

100 Chalk Farm Road

Arboricultural Impact Assessment

Prepared by TMA Environmental Consultants

Submitted on behalf of Regal Chalk Farm Ltd

January 2024



Arboricultural Impact Assessment

for planning purposes

100 Chalk Farm Road
London
NW1 8EH

January 2024

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CONTENTS PAGE

1	EXECUTIVE SUMMARY.....	4
2	INTRODUCTION.....	5
	INSTRUCTION.....	5
	AUTHOR.....	5
	PROPOSED DEVELOPMENT.....	5
	SCOPE.....	6
	SITE SURVEY.....	6
	REPORT PREPARATION.....	7
	DEFINITION OF TERMS.....	8
3	SITE INFORMATION.....	9
	CURRENT SITE USE.....	9
	GEOTECHNICAL INFORMATION.....	9
4	TECHNICAL ARBORICULTURAL DETAILS.....	10
	LANDSCAPE DETAILS.....	10
	BS5837 DETAILS.....	11
	STATUTORY PROTECTIONS.....	12
5	PLANNING POLICY AND GUIDANCE.....	13
	NATIONAL.....	13
	GREATER LONDON.....	13
	LOCAL.....	14
	CONSERVATION AREA.....	15
6	ARBORICULTURAL IMPACT ASSESSMENT.....	16
	REMOVALS.....	16
	MITIGATION GREENING.....	16
	PRUNING.....	17
	RETAINED TREE JUXTAPOSITIONS.....	17
	ARBORICULTURAL OVERSIGHT DURING WORKS.....	18
	DEMOLITION WORKS.....	19
	CONSTRUCTION WORKS.....	20
	SERVICES AND UTILITIES.....	20
	PLANNING POLICY CONSIDERATIONS.....	21
7	CONCLUSIONS.....	23
8	APPENDICES CONTENTS.....	24

1 EXECUTIVE SUMMARY

- 1.1 This Report has been prepared for Regal Chalk Farm Limited (the Applicant') in support of an application for full planning permission for the redevelopment of 100 Chalk Farm Road ('the Site') within the London Borough of Camden ('LBC').
- 1.2 The proposed development at the Site is for the *“demolition of existing buildings and redevelopment of the site to provide two buildings containing purpose-built student accommodation with associated amenity and ancillary space (Sui Generis), affordable residential homes (Class C3), ground floor commercial space (Class E) together with public realm, access, servicing, and other associated works.”* (the Proposed Development').
- 1.3 The Site was visited, and the trees and other vegetation surveyed, referring to the recommendations of BS5837, on the 13th of October 2022 by the Author. The details of this survey are found within the Report appendices.
- 1.4 The Proposed Development requires the removal of 1no. tree group (G7), 1no. shrub group (G9) and 1no. shrub (S8). All of which have been recorded as *Category C* (i.e., low-quality).
- 1.5 The impact of the proposed trees and shrub removal is considered overall to be low, given their age and relatively small sizes, and their low quality in arboricultural terms.
- 1.6 The Proposed Development is accompanied by a landscaping scheme that specifies new trees and vegetation. Overall, the scheme provides a total of 18no. new trees - specifically, the scheme comprises 3no. *Prunus x subhirtella* 'Autumnalis', 2no. *Ginkgo biloba* 'fastigiata' 4no. *Betula pendula*, 4no. *Magnolia stellata*, and 3no. *Cornus kousa* 'Robert Select'. In addition to the new trees planting, the scheme incorporates plants, shrubs and green roofs throughout the Proposed Development, as detailed within the referenced documents. It is considered that the envisaged landscape scheme significantly compensates for the planned tree and shrub removals specified in paragraph 6.1 and will enhance the local landscape in the immediate and long term.
- 1.7 It is considered that the impact of the Proposed Development on retained trees will be low, so long as the measures specified in this Report are adhered to.

2 INTRODUCTION

Instruction

- 2.1 This Report has been prepared for Regal Chalk Farm Limited (the Applicant') in support of an application for full planning permission for the redevelopment of 100 Chalk Farm Road ('the Site') within the London Borough of Camden ('LBC').
- 2.2 A listed building consent application accompanies the application for works to the adjacent Roundhouse, which is a Grade II* listed building.
- 2.3 The Site is located on the south-western side of Chalk Farm Road and borders the mainline railway into Euston, with the Juniper Crescent Housing Estate to the south. It lies within the Regents Canal Conservation Area, to which the existing building on the site is a neutral contributor. To the west, the site is adjacent to the Grade II listed Roundhouse theatre and live music venue. Beyond that, to the north-west is Chalk Farm Underground Station. To the east is the Petrol Filling Station site, which forms part of the Camden Goods Yard development and is currently in use as a temporary supermarket.
- 2.4 The development will provide 265 student accommodation units, together with 824 sqm (GIA) of commercial space, 24 affordable residential units, with public realm improvements, new areas of landscaping, amenity and play space, and improved accessibility to the site.
- 2.5 Full details and scope of the planning application is described in the submitted Town Planning Statement, prepared by Gerald Eve LLP.

Author

- 2.6 This Report was written by Lee Davies ('the Author'). Lee is an arboricultural consultant dealing with trees in relation to all forms of human activity including built development and with around 18 years industry experience. He is a *Professional Member* of the *Arboricultural Association* and an *Associate Member* of the *Institute of Chartered Foresters*. He holds the *Level 6 Diploma in Arboriculture (ABC)*, the *Professional Tree Inspection* certificate (LANTRA) and *Quantified Tree Risk Assessment Certificate (QTRA)*.

Proposed development

- 2.7 The proposed development at the Site (see Figure 1 below) is for the *demolition of existing buildings and redevelopment of the site to provide two buildings containing purpose-built student accommodation with associated amenity and ancillary space (Sui Generis), affordable residential homes (Class C3), ground floor commercial space*

(Class E) together with public realm, access, servicing, and other associated works.”
(‘the Proposed Development’).

Scope

- 2.8 This Report has been provided to assist all parties involved in the planning process, in accordance with *British Standard 5837:2012 - Trees in relation to design demolition and construction - Recommendations* (‘BS5837’).

Site survey

Survey date

- 2.9 The Site was visited, and the trees and other vegetation surveyed, referring to the recommendations of BS5837, on the 13th of October 2022 by the Author. The details of this survey are found within the Report appendices.

Health and safety

- 2.10 The survey was not an assessment of the health and safety of the trees (i.e., the survey was not a thorough investigation of the condition of all of the trees). In this instance, no particular works in this context have been specified to any of the surveyed trees.



Figure 1: Showing the area discussed in this Report within the indicative line and sourced from Google Earth (note: this is not the red line plan of the Proposed Development).

Report preparation

External documents

2.11 This Report has been prepared, with reference to the following supplied documents and information:

- *0994-T Topographical Survey;*
- *Proposed Basement Plan 356_P20.099;*
- *Proposed Ground Floor Plan 356_P20.100;*
- *Proposed First Floor Plan 356_P20.101;*
- *Proposed Second & Third Floor Plan 356_P20.102;*
- *Proposed Fourth & Fifth Floor Plan 356_P20.104;*
- *Proposed Sixth Floor Plan 356_P20.106;*
- *Proposed Seventh and Eighth Floor Plan 356_P20.107;*
- *Proposed Ninth Floor Plan 356_P20.109;*
- *Proposed Tenth & Eleventh Floor Plan 356_P20.110;*
- *Proposed Twelfth Floor Plan 356_P20.112;*
- *Proposed Roof Plan 356_P20.113;*
- *22226-BBK-XX-ZZ-RP-L-7200_240130;*
- *22226-BBK-XX-00-DR-L-0100;*
- *22226-BBK-XX-XX-DR-L-0700; and*
- *22226-BBUK-XX-ZZ-DR-L-0110.*

Appendices

2.12 The appendices of this Report include:

- Appendix A (plans); and
- Appendix B (schedules).

Tree works

2.13 For any tree works specified within this Report (i.e., removal and/or pruning), these works must be considered alongside any additional specifications provided for ecological and *Biodiversity Net Gain* matters, where any such work specifications may apply. Tree works included as part of this Report, unless otherwise stated, have been prepared exclusively by the arboriculturist.

