

Ref 2277 – R2 – Rev A

October 2022

**Structural Report for
the redevelopment of
26 Netherhall Gardens, NW3
Side Extension**

Introduction

I am a Chartered Engineer with over 40 years' experience of structural design and review of residential and commercial properties. I am a fellow of both the Institution of Civil Engineers and the Institute of Building.

I have been asked to produce a Structural Report to support the planning application for the redevelopment of the side extension to 26 Netherhall Gardens. The proposed extension comprises a 3 storey traditional build structure with the new ground floor level at the existing garage floor level, there is no basement proposed, though the new ground floor will have access to a terrace area that will be form part of the extended rear lightwell within the existing garden.

Existing Site and Buildings

I have been provided with survey drawings and drawings of the existing and proposed layouts which are in Appendix 1.

- I. The site address is 26 Netherhall Gardens, London NW3 5TL and is located at approximate National Grid reference 550453 178948, In the London Borough of Camden.
- II. The property is believed to have been built around 1879 to 1888. A modern garage and side extension was added in the late 1950'6.
- III. The property is not listed but lies in the Netherhall and Fitzjohns Conservation area.
- IV. The surrounding properties are large detached residential properties with a number converted into flats. The general nature of the area is residential with various retail outlets 200m away along the Finchley Road.
- V. There are several Network Rail tunnels, the Belsize Old and New tunnels some 100m to the North and 100m to the south of the site. These tunnels are not significant in respect of the proposed development. See layout below.
- VI. A site visit has been undertaken to ascertain the structural make-up of the building and the general site arrangements.

- a. 26 Netherhall gardens is a three-storey detached property with Lower Ground, Ground and First Floors. There is additional storage in the attic space.
 - b. The property has been converted into flats, at some point in the past and a modern garage and side extension built to the side.
 - c. The local area is on a hillside setting which slopes down in a generally east-west direction towards Finchley Road (see figure below)
 - d. The lower ground floor is raised some 1.0m to 1.5m from general street level with the ground floor some 3.5m to 4.0m above general street level.
 - e. The property has a raised front garden with steps up to the ground floor entrance and a modern hard standing front drive with access to Netherhall Gardens.
 - f. The rear garden slopes up from the retaining wall, enclosing the rear lightwell, to the rear boundary.
 - g. The site lies between 28 Netherhall gardens on the left and 24A & 24 Netherhall Gardens to the right. To the rear is a singles storey building belonging to 47 Maresfield Gardens and Netherhall gardens to the front.
 - h. Access to the site is directly off Netherhall Gardens.
 - i. There are several mature trees on the site which have been surveyed by Crown Arboricultural Consultants.
- VII. Existing structures generally comprise loadbearing masonry frame with timber floors and roof.
- VIII. From trial holes undertaken the foundations are shallow stepped masonry footings on concrete levelling strips up to 600mm deep.

