <sup>2</sup>                           | 1        | 1      | 74.31m <sup>2</sup> 2b/3p | 70m <sup>2</sup>    | Proposed Hip to Gable and Rear Dormer Loft Conversion to provide second bedroom.                      |
|         | Loft   | 27.02m <sup>2</sup> (excluding stairs)        | 1        | 2      |                           |                     |   |
| Flat F  | First  | 52.44m <sup>2</sup>                           | 1        | 1      | 79.44m <sup>2</sup> 2b/3p | 70m <sup>2</sup>    | Proposed Hip to Gable and Rear Dormer Loft Conversion to provide second bedroom.                      |
|         | Loft   | 27.00m <sup>2</sup> (excluding stairs)        | 1        | 2      |                           |                     |   |

Copyright © Studio136 Ltd

This drawing which is the property of Studio 136 Ltd is the subject of Intellectual Property Rights including copyright and design right and shall not be reproduced, copied, loaned or submitted to any other party without the written consent of Studio 136 Ltd.

Any discrepancies to be reported to Studio 136 Ltd prior to setting out or ordering of any materials.

**Notes:**

All new materials to match existing..

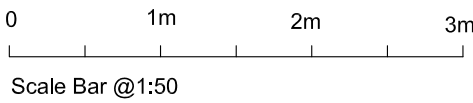
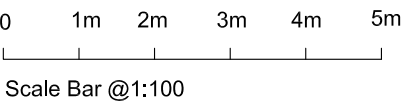
New casement window sizes to be confirmed with client on site.

Proposed staircase is shown as a guide. Exact layout and dimensions is to be confirmed by the staircase company and the Building Control on site.

Plans may change after Contract is Signed subject to Final Design and Specific Structural Engineer Specifications.

The Contractor should check all dimensions on site prior to ordering materials or fitting any steel beams/timber joists.

Exact position and size of all chimney stacks/breasts to be confirmed on site prior to ordering materials. In case the proposed structure is affected, the Contractor should seek report back to the Engineer or Architect.



| KEYS |                    |
|------|--------------------|
|      | Head height < 1.8m |
|      | demolition         |
|      | New Cavity Wall    |
|      | Proposed           |
|      | Existing           |