Definition of terms

General definitions

2.14 The following terms and abbreviations may be used within this Report. These terms are defined by BS5837 as follows, unless provided without quotation marks:

- **Arboricultural Method Statement ('AMS')** - *"methodology for the implementation of any aspect of development that is within the root protection area, or has the potential to result in loss of or damage to a tree to be retained"*.
- **Local Planning Authority ('LPA')** - the planning department of the borough, district, or metropolitan council.
- **Root Protection Area ('RPA')** - *"layout design tool indicating the minimum area around a tree deemed to contain sufficient roots and rooting volume to maintain the tree's viability, and where the protection of the roots and soil structure is treated as a priority"*.
- **Service(s)** - *"any above- or below-ground structure or apparatus required for utility provision"* that may for example include *"drainage, gas supplies, ground source heat pumps, CCTV and satellite communications"*.
- **Tree Protection Plan ('TPP')** - *"scale drawing, informed by descriptive text where necessary, based upon the finalized proposals, showing trees for retention and illustrating the tree and landscape protection measures"*.

Arboricultural impact definitions

2.15 With regard to arboricultural impacts to retained trees, where this Report makes reference to any degree of impact, the following definitions apply unless it is otherwise stated:

- **Low impact** - The form and/or condition of the affected tree (or tree group, etc.) is considered unlikely to be affected to any particular degree, and by extension its visual qualities and life expectancy will not be undermined and its BS5837 categorisation is consequently unlikely to change.
- **Moderate impact** - The form and/or condition of the affected tree (or tree group, etc.) may be affected to such a degree that its visual qualities and life expectancy could be undermined and its BS5837 categorisation consequently may be subject to change.
- **High impact** - The form and/or condition of the affected tree (or tree group, etc.) is considered likely to be affected to such a degree that its visual qualities and life expectancy will likely be undermined and its BS5837 categorisation is consequently likely to change.

3 SITE INFORMATION

Current Site use

- 3.1 The site covers a 0.28 hectares area and consists of three 1970s commercial buildings: the main six-storey office building fronting Chalk Farm Road; a two-storey link building which adjoins the Roundhouse; and a three-storey office building to the rear of the site. There are surface and subterranean car parks at the rear.
- 3.2 The site is on the south side of Chalk Farm Road (A502), directly to the east of the Roundhouse, a Grade II* entertainment venue. To the rear, the site is bounded by a surface level railway line with a retaining wall running along part of the rear boundary of the site. Beyond that is the Juniper Crescent Housing Estate.
- 3.3 To the east is the former Morrisons petrol filling station (PFS) which is being redeveloped as part of a wider development known as Camden Goods Yard (CGY). The wider development is currently under construction through a joint venture between Berkeley Homes and Morrisons. The adjacent site is currently in use as a temporary supermarket but has planning permission for a 6-storey building with replacement PFS and ground floor retail with circa 8,000 sqm of office floorspace on upper floors. There is also a Section 73 approval to provide an electric vehicle charging facility and to undertake various design changes to the approved scheme, including extending the building towards the boundary with the application site.

Geotechnical information

British Geological Survey

- 3.4 The *British Geological Survey* ('BGS') provides on-line information, regarding the general soil properties of an area, including the underlying bedrock and any superficial deposits that overlay the bedrock. This information indicates that the Site is situated upon a bedrock of *London Clay Formation* (comprised of clay, silt and sand), over which no superficial deposits are recorded.
- 3.5 There are publicly available borehole logs within or adjacent to the Site (including TQ28SE2032) that confirm the presence of clay.

Root morphology

- 3.6 Soils where the clay content is significant will tend to encourage tree root growth at shallower depths - often, within the upper 600mm of soil¹. Where other soil components are present to greater extents, root morphology may differ, though impermeable layers of heavy compacted clay may restrict penetrative root growth, which may influence how far roots radiate from the stem of the tree to acquire nutrients.

1 - Forestry Commission. (2005) Information Note FCN078 - The influence of soils and species on tree root depth.

4 TECHNICAL ARBORICULTURAL DETAILS

Landscape details

Distribution

- 4.1 The Site does not contain any notable trees within its boundaries, with the tree survey recording only 2no. individual buddleja shrubs (S1 & S8), 1no. group of buddleja shrubs, and 1no. tree group comprising self-set trees and shrubs growing within an unmanaged area of land (G7).
- 4.2 All notable trees recorded in the tree survey (T10-T14), are located north of the Site in the pavement area of Chalk Farm Road and comprise 3no. London planes (*Platanus x hispanica*) and 2no. field maples (*Acer campestre*).

Visibility

- 4.3 Trees and shrubs within the Site can be seen from certain public vantage points on Chalk Farm Road. However, due to their small statures in comparison to the larger trees that line Chalk farm road, their visual amenity value is considered to be relatively low.



Figure 2: Google Streetview image (Sept 2022), looking southwest towards the Site, showing G7 (centre-left), S8 (centre-right), and T11-T13 (far-right).



Figure 3: Google Streetview image (Sept 2022), looking southeast towards the Site, with the crowns of T5 and T6 just visible above the pedestrian gate (right), S8 and G7 above the vehicle gates (centre-right), and T10 (far-left).

BS5837 details

Survey criteria

- 4.4 The surveyed trees and other vegetation items have been generally categorised, in terms of the arboricultural and landscape criteria as defined in BS5837. These criteria consider the arboricultural merits of individual trees, in addition to the wider value afforded in contributing to the character of the landscape.

BS5837 categorisation

- 4.5 In BS5837 terms, the surveyed trees and other forms of vegetation comprise:
- *Category B* (i.e., moderate-quality): 3no. trees (T10, T11 & T14); and
 - *Category C* (i.e., low-quality): 4no. trees (T5, T6, T12 & T13), 1no. tree group (G7), 1no. shrub group (G9), and 5no. shrubs (S1-4 & S8).

Root Protection Areas

- 4.6 Based on the ground conditions of the Site that includes the known or foreseeable presence of buried structures, in addition to the context within which the surveyed trees and other vegetation items are growing, the standardised circular RPAs have not been amended.

Statutory protections

Conservation Areas

- 4.7 The LPA publishes details of its *Conservation Areas* ('CAs') online. According to this information, the Site is within the *Regents Canal CA*, which affords a baseline level of protection to the surveyed trees, under the relevant provisions of *The Town and Country Planning (Tree Preservation)(England) Regulations 2012*.

Tree Preservation Orders

- 4.8 An enquiry has been submitted to the LPA, with regard to whether any of the surveyed trees are subject to a *Tree Preservation Order*. However, no response had been received at the time that this Report has been produced.

5 PLANNING POLICY AND GUIDANCE

National

Background information

- 5.1 Planning policy at national level is set out in the government's *National Planning Policy Framework* ('the NPPF')², published in December 2023.
- 5.2 At this level, policy addresses the key principles of development. At its core, there is a presumption in favour of sustainable development incorporating good and durable design, by combining economic, social, and environmental strands in a balanced manner. Trees comprise an element of green infrastructure, which is one aspect of the environmental strand of sustainability.

National Planning Policy Framework 2023

- 5.3 In the context of the Proposed Development, the NPPF provides the following guidance that is relevant in terms of the surveyed trees:
- **Paragraph 136** - *"Trees make an important contribution to the character and quality of urban environments, and can also help mitigate and adapt to climate change. Planning policies and decisions should ensure that new streets are tree-lined, that opportunities are taken to incorporate trees elsewhere in developments (such as parks and community orchards), that appropriate measures are in place to secure the long-term maintenance of newly-planted trees, and that existing trees are retained wherever possible. Applicants and local planning authorities should work with highways officers and tree officers to ensure that the right trees are planted in the right places, and solutions are found that are compatible with highways standards and the needs of different users."*
 - **Paragraph 180** - *"Planning policies and decisions should contribute to and enhance the natural and local environment by: ... b) recognising the intrinsic character and beauty of the countryside, and the wider benefits from natural capital and ecosystem services including the economic and other benefits of ... trees and woodland".*

Greater London

Background information

- 5.4 Planning policy at the *Greater London* level is currently set out in *The London Plan* ('the LP'). The current iteration of the LP was published, in March 2021.

London Plan 2021

5.5 In the context of the Proposed Development, the LP provides the following guidance that is relevant in terms of the surveyed trees:

- **Policy D8 Public Realm** - *"[D]evelopment proposals should: ... i) incorporate green infrastructure such as street trees and other vegetation into the public realm to support rainwater management through sustainable drainage, reduce exposure to air pollution, moderate surface and air temperature and increase biodiversity".*
- **Policy G1 Green Infrastructure** - *"London's network of green and open spaces, and green features in the built environment, should be protected and enhanced. Green infrastructure should be planned, designed and managed in an integrated way to achieve multiple benefits".*
- **Policy G7 Trees and Woodlands** - *"Development proposals should ensure that, wherever possible, existing trees of value are retained. If planning permission is granted that necessitates the removal of trees there should be adequate replacement based on the existing value of the benefits of the trees removed, determined by, for example, i-tree or CAVAT or another appropriate valuation system. The planting of additional trees should generally be included in new developments particularly large-canopied species which provide a wider range of benefits because of the larger surface area of their canopy".*

Local

Background information

5.6 Planning policy at the local level is currently set out in the LPA's *Camden Local Plan* ('the LDP'), published in 2017.