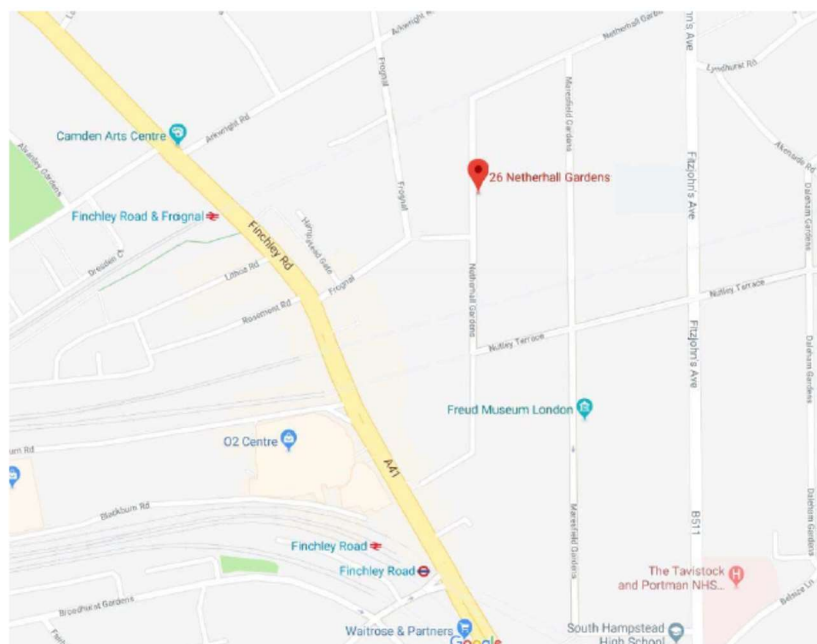


Figure 1. Site Location Map



Figure 2. Aerial View of Site looking North



Figure 3 - Approximate Ground Contours

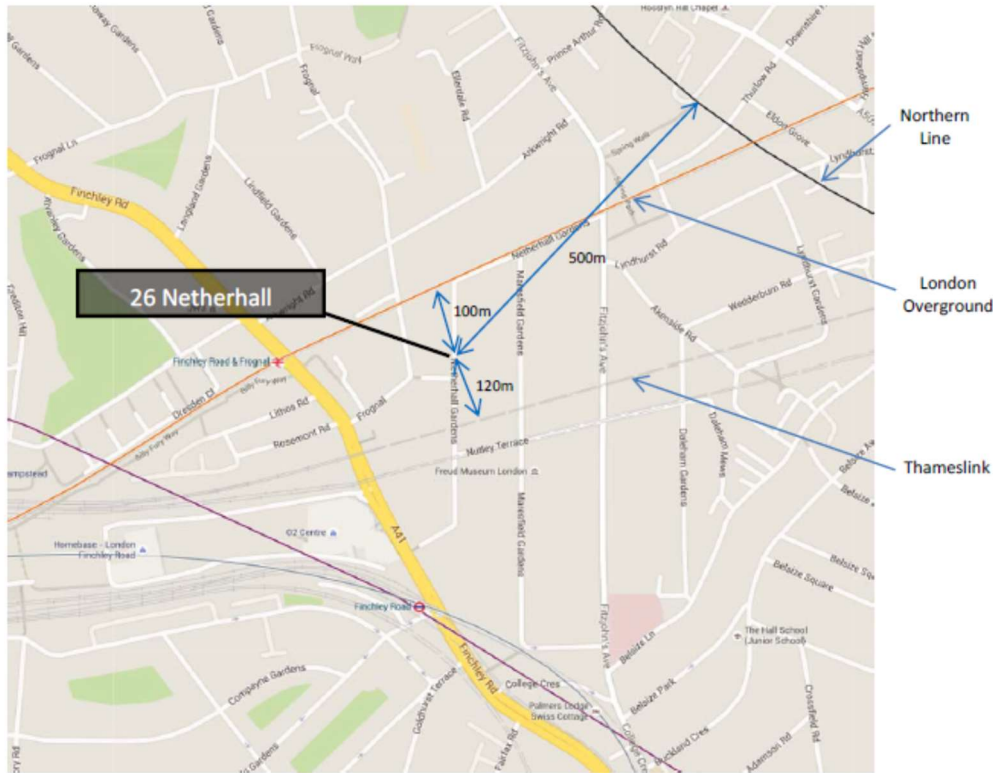


Figure 4 – Map of Nearby Below Ground Tunnels

Site Ground Conditions

The following is a brief description of the site ground conditions based upon the Site Analytical Services “Phase 1 Preliminary Risk Assessment” (Ref 14/22068-1) and “Report on a Ground Investigation” (Ref 14/22068)

The site is classified by the Environmental Agency as ‘non-productive’ strata.

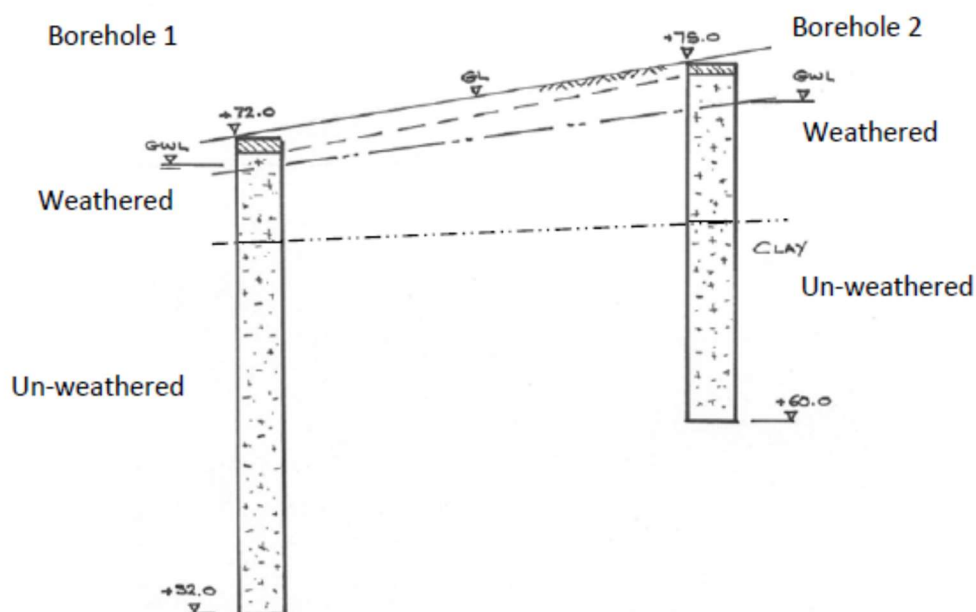
In summary the site ground profile comprises:

Strata	Depth BGL (m)	Ground Water (m BGL)	Angle of Shearing Resistance (ϕ)	Bulk Weight kN/m^3	BH1 Bearing Pressure (kpa)	Allowable Pressure
Made Ground	0.00 – 1.50	1.14-1.88	0°	20	-	
Weathered London Clay	0.12 – 9.20		21°	20	65* @ 2.25m BGL 108* @ 4.25m BGL 100* @ 6.75m BGL	
Un-weathered London Clay	6.00 – 20.00+		21°	20	125* @ 9.75m BGL	

Figure 5 – Summary of Ground Conditions

*Based on a factor of 3 against soil compressive capacity given in SAS report

A small area of contamination is noted in the report. The contamination is in the made ground with elevated concentrations of Benzo(a)pyrene, Benzo(a)anthracene and Benzo(a)fluoranthene indicated in one concentrated spot which exceed the residential end-user protection limit. Remedial measures will need to be reviewed as part of the development to protect human health and break exposure pathways for the localised area of contamination.



Description of works

The existing detached building is a substantial property built in the late 1800's with load bearing masonry walls and timber floors. The property comprises three floors including lower and upper ground floors. The Property has a significant number of trees to the front and side areas as outlined in the Assessment Feedback Plan produced by Crown Arboricultural Consultants which identifies the trees and associated Root protection areas, as attached to this report.