studio  
136 architects

6 The Broadway, Wembley, Middlesex, HA9 6UT

Tel/Fax: 020 8907 7131 e-mail: info@studio136.co.uk

Project

LOFT CONVERSION AT  
17-19 EBBSFLEET ROAD  
LONDON  
NW2 3NB

Client

Mr Rami Yehood  
Copperbrick  
23 Aylestone Avenue  
London  
NW6 7AE

Drawing Title

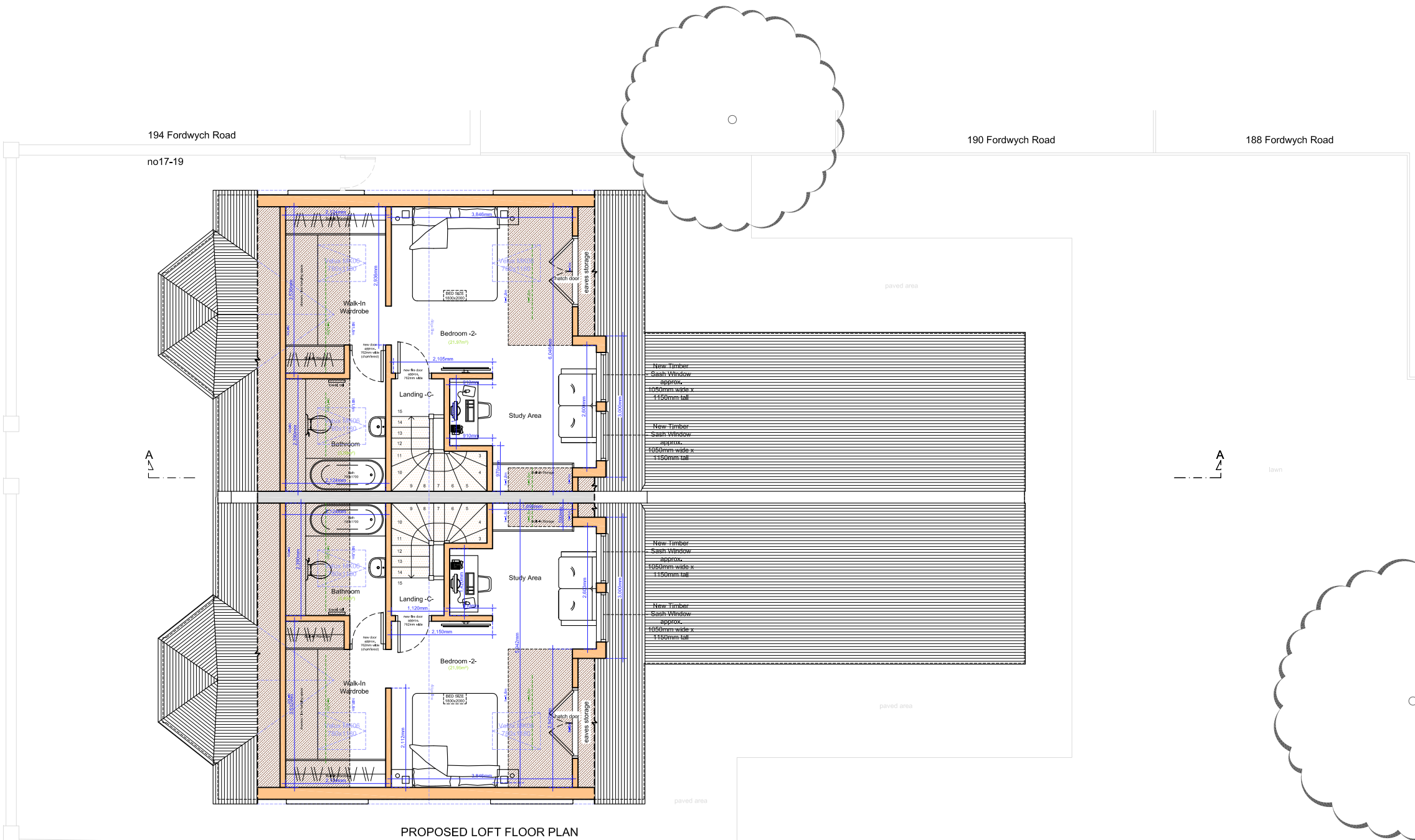
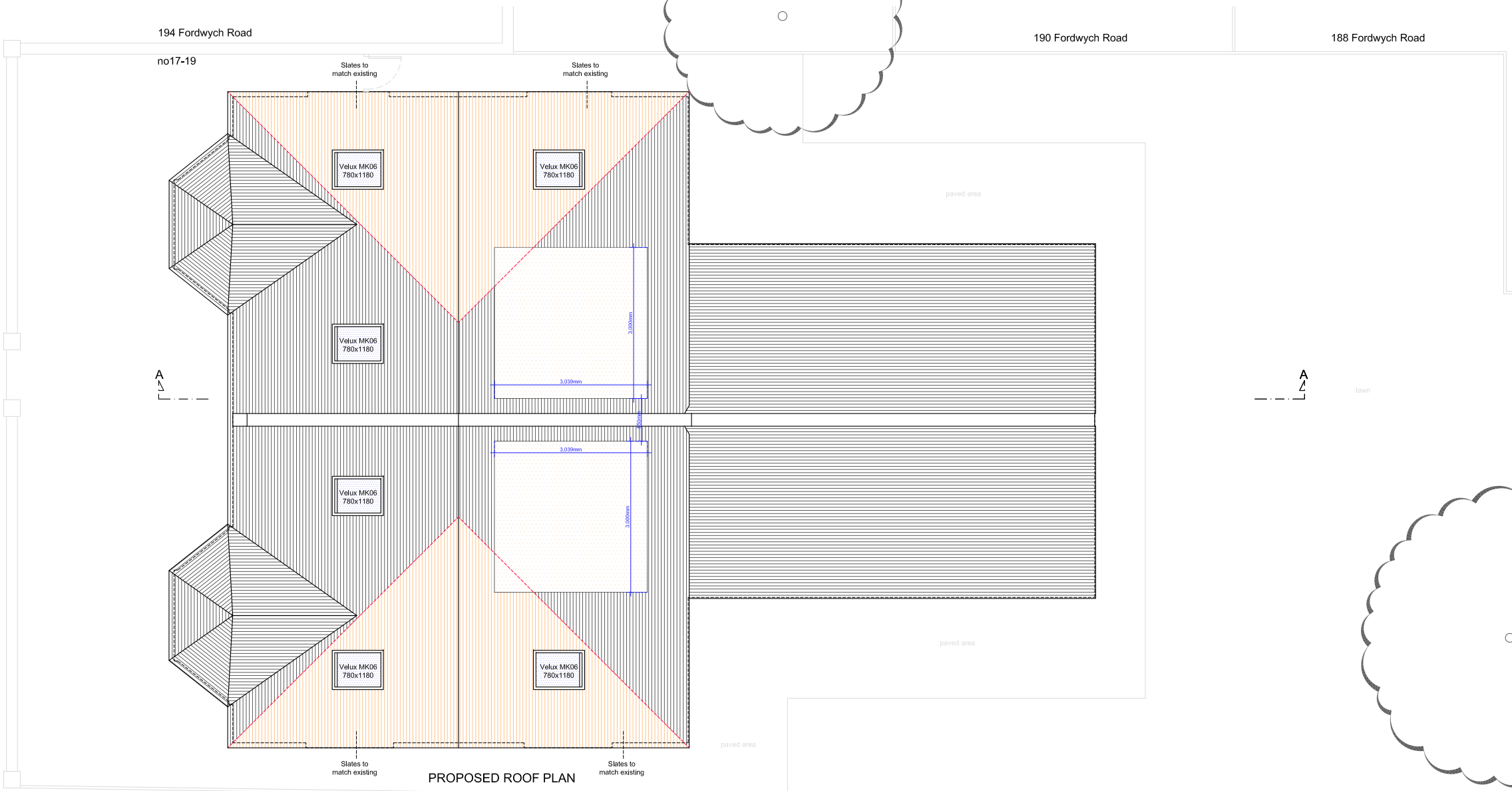
PROPOSED GROUND & FIRST FLOOR PLAN