Local Plan 2017

5.7 In the context of the Proposed Development, the current LDP provides the following guidance that is relevant in terms of the surveyed trees:

- **Policy D1: Design** - *"The Council will seek to secure high quality design in development. The Council will require that development: ... k. incorporates high quality landscape design (including public art, where appropriate) and maximises opportunities for greening for example through planting of trees and other soft landscaping";*
- **Policy D2: Heritage** - *"The Council will: e. require that development within conservation areas preserves or, where possible, enhances the character or appearance of the area; ... g. resist development outside of a conservation area that causes harm to the character or appearance of that conservation area; and h.*

preserve trees and garden spaces which contribute to the character and appearance of a conservation area"; and

- **Policy A3: Biodiversity** - *"The Council will protect, and seek to secure additional, trees and vegetation. We will: j. resist the loss of trees and vegetation of significant amenity, historic, cultural or ecological value including proposals which may threaten the continued wellbeing of such trees ... [and] l. expect replacement trees or vegetation to be provided where the loss of significant trees or vegetation or harm to the wellbeing of these trees and vegetation has been justified in the context of the proposed development".*

Supplementary Plan Document (SPD)

5.8 In the context of the Proposed Development, the Camden Planning Guidance: Trees, produced in March 2019, provides guidance to support the policies in the Local Plan regarding trees and new development in Camden.

5.9

Conservation Area

5.10 Further guidance is set out in the LPA's *Regent's Canal Conservation Area Appraisal and Management Strategy*, adopted in 2008.

5.11 In the context of the Proposed Development, the LPA provides the following guidance that is relevant in terms of the surveyed trees:

- **Trees and Landscaping** - *"All trees which contribute to the character or appearance of the conservation area should be retained and protected. Developers will be expected to incorporate any new trees sensitively into the design of any development, and demonstrate that no trees will be lost or damaged before, during or after development. Applications for development should take into account the possible impact on trees and other vegetation, and state clearly whether any damage/removal is likely and what protective measures are to be take."*

6 ARBORICULTURAL IMPACT ASSESSMENT

Removals

Numerical data

- 6.1 The Proposed Development requires the removal of 1no. tree group (G7), 1no. shrub group (G9) and 1no. shrub (S8), which in BS5837 terms comprises:

- *Category C* (i.e., low-quality): 1no. tree group, 1no. shrub group, and 1no. shrub.

Reasons for removals

- 6.2 The proposed tree and shrub removals are proposed to directly facilitate the implementation of the Proposed Development.

Impacts of removals

- 6.3 The impact of the proposed trees and shrub removal (S8, G7 & G9) is considered overall to be low, given their age and relatively small sizes, and their low quality in arboricultural terms.

Mitigation greening

- 6.4 The Proposed Development is accompanied by a landscaping scheme (references 22226-BBK-XX-ZZ-RP-L-7200_240130, 22226-BBK-XX-00-DR-L-0100, and 22226-BBUK-XX-ZZ-DR-L-0110) that specifies new trees and vegetation. Overall, the scheme provides a total of 18no. new trees - specifically, the scheme comprises 3no. *Prunus x subhirtella* 'Autumnalis', 2no. *Ginkgo biloba* 'fastigiata' 5no. *Betula pendula*, 5no. *Magnolia stellata*, and 3no. *Cornus kousa* 'Robert Select'.
- 6.5 In addition to the new tree planting, the scheme incorporates plants, shrubs and green roofs throughout the Proposed Development, as detailed within the referenced documents.
- 6.6 It is considered that the envisaged landscape scheme significantly compensates for the planned tree and shrub removals specified in paragraph 6.1 and will enhance the local landscape in the immediate and long term.

Pruning

Numerical data

- 6.7 It appears unlikely that pruning of nearby trees (i.e., T11-T13) will be required to facilitate the implementation of the Proposed Development. However, this will need be review once the methods of demolition and construction have been developed and clearance requirements established. Based on the tree crown dimensions at the time of the tree survey, it appears there will be sufficient clearance between the building and trees for scaffolding once the existing wall has been demolished.



Figure 4: Google Streetview image (Sept 2022) looking southwest towards the Site showing the locations of T11-T13 in relation to the existing building and boundary wall proposed to be demolished.

Retained tree juxtapositions

- 6.8 In relation to the retained trees (including those within the public realm to the north of the Site), the Proposed Development does not place any increased pressure upon these items that may result in inappropriate management (e.g., major branch removal or heavy pruning). The locations of the proposed buildings appear maintain similar clearances from trees T11-T13 as the existing building and the Proposed Development is therefore considered to be acceptable, regarding its juxtaposition to the retained trees and vegetation.

- 6.9 It is considered unlikely that the trees and shrubs located within the adjacent railway land (i.e., S2, S3, S4, T5 & T6) will be allowed to grow to their full sizes due to their proximity to the tracks and chain-link fence (which T5 and T6 are in contact with). It is likely that they will eventually be removed by those that manage the railway land, to prevent damage to the existing fence. The juxtaposition of the Proposed Development to the crowns of these trees and shrubs is therefore not considered to be a relevant factor in this assessment. It is likely that the self-set buddleja shrub (S1) will also be removed as part of general Site maintenance. However, this is not strictly required to facilitate the proposed development and is therefore not considered in this AIA.

Arboricultural oversight during works

- 6.10 The implementation of the Proposed Development is considered to require a continued presence of the arboriculturist, to provide arboricultural advice to the design team and to ensure that the principles of protection as are outlined in this Report are adhered to (that are discussed from the following sub-section within this Report).
- 6.11 In order to ensure that the risk of significant to retained trees adjacent to the Site (i.e., T11, T12 & T13) is as low a probability as possible, it is considered that a Site visit by the arboriculturist will occur at least at the following points, with the findings of each visit being summarised in written format and issued to at least the Client, main contractor, and LPA tree officer (noting that a finalised list ought to be provided as part of a detailed AMS prepared in response to a planning condition as per the recommendations of *Table B.1* of BS5837):
- a pre-commencement meeting at Site with at least the main appointed contractor to discuss the details of tree protection and works;
 - to sign-off the tree protection measures prior to the commencement of any works to implement the Proposed Development (except in the case of specified tree works that can occur prior to this point);
 - upon the completion of works to implement the Proposed Development.

Demolition works

General protection details

- 6.12 The indicative TPP at Appendix A sets out the specifications for tree protection that are associated with the implementation of the Proposed Development, based on the details that are currently available. This TPP includes an outline AMS (i.e., indicative of the basic principles of works - a specific AMS ought to be prepared for a planning condition as per the recommendation of *Table B.1* of BS5837), which provides some baseline information relating to the installation, implementation, and management of the specified tree protection measures.
- 6.13 The demolition of the existing northern boundary wall has the potential to impact upon retained trees (T11-T13). However, the specific methods of demolition are not known at this stage.
- 6.14 Where the demolition of wall foundations will take place within the RPA of T11, special methods of work will be required to minimise any potential impact to this tree. This specific area is highlighted, and precautionary measures outlined on the TPP Appendix A. A working methodology is supplied below.
- 6.15 The removal of wall foundations is required within the RPA of T11 as highlighted on the TPP at Appendix A.
- All working operations within RPAs are required to be carried out under the guidance and supervision of the arboricultural clerk of works.
 - The use of plant machinery to fracture and remove footings within RPAs will only be permitted under supervision of the arboricultural clerk of works and under the careful guidance of a banksman.
 - Working from within the demolished building footprint from an area of existing hard standing or temporary ground protection, mechanical breakers will be used to fracture the wall footings into small sections.
 - Broken material will be manually lifted and removed to a designated storage area located outside the RPAs of retained trees.
 - The removal of the footings will be undertaken in a careful manner, ensuring that no excavation works occur beyond the depth of the built material and into the soil layer below.
 - Any roots exposed due the removal of hard standing will be covered with a layer of topsoil and the area irrigated to prevent root desiccation from occurring.