As part of the proposed works, it is intended that a 3 storey side extension is constructed with a flat on each level. The layout for this part of the development is attached in Appendix 1. The finish to the building is of traditional cavity wall construction to match the existing solid masonry development. The side extension is to be on the site of the existing 1950's side extension and garage with lower ground floor level to match the existing lower ground level.

The rear of the new development will extend into the rear garden with an extended lightwell and new external retaining wall.

The overall area of hard landscaping will be similar to the existing and efforts will be made to use sustainable drainage systems to minimise any run-off. This drainage will be designed and detailed by a specialist as the design is developed but will comprise a combination of rainwater harvesting tanks and storage of rainwater run-off in attenuation tanks on site.

Party Walls

The work involves the construction of the new building close to the boundary with 24A & 24 Netherhall Gardens with a fire escape and access route between the two properties. The foundations of the party / boundary wall to the rear of the property extend some 2.5 m below the existing ground level, so are well below the level of the new traditional strip footing foundations to the new development.

As the proposal does not include a basement it is not anticipated that the development will cause any significant localised ground movements and any that do occur will be less than Category 1 – very slight (CIRIA C850)

FLOOR CONSTRUCTION

To facilitate services, sound insulation, fire separation and underfloor heating the new development is to be constructed with concrete floors on profile metal decking as shuttering and reinforced to suit the fire condition. The metal decking will be supported by a steel frame built into the external walls and stair enclosure.

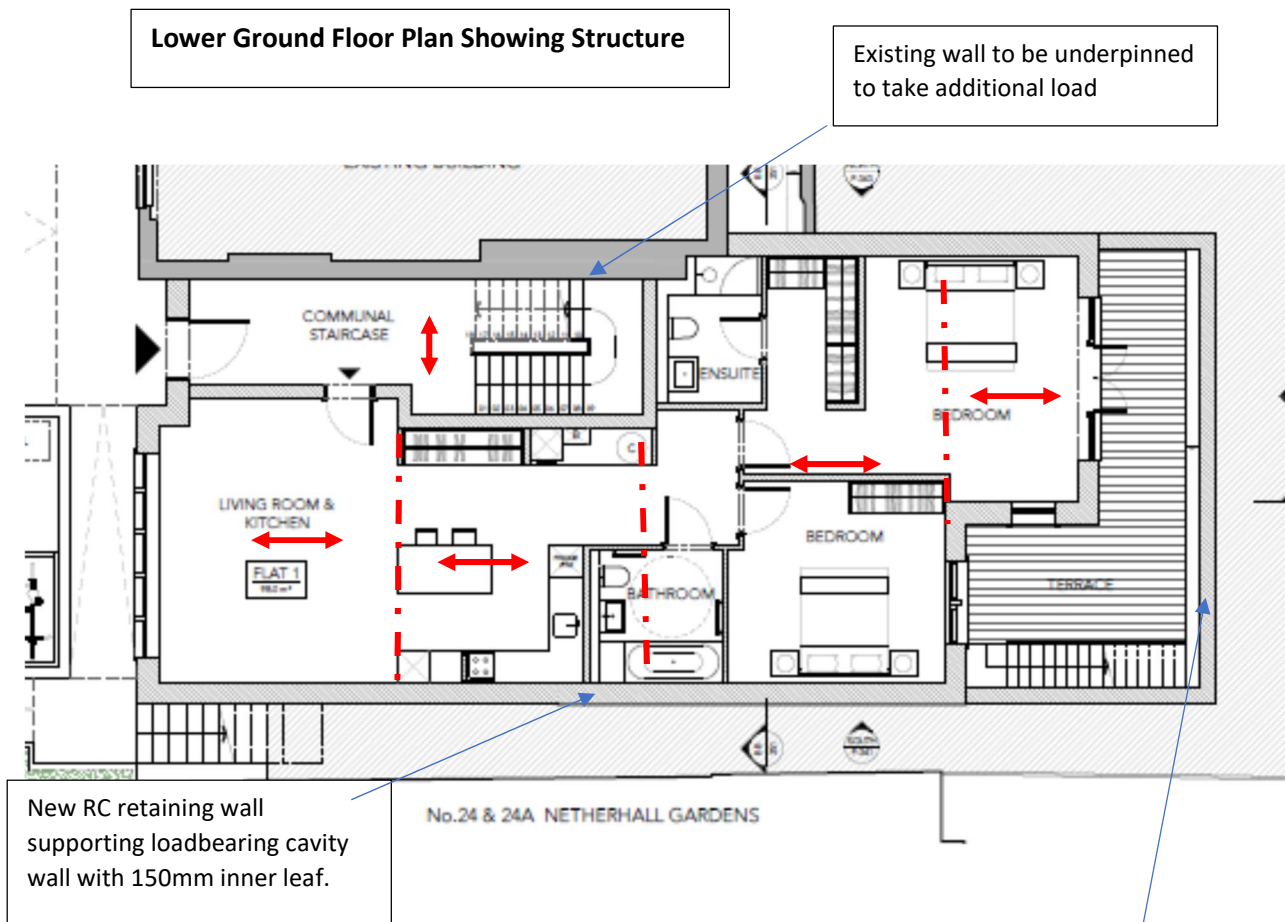
FOUNDATIONS

There are significant trees in the immediate area of the proposed work which would indicate that tree roots to some depth would be expected. Trial holes along the boundary have been excavated which show that the adjoining property and its rear extension have traditional foundations with 400 deep ranging in overall depth from ground level of 1600mm to 2400mm as the ground rises along the line of the boundary wall. The new ground level of the block is to be similar to the existing without any internal steps, so to match the existing foundations the new foundations will be approximately 1600mm below this level and significantly below the level affected by any trees so a traditional foundation can be considered for the extension to the property.