|          |                   |         |            |
|----------|-------------------|---------|------------|
| Scale    | Drawn             | Checked | Authorised |
| 1:100@A2 | -                 | -       | -          |
|          | 9th February 2024 | -       | -          |

|                              |        |
|------------------------------|--------|
| Drawing Number               | Rev    |
| ST_24_17-19EBBSFLEET_loft_05 | Prelim |



Proposed Loft Floor & Roof Plan \_ scale 1:100 @ A2



Flat Information

| Flat No | Floor  | Internal Gross Floor Area above 1.5m headroom | Bedrooms | People | Total         | Minlimum | Comments  |
|---------|--------|---|----------|--------|---------------|----------|---|
| Flat A  | Ground | 38.29m²                                       | 1        | 1      | 38.29m² 1b/1p | 37-39m²  | No Alterations, Internal refurbishment only and replacement of existing windows with new Timber Sash.   |
| Flat B  | Ground | 50.56m²                                       | 1        | 2      | 50.56m² 1b/2p | 50m²     | No Alterations, Internal refurbishment only and replacement of existing windows with new Timber Sash.   |
| Flat C  | Ground | 53.03m²                                       | 1        | 2      | 53.03m² 1b/2p | 50m²     | No Alterations, Internal refurbishment only and replacement of existing windows with new Timber Sash. Unless the separate Planning Application for a ground floor extension is granted. |
| Flat D  | First  | 50.83m²                                       | 1        | 2      | 50.83m² 1b/2p | 50m²     | No Alterations, Internal refurbishment only and replacement of existing windows with new Timber Sash.   |
| Flat E  | First  | 47.29m²                                       | 1        | 1      | 74.31m² 2b/3p | 70m²     | Proposed Hip to Gable and Rear Dormer Loft Conversion to provide second bedroom.  |
|         | Loft   | 27.02m² (excluding stairs)                    | 1        | 2      |               |          |   |
| Flat F  | First  | 52.44m²                                       | 1        | 1      | 79.44m² 2b/3p | 70m²     | Proposed Hip to Gable and Rear Dormer Loft Conversion to provide second bedroom.  |
|         | Loft   | 27.00m² (excluding stairs)                    | 1        | 2      |               |          |   |

Copyright © Studio136 Ltd

This drawing which is the property of Studio 136 Ltd is the subject of Intellectual Property Rights including copyright and design right and shall not be reproduced, copied, loaned or submitted to any other party without the written consent of Studio 136 Ltd.

Any discrepancies to be reported to Studio 136 Ltd prior to setting out or ordering of any materials.

**Notes:**

All new materials to match existing..

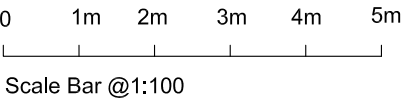
New casement window sizes to be confirmed with client on site.

Proposed staircase is shown as a guide. Exact layout and dimensions is to be confirmed by the staircase company and the Building Control on site.

Plans may change after Contract is Signed subject to Final Design and Specific Structural Engineer Specifications.