Construction works

Hard surfacing

- 6.16 The installation of hard surfacing is proposed within the RPA of T11. This area is currently occupied by the existing retaining wall and it is therefore considered unlikely that these works will have a significant negative impact on this tree.
- 6.17 The arboriculturist's findings during the observed removal of the existing wall foundations will inform any special requirements for hard surface installation, in the unlikely event that roots are discovered close to the existing ground surface.

Cycle stand

- 6.18 A new cycle stand is proposed marginally within the RPA of T11. The specification of the stand is not known at this stage. However, it is considered likely that its installation will required the excavation of 2no. holes to secure the stand into the existing pavement.
- 6.19 It is considered unlikely that these works will have a significant negative impact on the health or stability of this tree. However, to ensure the potential impact is minimised the following principles shall be observed:
- All excavation work within the RPA shall be undertaken using hand tools only, under observation of the arboriculturist.
 - Roots below 25mm in diameter shall be pruned back to the edge of the excavated hole using sharp, sterile tools.
 - If roots over 25mm in diameter are discovered, the location of the cycle stand must be adjusted to avoid them.

Services and utilities

- 6.20 At this stage of the planning process, details pertaining to the location of new service runs and any required access to existing runs are not established. In this context, it is not possible to determine the level of impact of this element of the designs to the retained trees.
- 6.21 In the eventuality that access to existing service runs or to install new service runs involves work operations within the RPA of the retained trees, any impact to affected trees can be managed by following the recommendations of BS5837 (i.e., by working in accordance with an AMS and through the use of appropriate methods of work - a specific AMS ought to be prepared for a planning condition as per the recommendation of *Table B.1* of BS5837), which includes as a normative reference the *National Joint Utilities Guidance*³.

Planning policy considerations

National policies

6.22 With regard to the relevant planning policies at this spatial scale (as per paragraph 5.3), the Proposed Development is considered to respond to these policies in the following manners:

- **Paragraph 136** - All notable trees are to be retained and opportunities have been taken to incorporate trees and other vegetation throughout the Proposed Development.
- **Paragraph 180** - It is considered that the envisaged landscape scheme significantly compensates for the planned tree and shrub removals specified and will enhance the local landscape in the immediate and long term.

Regional policies

6.23 With regard to the relevant planning policies at this spatial scale (as per paragraph 5.5), the Proposed Development is considered to respond to these policies in the following manners:

- **Policy D8 Public Realm** - The Proposed Development incorporates new trees and vegetation within public realm as set out in the landscaping scheme (reference 22226_240103_landscape update).
- **Policy G1 Green Infrastructure** - All notable trees are to be retained and opportunities have been taken to incorporate trees and other vegetation throughout the Proposed Development and it is considered that the proposed landscape scheme will enhance the local landscape in the immediate and long term.
- **Policy G7 Trees and Woodlands** - The specified removals are restricted to low quality trees and shrubs. It is considered that the landscape scheme significantly compensates for the planned removals.

Local policies

6.24 With regard to the relevant planning policies at this spatial scale (as per paragraph 5.7), the Proposed Development is considered to respond to these policies in the following manners:

- **Policy D1: Design** - The Proposed Development appears to have made very good use of the opportunities for greening.

- **Policy D2: Heritage** - It is considered that the proposed planting of trees and other vegetation will enhance the character or appearance of the conservation area; and will preserve all notable trees adjacent to the Site.
- **Policy A3: Biodiversity** - The specified removals are restricted to low value trees and shrubs and are not considered to include trees and vegetation of significant amenity, historic, cultural or ecological value.

6.25 With regard to the LPAs *Camden Planning Guidance: Trees* (2019), it is considered that the Proposed Development can be undertaken in accordance with this guidance.

6.26 With regard to the CA guidance (as per paragraph 5.10), the Proposed Development is considered to respond to this in the following manner:

- **Trees and Landscaping** - All notable trees that are considered to contribute to the character of the local area will be retained. Trees have been incorporated appropriately into the new design as set out in the landscaping scheme (reference [22226_240103_landscape update](#)). It is considered that the impact of the Proposed Development on retained trees will be low, so long as the measures specified in this Report (which specifies the proposed tree protection measures) are adhered to.

7 CONCLUSIONS

- 7.1 The Proposed Development requires the removal of 1no. tree group (G7), 1no. shrub group (G9) and 1no. shrub (S8). All of which have been recorded as *Category C* (i.e., low-quality).
- 7.2 The impact of the proposed trees and shrub removal is considered overall to be low, given their age and relatively small sizes, and their low quality in arboricultural terms.
- 7.3 The Proposed Development is accompanied by a landscaping scheme that specifies new trees and vegetation. Overall, the scheme provides a total of 18no. new trees - specifically, the scheme comprises 3no. *Prunus x subhirtella* 'Autumnalis', 2no. *Ginkgo biloba* 'fastigiata' 4no. *Betula pendula*, 4no. *Magnolia stellata*, and 3no. *Cornus kousa* 'Robert Select'. In addition to the new trees planting, the scheme incorporates plants, shrubs and green roofs throughout the Proposed Development, as detailed within the referenced documents. It is considered that the envisaged landscape scheme significantly compensates for the planned tree and shrub removals specified in paragraph 6.1 and will enhance the local landscape in the immediate and long term.
- 7.4 It is considered that the impact of the Proposed Development on retained trees will be low, so long as the measures specified in this Report are adhered to.

8 APPENDICES CONTENTS

APPENDIX A

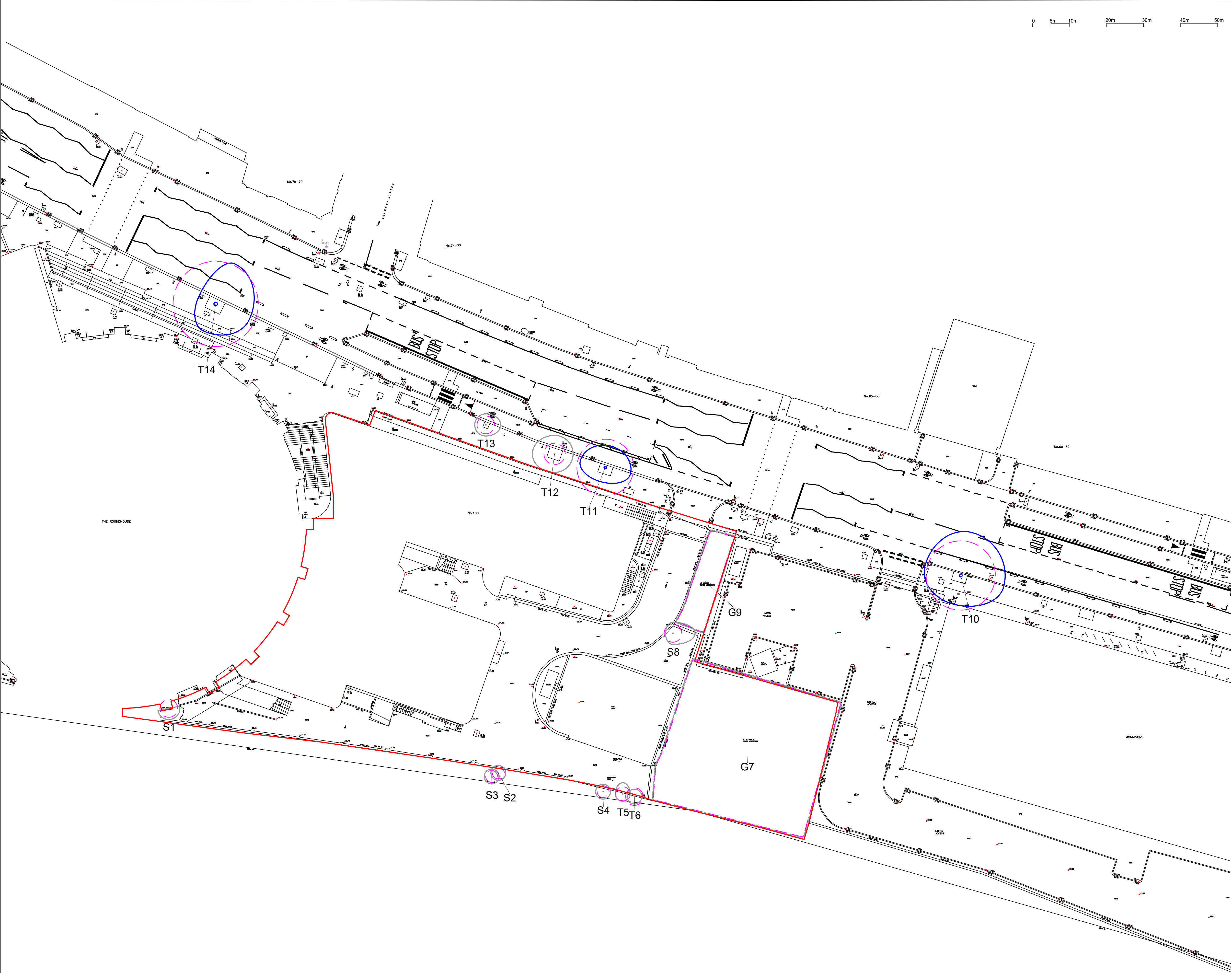
- 220952-P-10b Tree Survey
- 220952-P-11a Existing Layout and Tree Works
- 220952-P-12a Proposed Layout
- 220952-P-13 Tree Protection Plan