It will be necessary to construct a retaining wall under the new flank wall to support the new steps to the side of the extension against the boundary with 24A & 24 Netherhall Gardens. This retaining wall is of varying height up to 2.5m high with its base above the foundations to the adjacent property. The retaining wall will be constructed using reinforced concrete cast in an underpinning sequence as follows.

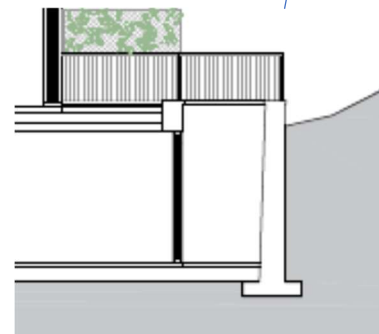
Excavate a 4m x 1.2 m wide section working from the front of the building to the rear and cast the new base and retaining wall. The excavation is to be supported with steel trench sheets restrained by steel props anchored into the retained ground.

It will be necessary to underpin the flank wall of 26 Netherhall gardens to accommodate the increased loading from the new side extension.

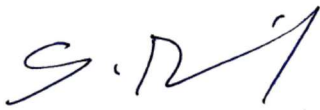


The rear retaining wall for the side extension will support the garden and give a lightwell to the lower ground floor of the side extension as shown in the section on the right. The proposed wall will retain the sloping garden and so will be 3.5m high and designed to support a retained height of 4.5 to take account of the sloping garden with a live load allowance of 5KN/m² to allow for the garden to be used by other residents of the block.

The proposed structural solution will involve the construction of a reinforced concrete retaining wall with a varying wall thickness from 300mm at the top to 500mm at the base to deal with the applied loads and to minimise deflection of the wall under load. The wall



will be designed with a heel for stability which will be backfilled with granular fill material to allow any ground water to drain away via the land drain at the base of the wall. Overall stability being achieved by the combined structure of the retaining wall incorporating a reinforced concrete slab forming the base of the lightwell and the structure of the proposed building to form a box.

A handwritten signature in blue ink, appearing to read 'S. R. Brunswick', with a stylized flourish at the end.

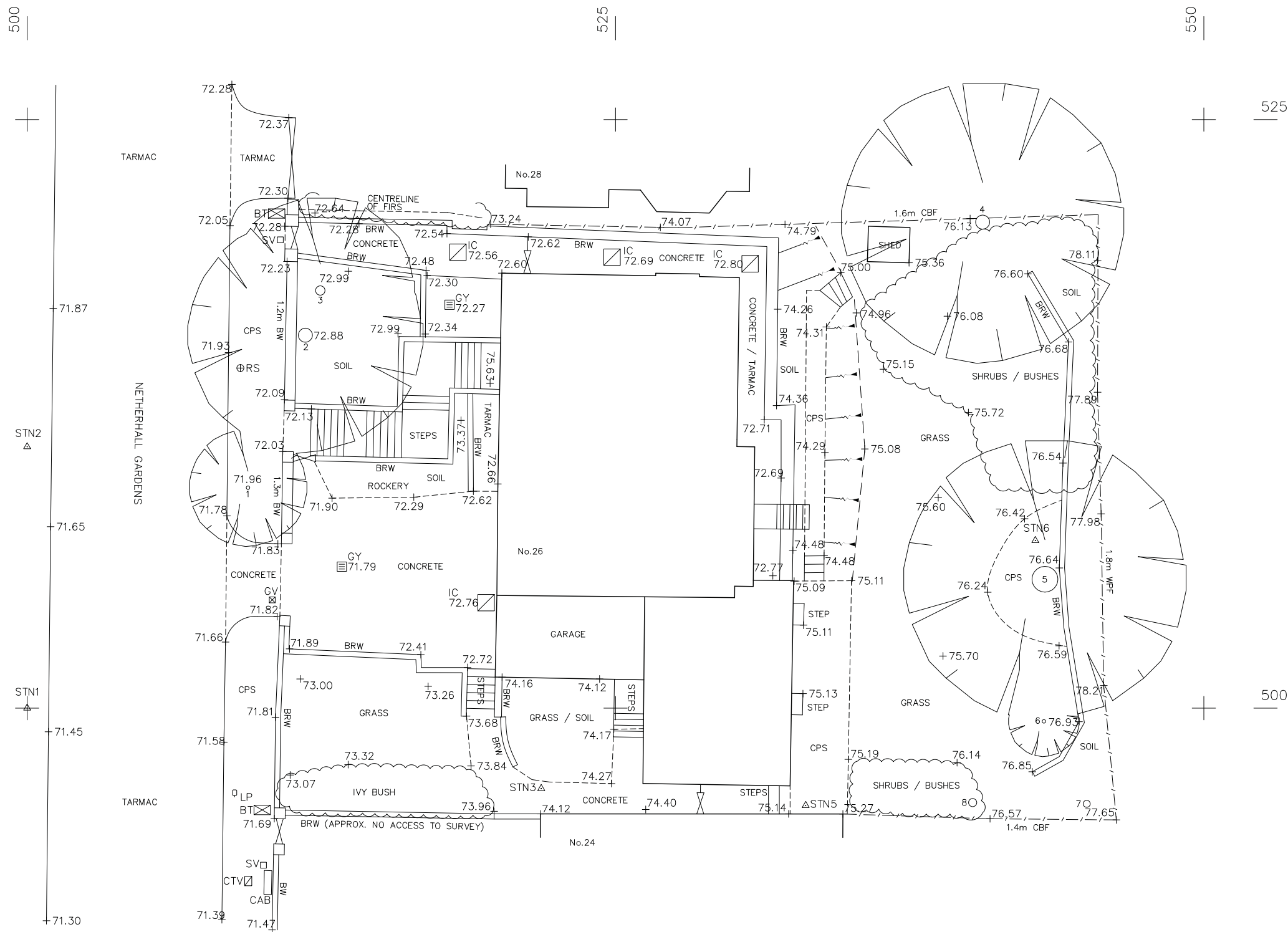
Steven Brunswick BSc., CEng, FICE., FCI OB