The Contractor should check all dimensions on site prior to ordering materials or fitting any steel beams/timber joists.

Exact position and size of all chimney stacks/breasts to be confirmed on site prior to ordering materials. In case the proposed structure is affected, the Contractor should seek report back to the Engineer or Architect.



| KEYS |                    |
|------|--------------------|
|      | Head height < 1.8m |
|      | demolition         |
|      | New Cavity Wall    |
|      | Proposed           |
|      | Existing           |

studio

136

architects

© The Broadway, Wembley, Middlesex, HA9 6JT

Tel/Fax: 020 8907 7131

e-mail: info@studio136.co.uk

Project

LOFT CONVERSION AT  
17-19 EBBSFLEET ROAD  
LONDON  
NW2 3NB

Client

Mr Rami Yehood  
Copperbrick  
23 Aylestone Avenue  
London  
NW6 7AE

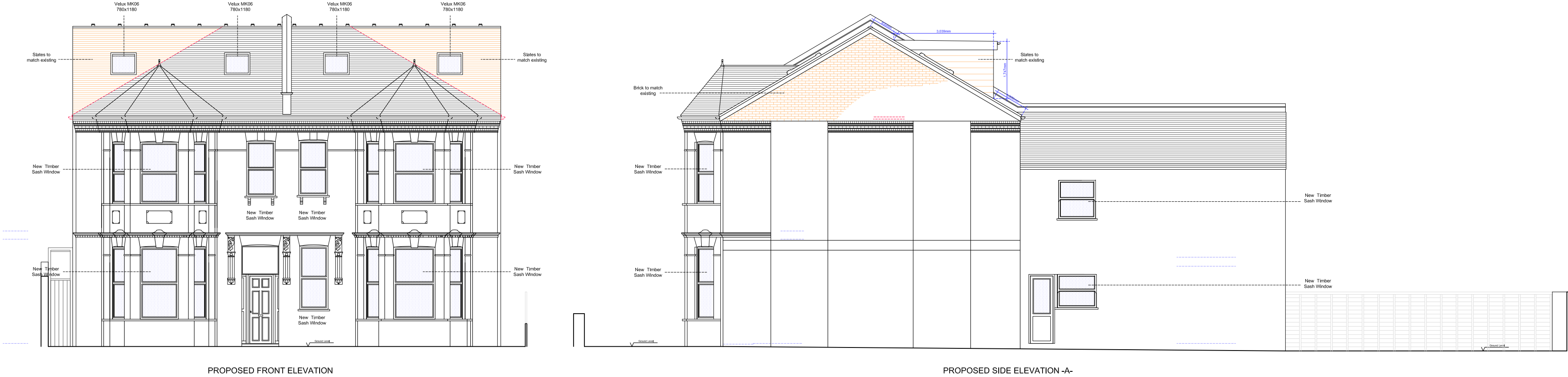
Drawing Title

PROPOSED LOFT FLOOR & ROOF PLAN

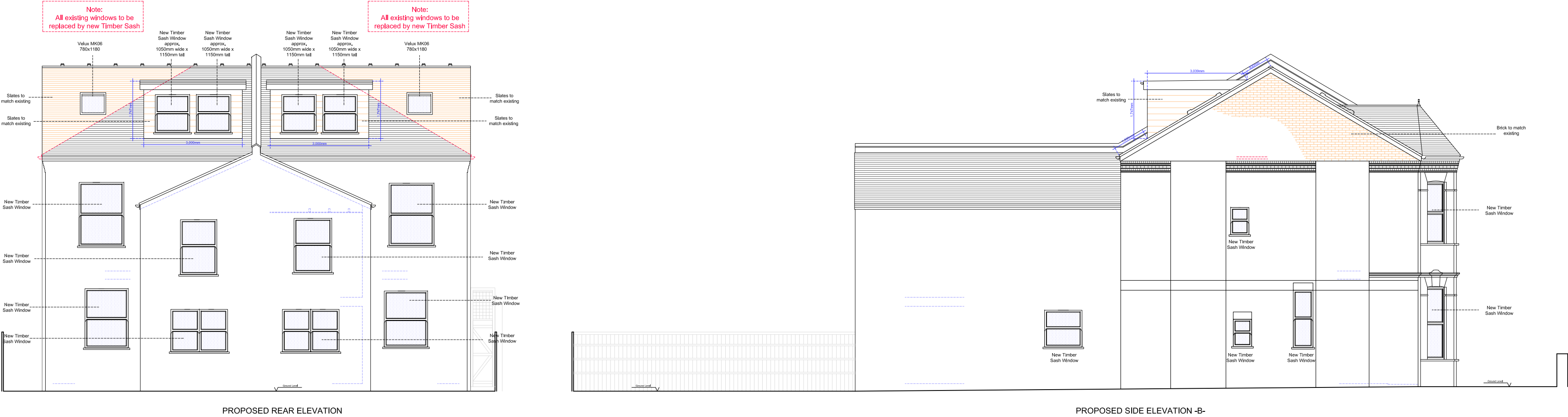
|          |                   |         |            |
|----------|-------------------|---------|------------|
| Scale    | Drawn             | Checked | Authorised |
| 1:100@A2 | -                 | -       | -          |
|          | 9th February 2024 | -       | -          |