APPENDIX B

- 220952-PD-10 Tree Schedule

APPENDIX A

- 220952-P-10b Tree Survey
- 220952-P-11a Existing Layout and Tree Works
- 220952-P-12a Proposed Layout
- 220952-P-13 Tree Protection Plan



BS 5837:2012 TREE RETENTION CATEGORIES

Canopy spread (m)
Tree Stem
Unique tree identification number
Root Protection Area (RPA)

Group canopy extents shown in their retrospective retention category.
Unique group identification number
Root Protection Area (RPA)

Category A
Trees and groups of high quality with an estimated remaining life expectancy of at least 40 years.

Category B
Trees and groups of moderate quality with an estimated remaining life expectancy of at least 20 years.

Category C
Trees and groups of low quality with an estimated remaining life expectancy of at least 10 years or young trees with a stem diameter below 150mm.

Category U
Those in such a condition that the tree cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.

BS5837 Root Protection Areas
Precautionary areas within which tree roots and soil structure must be protected. All works within these areas will require special methods of work.

Application Site boundary.

b	31.01.24	Red line updated	HR
a	10.01.24	Red line added	HR
rev	date	description	drawn by

Base Drawing:0994-T Topographical Survey
Title
Tree Survey

Client
Regal London

Project
100 Chalk Farm Road, London, NW1 8EH

Date	Drawn by	Authorised
17.10.2022	HR	LD

Drawing No	Rev	Scale
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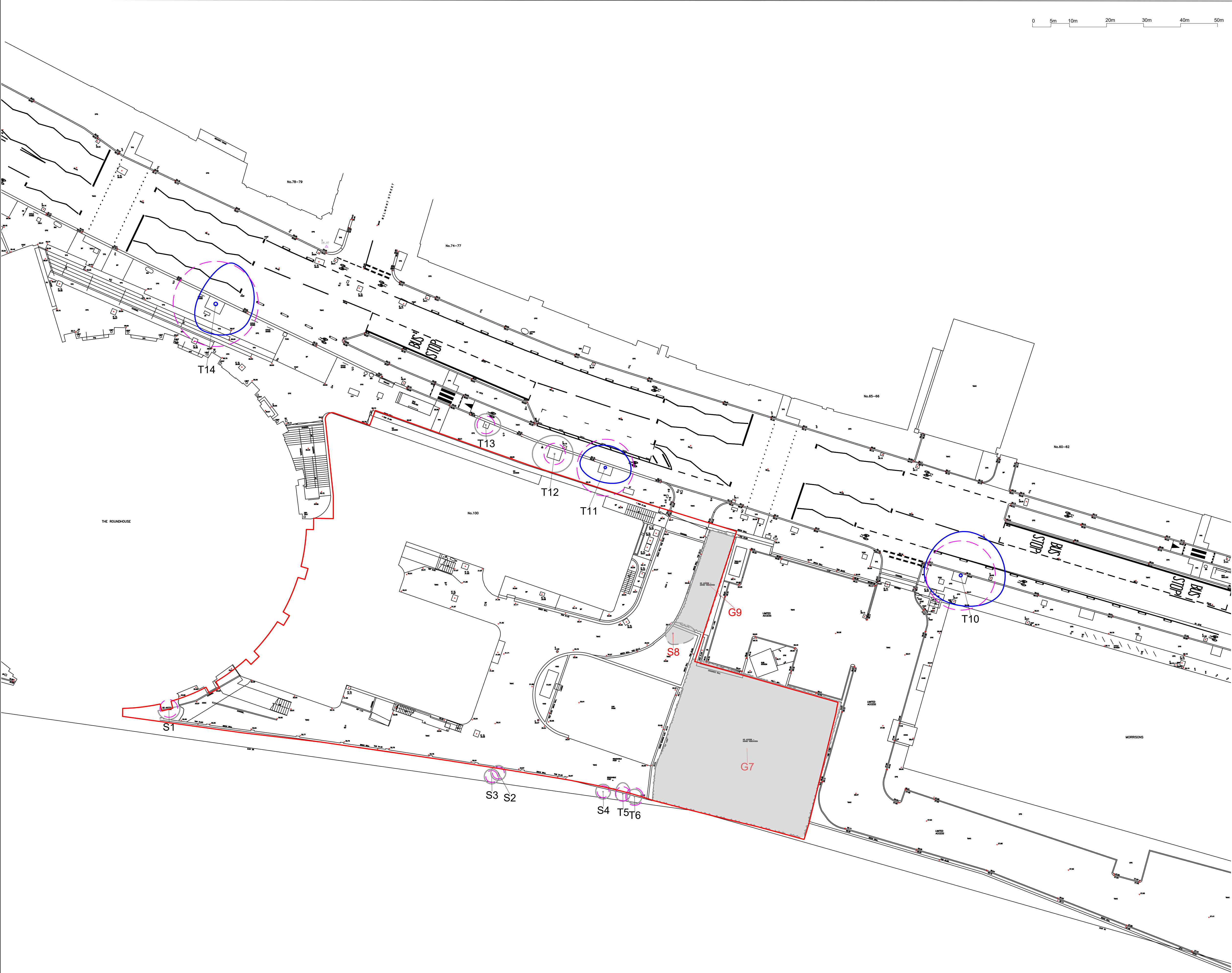


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BS 5837:2012 TREE RETENTION CATEGORIES

- Canopy spread (m)
- Tree Stem
- Unique tree identification number
- Root Protection Area (RPA)
- Group canopy extents shown in their retrospective retention category.
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- Root Protection Area (RPA)
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Those in such a condition that the tree cannot realistically be retained as living trees in the context of the current land use for longer than 10 years.
- BS5837 Root Protection Areas
Precautinary areas within which tree roots and soil structure must be protected. All works within these areas will require special methods of work.
- Application Site boundary.
- Trees and groups to be removed shown shaded grey and dashed.

a	31.01.24	Red line updated	HR
rev	date	description	drawn by
Base Drawing:0994-T Topographical Survey			
Title			
Existing Layout and Tree Works Plan			
Client			
Regal London			
Project			
100 Chalk Farm Road, London, NW1 8EH			
Date	08.01.2024	Drawn by	HR
		Authorised	LD
Drawing No	220952-P-11	Rev	-
		Scale	1:250@A1