Appendix 1

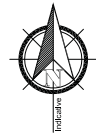
Site Survey

Existing Floor Plans

Side Extension Proposed layouts from TG STUDIO



Important Information:
All survey data has been undertaken by others.



TREE SCHEDULE				
NO.	GIRTH (dA)	SPREAD	HEIGHT	TYPE
1	0.15	5.00	8.00	CHERRY
2	0.60	10.00	8.00	?
3	0.40	8.00	10.00	ASH
4	0.60	12.00	12.00	OAK
5	1.10	12.00	12.00	OAK
6	0.15	3.00	3.00	?
7	0.30	0.00	3.00	?
8	0.35	0.00	4.00	?

Survey Grid: Based to a local arbitrary grid (by others)

Levelling: Relative to OSGB datum

Drawing Title:
GPS Survey

Site Address:
26 Netherhall Gardens
Hampstead NW3

Client:
Stuart Henley & Partners

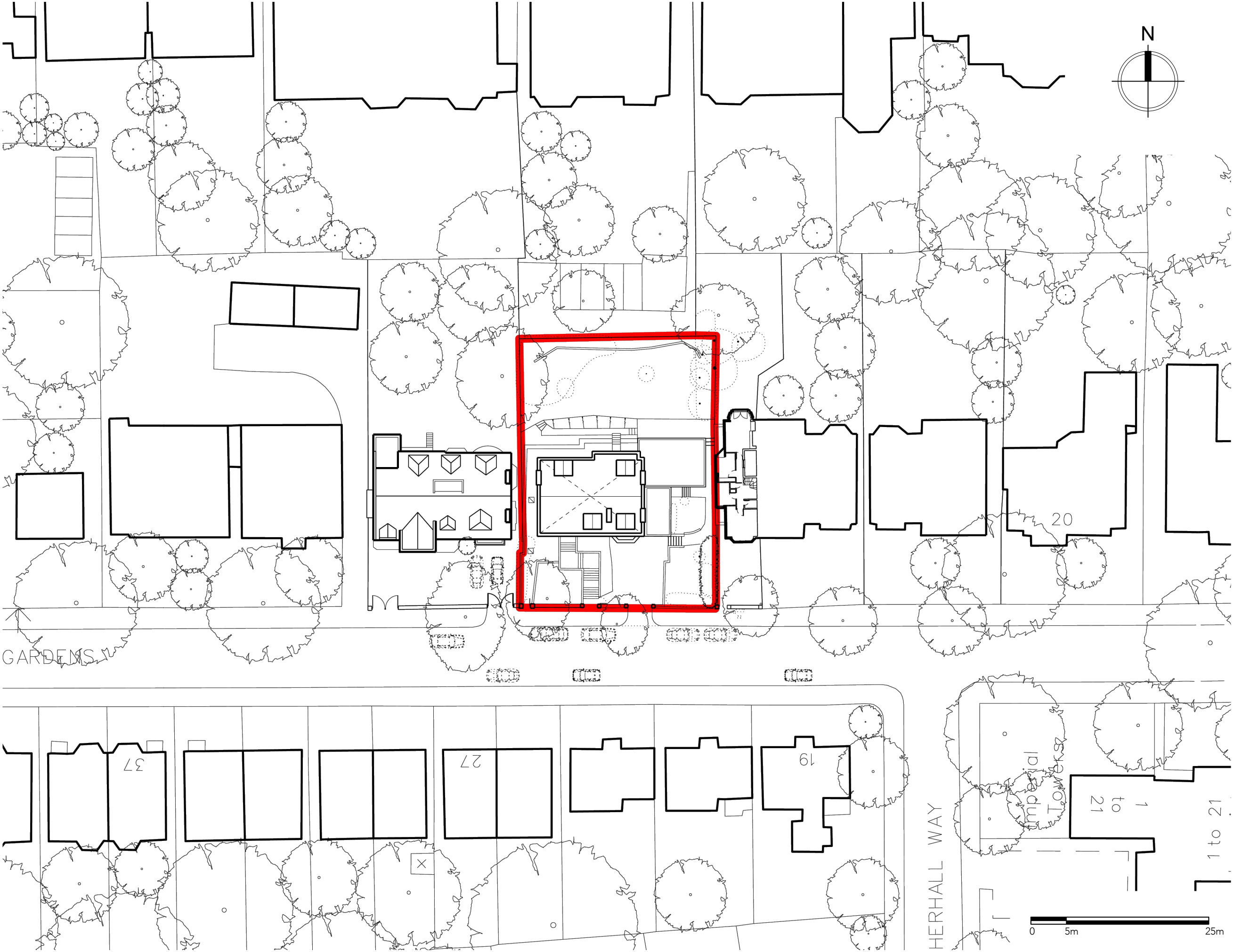
A: Building envelope amended 18-09-13

Surveyor	CD	Drawn By	WB	Verified By	AMF	Date	08.09.13
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CM No:	CM113413	Rev:	A
Scale:	1:100m @ A1	Date:	September 2013