|                              |        |
|------------------------------|--------|
| Drawing Number               | Rev    |
| ST_24_17-19EBBSFLEET_loft_06 | Prelim |

Proposed Front & Side Elevation A \_ scale 1:100 @ A2



Proposed Rear & Side Elevation B \_ scale 1:100 @ A2



Copyright © Studio136 Ltd

This drawing which is the property of Studio 136 Ltd is the subject of Intellectual Property Rights including copyright and design right and shall not be reproduced, copied, loaned or submitted to any other party without the written consent of Studio 136 Ltd.

Any discrepancies to be reported to Studio 136 Ltd prior to setting out or ordering of any materials.

**Notes:**

All new materials to match existing..

New casement window sizes to be confirmed with client on site.

Proposed staircase is shown as a guide. Exact layout and dimensions is to be confirmed by the staircase company and the Building Control on site.

Plans may change after Contract is Signed subject to Final Design and Specific Structural Engineer Specifications.

The Contractor should check all dimensions on site prior to ordering materials or fitting any steel beams/timber joists.

Exact position and size of all chimney stacks/breasts to be confirmed on site prior to ordering materials. In case the proposed structure is affected, the Contractor should seek report back to the Engineer or Architect.

0 1m 2m 3m 4m 5m

Scale Bar @1:100

0 1m 2m 3m

Scale Bar @1:50

**KEYS**

|  |                    |
|--|--------------------|
|  | Head height < 1.8m |
|  | demolition         |
|  | New Cavity Wall    |
|  | Proposed           |
|  | Existing           |