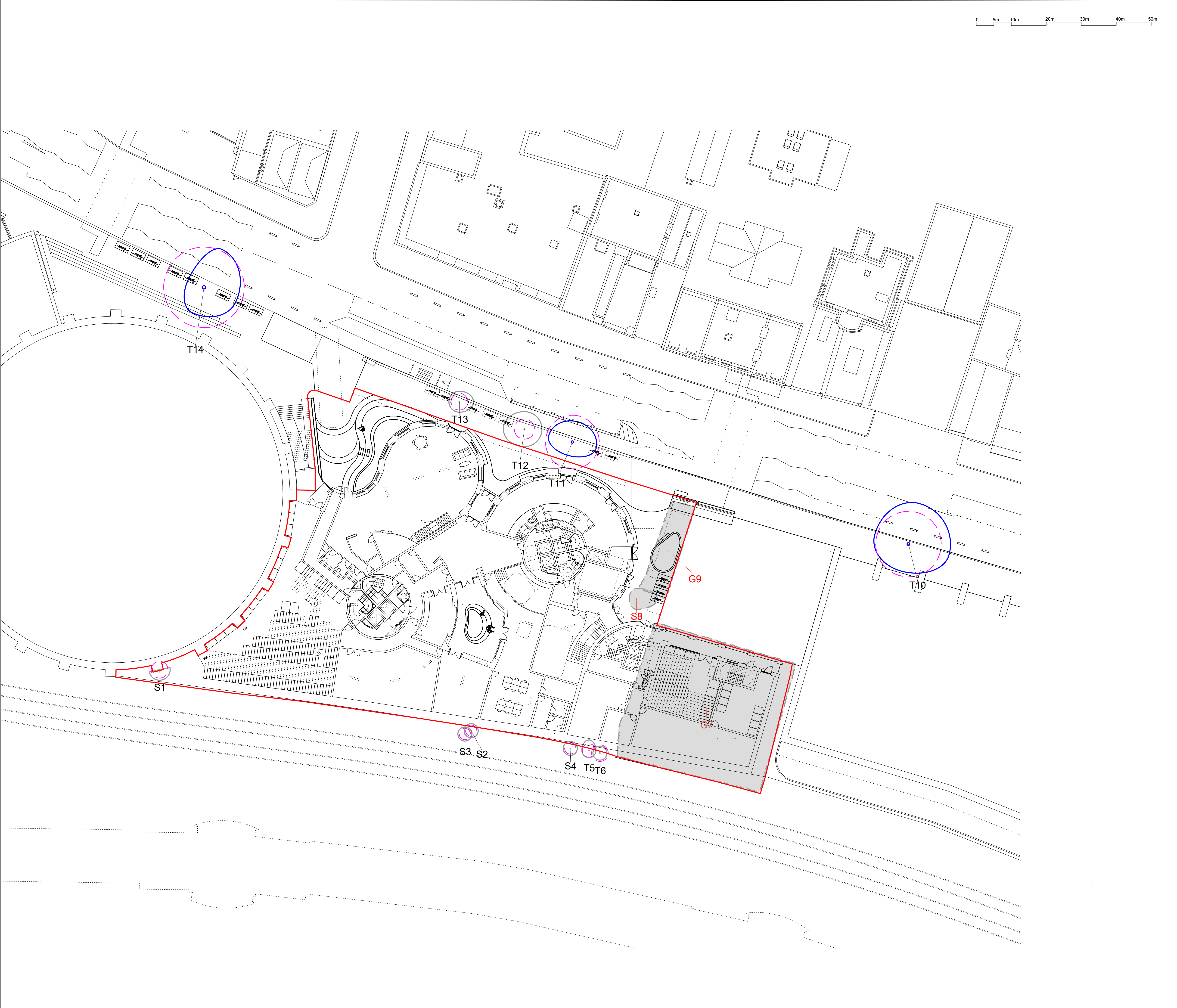


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BS 5837:2012 TREE RETENTION CATEGORIES

Canopy spread (m)
Tree Stem
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Group canopy extents shown in their retrospective retention category.
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BS5837 Root Protection Areas
Precautionary areas within which tree roots and soil structure must be protected. All works within these areas will require special methods of work.

Application Site boundary.

Trees and groups to be removed shown shaded grey and dashed.

a	31.01.24	Red line updated	HR
rev	date	description	drawn by
Base Drawing: 356_P20.100			
Title			
Proposed Layout and Tree Works Plan			
Client			
Regal London			
Project			
100 Chalk Farm Road, London, NW1 8EH			
Date		Drawn by	Authorised
08.01.2024		HR	LD
Drawing No		Rev	Scale
220952-P-12		a	1:250@A1



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General Arboricultural Method Statement

TREE WORKS

Only the tree works specified within this report may be undertaken, after the appropriate planning consents have been acquired and in order to implement the consent. In the event of any uncertainty regarding tree works, the arboriculturist will be consulted and where appropriate the Local Planning Authority.

All tree works will be undertaken, in accordance with the best-practice recommendations provided in BS 3998:2010. The statutory responsibilities as outlined in the Wildlife and Countryside Act 1981 (as amended) and the Habitat Regulations 2010 will also be complied with.

TREE PROTECTION FENCING

The tree protection fencing and (where appropriate) ground protection, will be installed as specified within this plan, prior to the commencement of any demolition and construction works. No plant or materials will be delivered to site prior to the construction of the tree protective fencing other than those required to install the tree protection fencing. On every third panel, a sign will be fixed that states "Tree Protection Zone (CEZ). Keep out. Any incursion into this area must be agreed in advance with the arboriculturist and Local Planning Authority." An example of this sign is provided within this plan. The position of the tree protection fencing must not be amended and no individual panels will be uncoupled, without the agreement of the arboriculturist and/or Local Planning Authority.

SERVICES AND DRAINAGE

The installation of drainage runs, manholes, storage tanks, and utilities will be positioned outside the root protection areas of retained trees. If the installation of new services and drainage runs are required within the root protection areas (RPAs) of retained trees, all methods of working will follow the guidance within Table 3 of BS 5837 or the National Joint Utilities Group's (NJUG) Guidelines for the planning, installation and maintenance of utility apparatus in proximity to trees (volume 4, issue 2).

Excavation works within the RPAs of retained trees will be undertaken manually with the use of hand tools only (under the supervision of the arboriculturist), unless otherwise agreed in advance by the arboriculturist. It is recommended that an air lance - and if required a soil vacuum - is used, to excavate service trenches within RPAs. If soil conditions are not suitable for this method of excavation, alternative hand tools can be used once agreed in advance by the arboriculturist.

All roots greater than 25mm in diameter will be retained and will immediately be wrapped in bessian or another appropriate material, to prevent desiccation and temperature fluctuations. Roots will be pushed aside to allow for runs to be installed, where this is practical and without causing root damage.

No machinery will be permitted within the CEZ, at any time, unless agreed in advance with the arboriculturist.

NO-DIG CONSTRUCTION AREAS

Areas that will require no-dig methods of construction are shown within this plan. Working methods within these areas will comply with the details outlined in the main report and in advance of works being undertaken will be agreed with the arboriculturist.

ARBORICULTURAL CLERK OF WORKS

Attendance by the arboriculturist on Site is required, as per the specifications outlined within the Report to which this plan is appended.

It will be the responsibility of the main contractor (or other managing individual or organisation) to confirm the date and time of attendance, providing at least five working days of notice so that the project arboriculturist can confirm attendance.