Cadmap Ltd
67 Meadway Drive
Horsell, Woking
Surrey, GU21 4TF
T: 01483 429385
E: info@cadmap.co.uk
W: www.cadmap.co.uk



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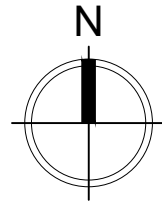
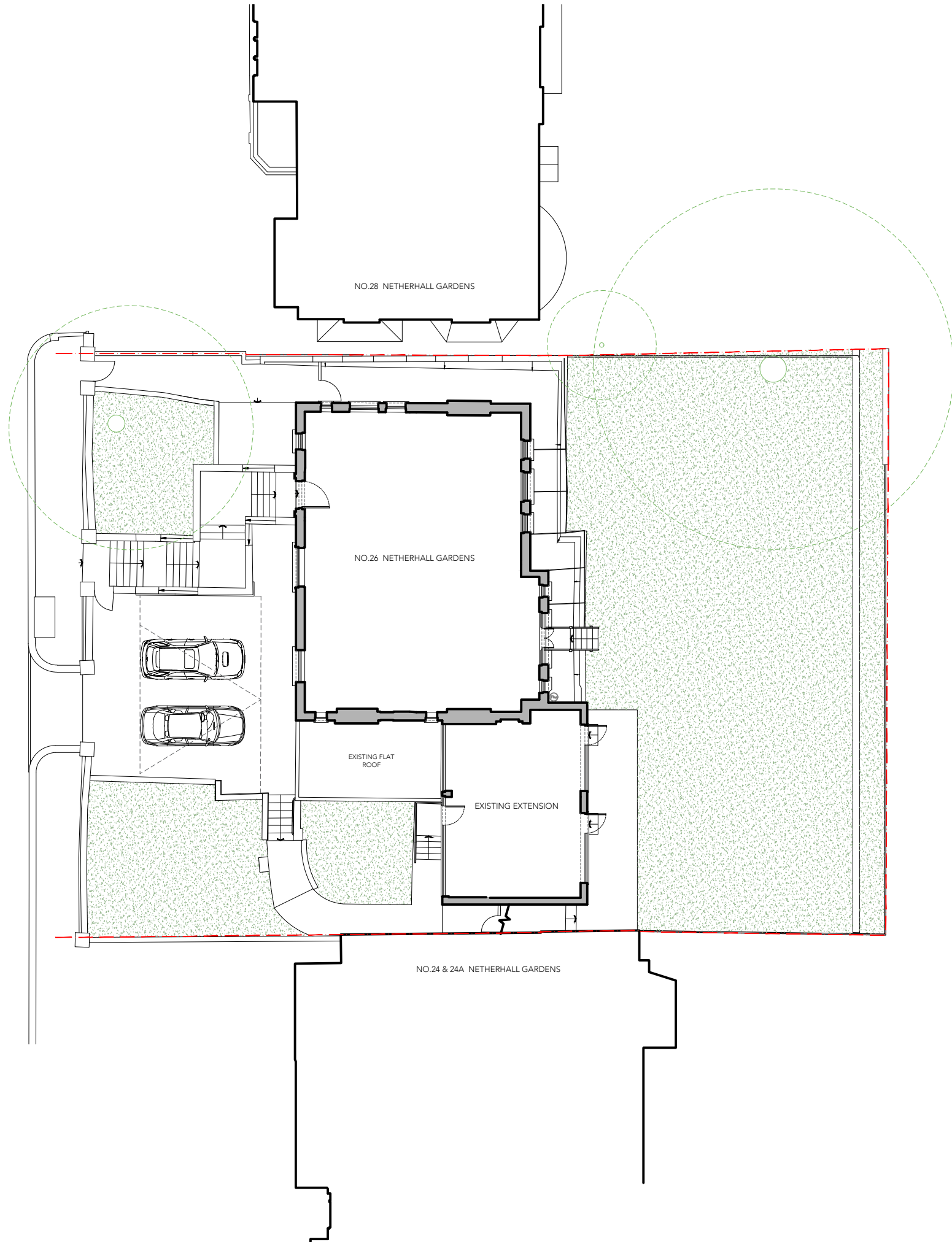
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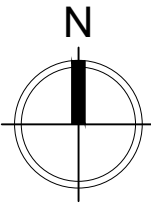
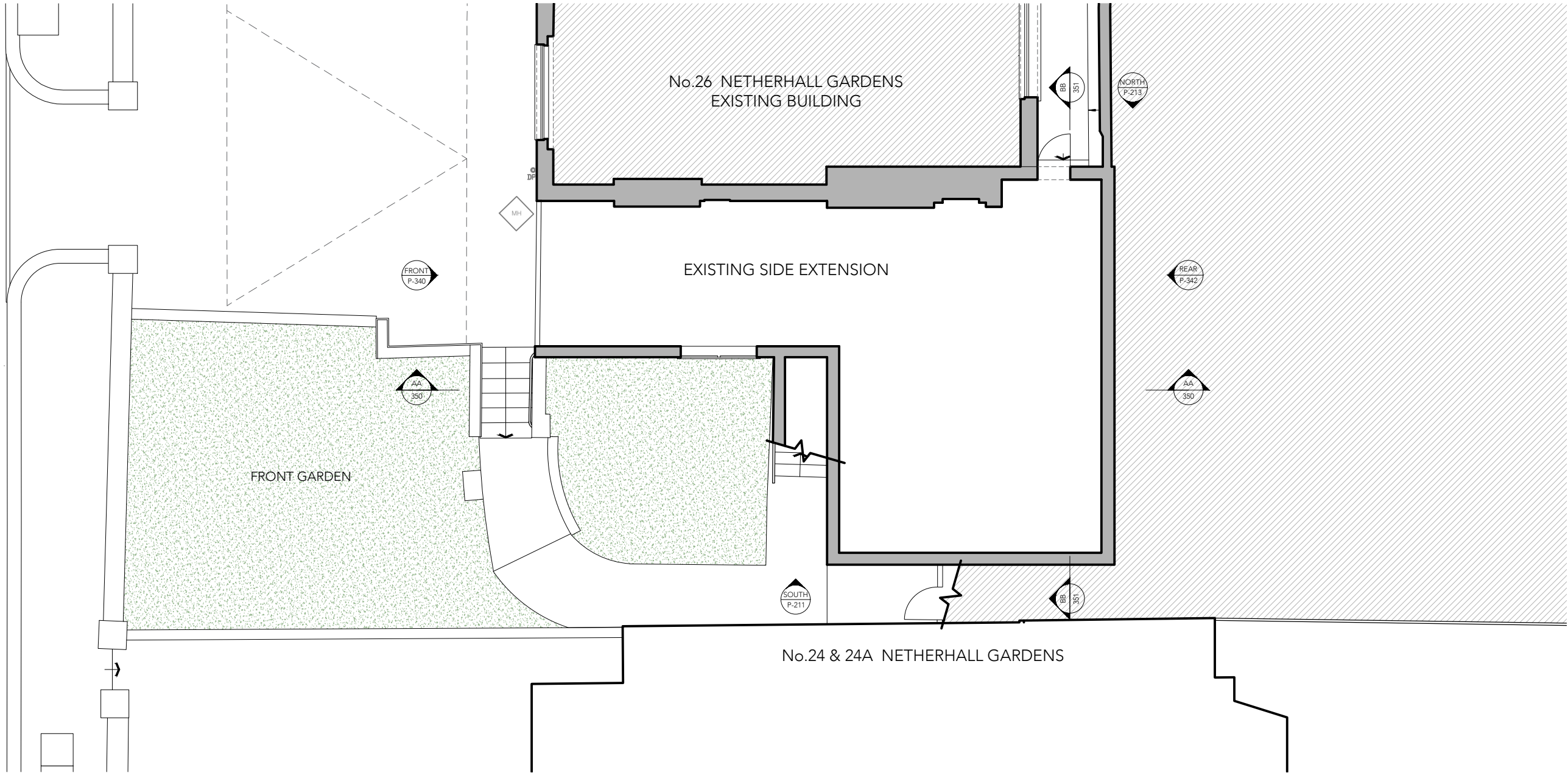
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