**studio 136 architects**

6 The Broadway, Wembley, Middlesex, HA9 6JT

Tel/Fax: 020 8907 7131 e-mail: info@studio136.co.uk

Project

LOFT CONVERSION AT  
17-19 EBBSFLEET ROAD  
LONDON  
NW2 3NB

Client

Mr Rami Yehood  
Copperbrick  
23 Aylestone Avenue  
London  
NW6 7AE

Drawing Title

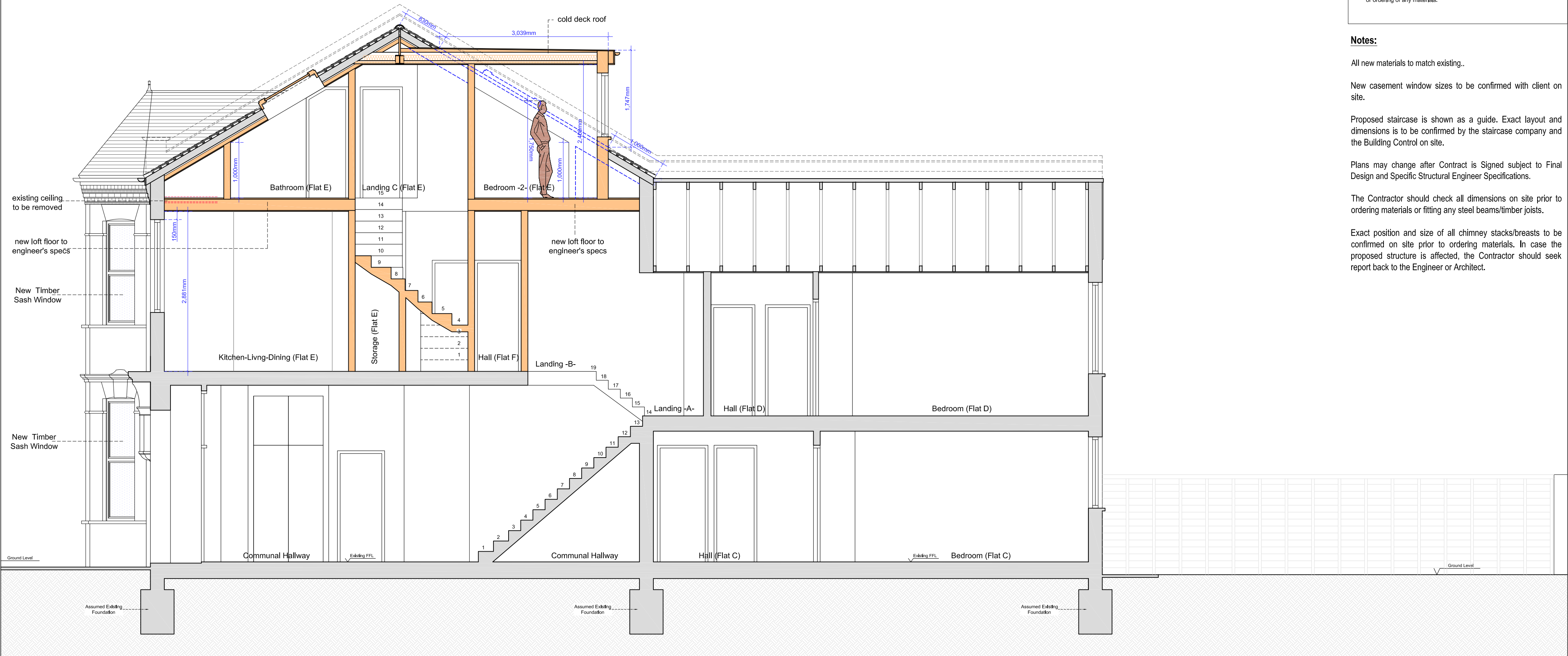
PROPOSED ELEVATIONS

|          |                   |         |            |
|----------|-------------------|---------|------------|
| Scale    | Drawn             | Checked | Authorised |
| 1:100@A2 | -                 | -       | -          |
|          | 9th February 2024 | -       | -          |

|                              |        |
|------------------------------|--------|
| Drawing Number               | Rev    |
| ST_24_17-19EBBSFLEET_loft_07 | Prelim |

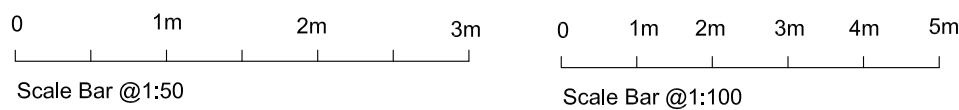


Proposed Section A-A \_ scale 1:50 @ A2



PROPOSED SECTION A-A

| KEYS |                    |
|------|--------------------|
|      | Head height < 1.8m |
|      | demolition         |
|      | New Cavity Wall    |
|      | Proposed           |
|      | Existing           |



Copyright © Studio136 Ltd

This drawing which is the property of Studio 136 Ltd is the subject of Intellectual Property Rights including copyright and design right and shall not be reproduced, copied, loaned or submitted to any other party without the written consent of Studio 136 Ltd.

Any discrepancies to be reported to Studio 136 Ltd prior to setting out or ordering of any materials.

Notes:

All new materials to match existing..

New casement window sizes to be confirmed with client on site.

Proposed staircase is shown as a guide. Exact layout and dimensions is to be confirmed by the staircase company and the Building Control on site.

Plans may change after Contract is Signed subject to Final Design and Specific Structural Engineer Specifications.

The Contractor should check all dimensions on site prior to ordering materials or fitting any steel beams/timber joists.

Exact position and size of all chimney stacks/breasts to be confirmed on site prior to ordering materials. In case the proposed structure is affected, the Contractor should seek report back to the Engineer or Architect.

studio

136

architects

© The Broadway, Wembley, Middlesex, HA9 8JT

Tel/Fax: 020 8907 7131

e-mail: info@studio136.co.uk

Project  
LOFT CONVERSION AT  
17-19 EBBSFLEET ROAD  
LONDON  
NW2 3NB

Client  
Mr Rami Yehood  
Copperbrick  
23 Aylestone Avenue  
London  
NW6 7AE

Drawing Title  
PROPOSED SECTION A-A

| Scale   | Drawn             | Checked | Authorised |
|---------|-------------------|---------|------------|
| 1:50@A2 | -                 | -       | -          |
|         | 9th February 2024 | -       | -          |

| Drawing Number               | Rev    |
|------------------------------|--------|
| ST_24_17-19EBBSFLEET_loft_08 | Prelim |