GENERAL PROTECTION METHODS

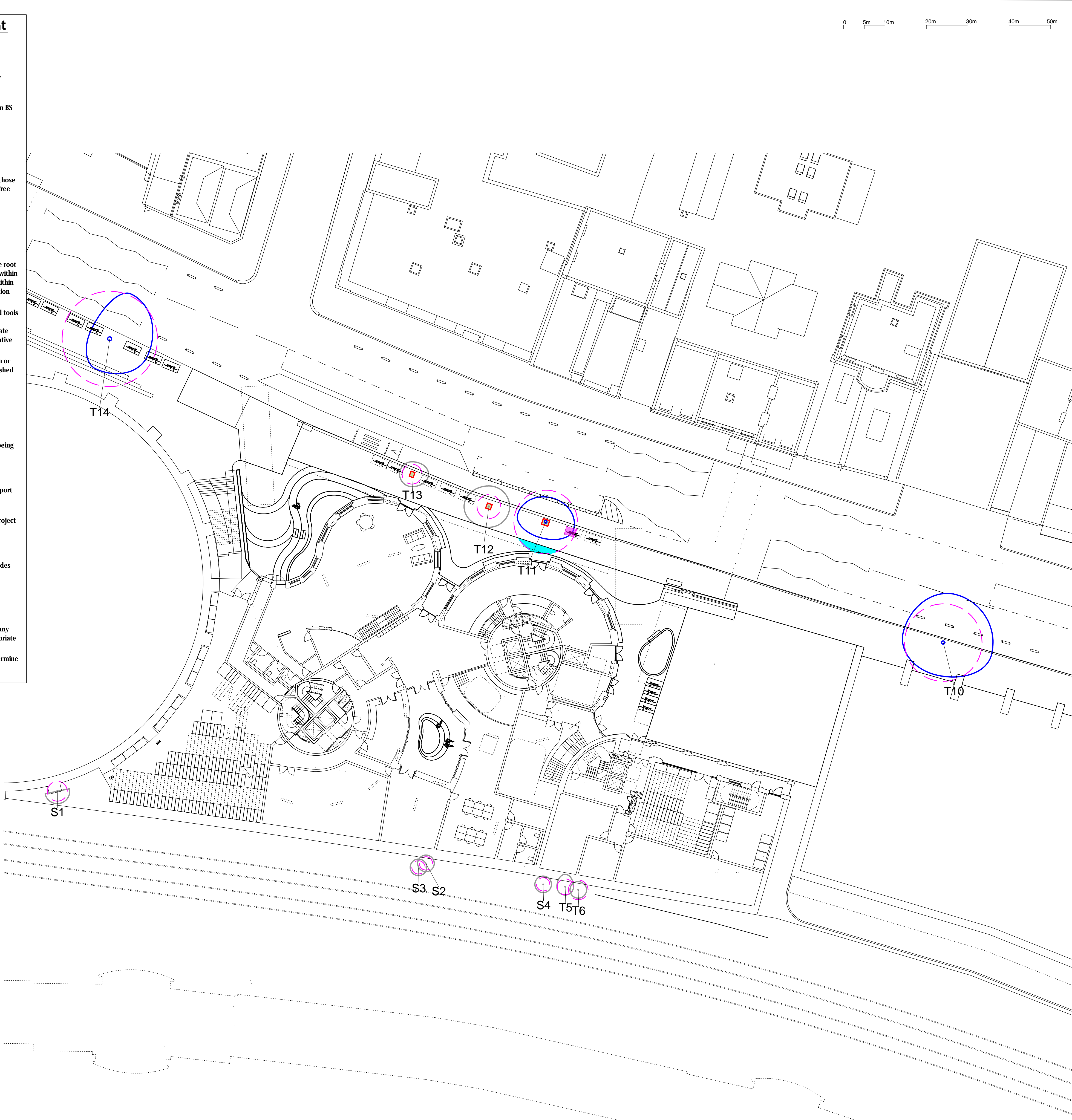
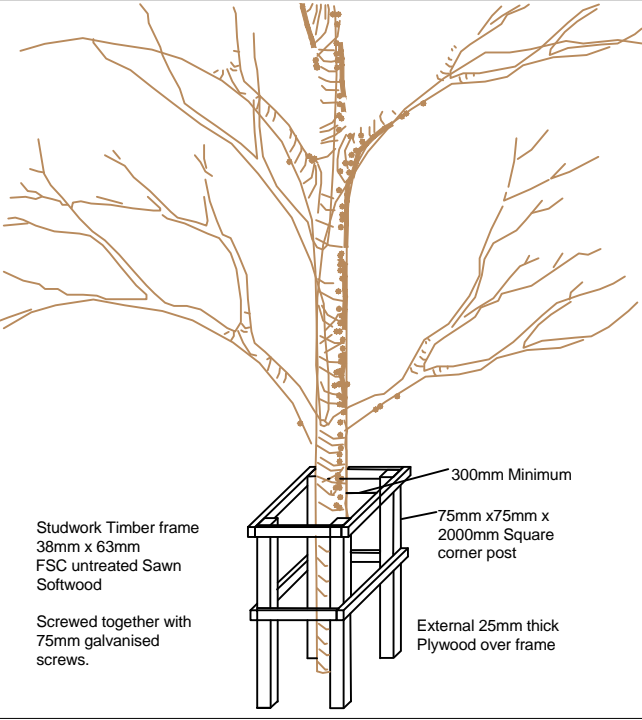
No fires will be permitted, within 20m of the crown of any tree or other area of vegetation that includes hedgerows and groups of trees.

No changes in soil level will occur, within the CEZs and RPAs, without agreement in advance with the arboriculturist.

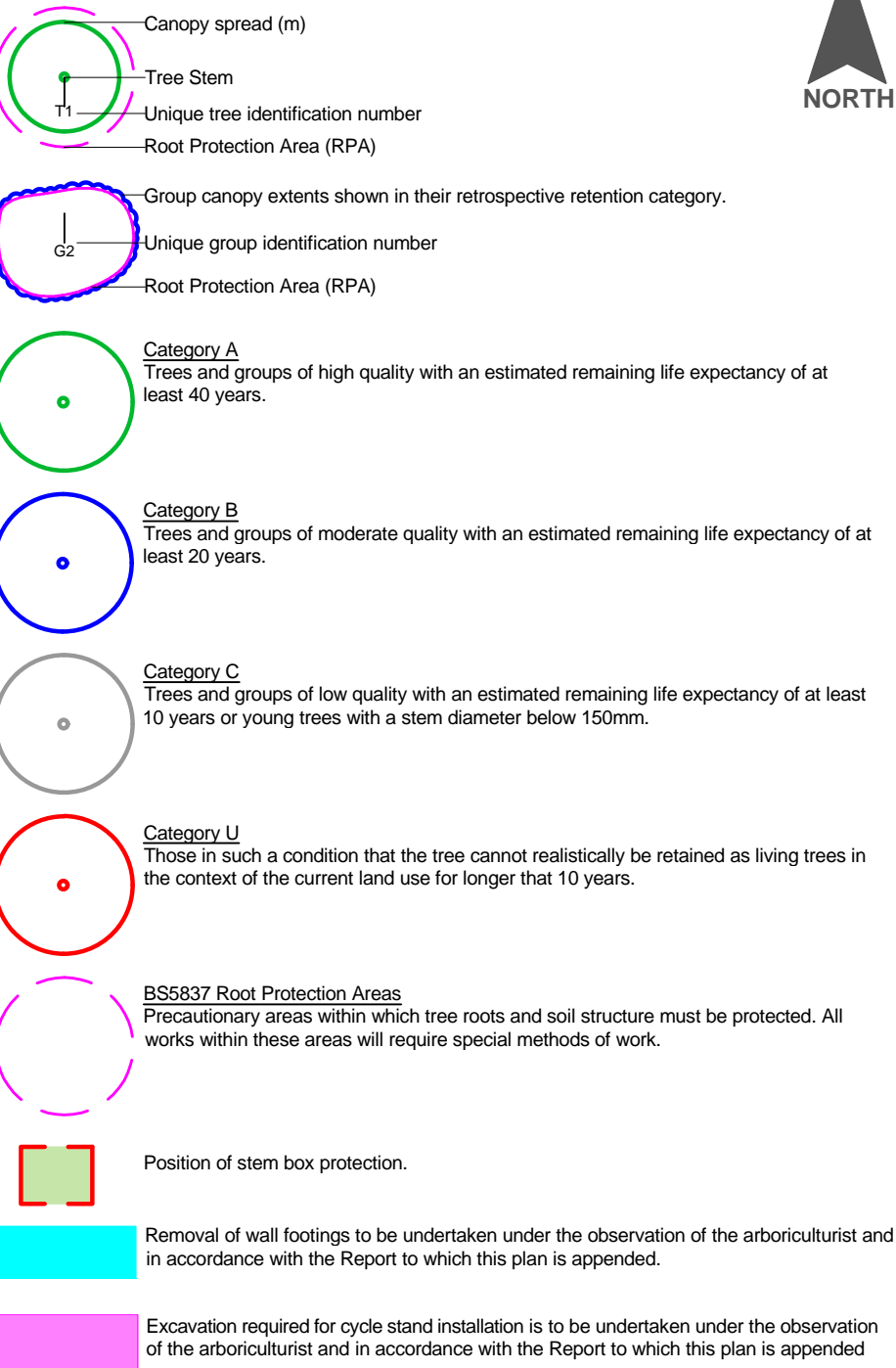
The CEZs will at all times remain free of liquids, materials, vehicles, plant, and personnel, without agreement in advance with the arboriculturist.

Any liquid materials spilled on site will immediately be cleared up. If liquids are spilled within 2m of any CEZ or RPA, the incident will immediately be reported to the arboriculturist, to determine the appropriate response.

All damage to trees and other vegetation will immediately be reported to the arboriculturist, to determine the appropriate response.



BS 5837:2012 TREE RETENTION CATEGORIES



rev	date	description	drawn by
Base Drawing:	356_P20.100		
Title			
Tree Protection Plan			
Client			
Regal London			
Project			
100 Chalk Farm Road, London, NW1 8EH			
Date	08.01.2024	Drawn by	HR
		Authorised	LD
Drawing No	220952-P-13	Rev	-
		Scale	1:250@A1



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APPENDIX B

- 220952-PD-10 Tree Schedule

220952 - 100 Chalk Farm Road

Tree ID	No. Species	Height (m)	Stem diameter (cm)	No. of Stems	CROWN SPREAD (m)								Crown clearance (m)	L.B. (m)	Life stage	Condition Notes	Survey date	RPA (m ²)	RPR (m)	Life expectancy (yrs)	BS Category
					N	NE	E	SE	S	SW	W	NW									
Shrub S1	1 Buddleja sp. (Buddleja)	3.0	10	1	0.0		1.5		1.5		1.5		0.0		Semi Mature	Structural condition Good. Physiological condition Good.	13/10/2022	4.5	1.2	10-20	C1
Shrub S2	1 Salix caprea (Goat Willow/Great Sallow)	3.0	6 COM	5	1.0		1.0		1.0		1.0		0.0		Semi Mature	Structural condition Good. Physiological condition Good. Off-Site.	13/10/2022	2.0	0.8	10-20	C1
Shrub S3	1 Salix caprea (Goat Willow/Great Sallow)	3.0	6 COM	5	1.0		1.0		1.0		1.0		0.0		Semi Mature	Structural condition Good. Physiological condition Good. Off-Site.	13/10/2022	2.0	0.8	10-20	C1
Shrub S4	1 Salix caprea (Goat Willow/Great Sallow)	3.0	6 COM	5	1.0		1.0		1.0		1.0		0.0		Semi Mature	Structural condition Good. Physiological condition Good. Off-Site.	13/10/2022	2.0	0.8	10-20	C1
Tree T5	1 Betula pendula (Silver Birch)	6.0	8	1	1.5		1.0		1.0		1.0		1.5		Young	Structural condition Good. Physiological condition Good. Crown conflict - Structure / boundary / wire / tree. Off-Site.	13/10/2022	2.9	1.0	20-40	C1
Tree T6	1 Quercus ilex (Holm Oak)	6.0	9 COM	2	1.0		1.0		1.0		1.0		1.5		Young	Structural condition Good. Physiological condition Good. Crown conflict - Structure / boundary / wire / tree. Off-Site.	13/10/2022	4.4	1.2	20-40	C1

Stem **green** Estimated valueStem **AVE** Average stem diameter for tree groupsStem **COM** Combined stem diameter in accordance with BS5837

L.B. Height of lowest branch attachment (m) - where relevant

The survey information in this schedule has been gathered following a BS5837 survey for planning purposes. Where hazardous trees have been noted recommendations for works may have been made but this survey cannot be relied upon as a full health and safety assessment of the trees.

220952 - 100 Chalk Farm Road

Tree ID	No. Species	Height (m)	Stem diameter (cm)	No. of Stems	CROWN SPREAD (m)								Crown clearance (m)	L.B. (m)	Life stage	Condition Notes	Survey date	RPA (m ²)	RPR (m)	Life expectancy (yrs)	BS Category
Group G7	1 Quercus ilex (Holm Oak)	12.0	10 AVE	1									0.0		Young	Structural condition Good. Physiological condition Good. Unmanaged area of land.	13/10/2022	4.5	1.2	20-40	C2
	2 Betula pendula (Silver Birch)																				
	5 Pyracantha coccinea (Pyracantha)																				
	5 Populus sp. (Poplar sp.)																				
	20 Buddleja sp. (Buddleja)																				
Shrub S8	1 Buddleja sp. (Buddleja)	3.0	10	1	1.5		3.0		1.5		1.0		0.0		Semi Mature	Structural condition Good. Physiological condition Good.	13/10/2022	4.5	1.2	10-20	C1
Group G9	10 Buddleja sp. (Buddleja)	3.0	5 AVE	1									0.0		Young	Structural condition Good. Physiological condition Good. Unmanaged area of land.	13/10/2022	1.1	0.6	20-40	C2
Tree T10	1 Platanus x hispanica (London Plane)	12.0	39	1	6.0		6.0		4.0		5.0		3.0		Early Mature	Structural condition Good. Physiological condition Good. Arboricultural work - Historic. Pollard - Regrown.	13/10/2022	68.8	4.7	40+	B1/B2
Tree T11	1 Platanus x hispanica (London Plane)	11.0	32	1	3.0		3.5		2.0		3.5		3.0		Semi Mature	Structural condition Good. Physiological condition Good. Arboricultural work - Recent. Bark wound - Major. Bark wound - Mechanical. Pollard - Regrown.	13/10/2022	46.3	3.8	40+	B1
Tree T12	1 Acer campestre (Field Maple)	7.0	12	1	2.5		2.5		2.5		3.0		2.0		Semi Mature	Structural condition Good. Physiological condition Good.	13/10/2022	6.5	1.4	40+	C1

Stem **green** Estimated value

Stem **AVE** Average stem diameter for tree groups

Stem **COM** Combined stem diameter in accordance with BS5837

L.B. Height of lowest branch attachment (m) - where relevant

The survey information in this schedule has been gathered following a BS5837 survey for planning purposes. Where hazardous trees have been noted recommendations for works may have been made but this survey cannot be relied upon as a full health and safety assessment of the trees.

Page 2 of 6

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220952 - 100 Chalk Farm Road

Tree ID	No. Species	Height (m)	Stem diameter (cm)	No. of Stems	CROWN SPREAD (m)								Crown clearance (m)	L.B. (m)	Life stage	Condition Notes	Survey date	RPA (m ²)	RPR (m)	Life expectancy (yrs)	BS Category
					N	NE	E	SE	S	SW	W	NW									
Tree T13	1 Acer campestre (Field Maple)	5.0	10	1	1.5		2.0		1.5		1.5		2.0		Young	Structural condition Fair. Physiological condition Fair. Branch - Broken. Bark wound - Major. Bark wound - Physical damage or vandalism.	13/10/2022	4.5	1.2	10-20	C1
Tree T14	1 Platanus x hispanica (London Plane)	14.0	48	1		6.0		5.0		4.0		2.5	5.0		Early Mature	Structural condition Good. Physiological condition Good. Arboricultural work - Recent. Pollard - Regrown.	13/10/2022	104.2	5.8	40+	B1

Stem **green** Estimated value
Stem **AVE** Average stem diameter for tree groups
Stem **COM** Combined stem diameter in accordance with BS5837
L.B. Height of lowest branch attachment (m) - where relevant

The survey information in this schedule has been gathered following a BS5837 survey for planning purposes. Where hazardous trees have been noted recommendations for works may have been made but this survey cannot be relied upon as a full health and safety assessment of the trees.

Summary table with retention category

	Group	Shrub	Tree	Total
B1	0	0	2	2
B1/B2	0	0	1	1
C1	0	5	4	9
C2	2	0	0	2
Total	2	5	7	14

Summary table with life stage

	Group	Shrub	Tree	Total
Early Mature	0	0	2	2
Semi Mature	0	5	2	7
Young	2	0	3	5
Total	2	5	7	14

Category and definition	Criteria (including subcategories where appropriate)			Identification on plan
Trees unsuitable for retention (see note)				
Category U Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years	<ul style="list-style-type: none">* Trees that have a serious, irremediable, structural defect, such that their early loss is expected due to collapse, including those that will become unviable after removal of other category U trees (e.g. where, for whatever reason, the loss of companion shelter cannot be mitigated by pruning)* Trees that are dead or are showing signs of significant, immediate, and irreversible overall decline* Trees infected with pathogens of significance to health and/or safety of other trees nearby, or very low quality trees suppressing adjacent trees of better quality NOTE Category U trees can have existing or potential conservation value which it might be desirable to preserve; see 4.5.7			RED
	1 Mainly arboricultural qualities	2 Mainly landscape qualities	3 Mainly cultural values, including conservation	
Trees to be considered for retention				
Category A Trees of high quality with an estimated remaining life expectancy of at least 40 years	Tree that are particularly good examples of their species, especially if rare or unusual; or those that are essential components of groups or formal or semi-formal arboricultural features (e.g. the dominant and/or principal trees within an avenue).	Trees, groups or woodlands of particular visual importance as arboricultural and/or landscape features.	Trees, groups or woodlands of significant conservation, historical, commemorative or other value (e.g. veteran trees or wood-pasture).	GREEN
Category B Trees of moderate quality with an estimated remaining life expectancy of at least 20 years	Trees that might be included in category A, but are downgraded because of impaired condition (e.g. presence of significant though remediable defects, including unsympathetic past management and storm damage), such that they are unlikely to be suitable for retention for beyond 40 years; or trees lacking the special quality necessary to merit the category A designation.	Trees present in numbers, usually growing as groups or woodlands, such that they attract a higher collective rating than they might as individuals; or trees occurring as collectives but situated so as to make little visual contribution to the wider locality.	Trees with material conservation or other cultural value.	BLUE
Category C Trees of low quality with an estimated remaining life expectancy of at least 10 years, or young trees with a stem diameter below 150 mm	Unremarkable trees of very limited merit or such impaired condition that they do not qualify in higher categories.	Trees present in groups or woodlands, but without this conferring on them significantly greater collective landscape value; and/or trees offering low or only temporary/transient landscape benefits.	Trees with no material conservation or other cultural value.	GREY



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