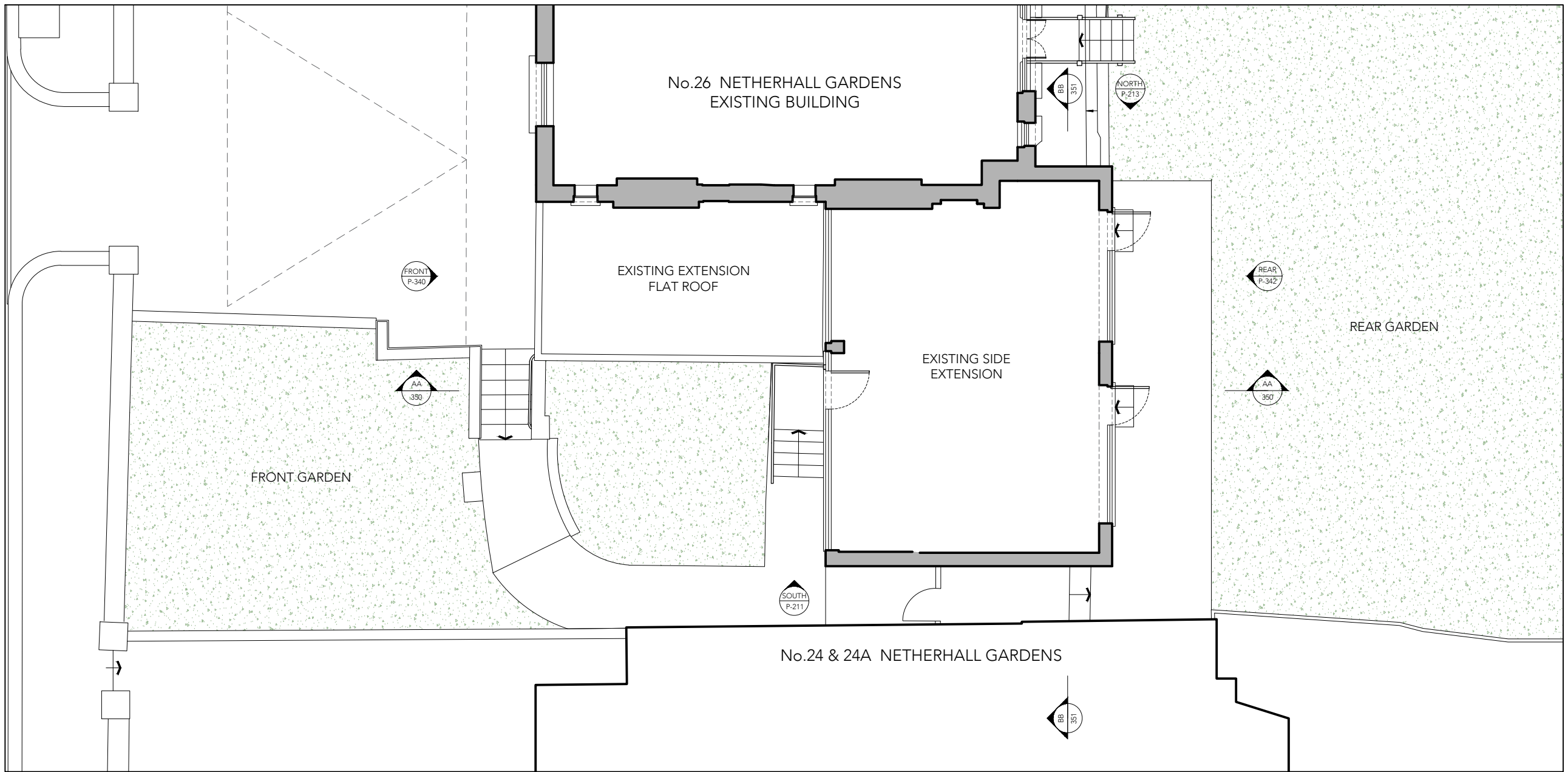
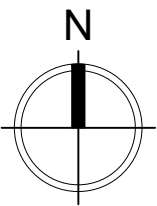
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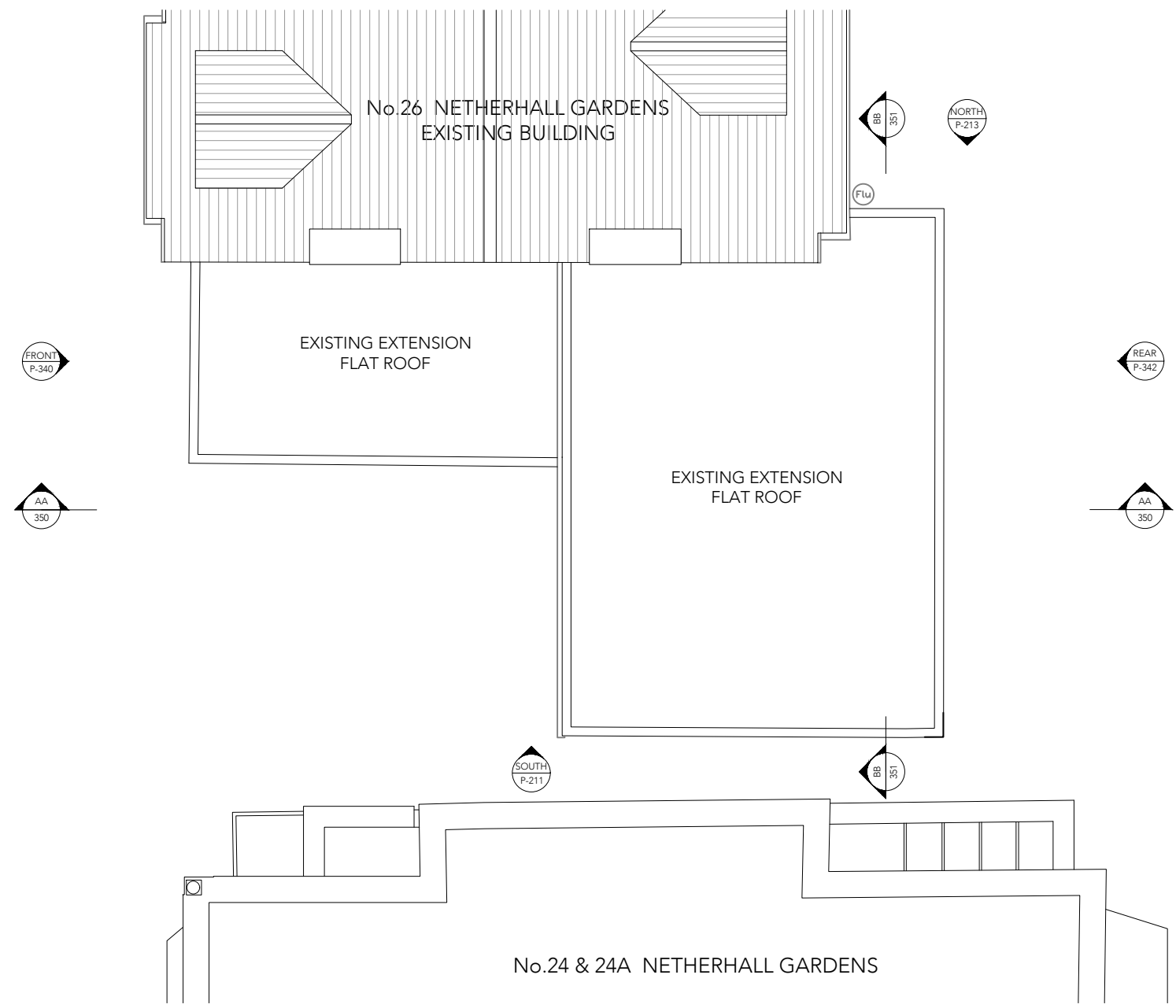
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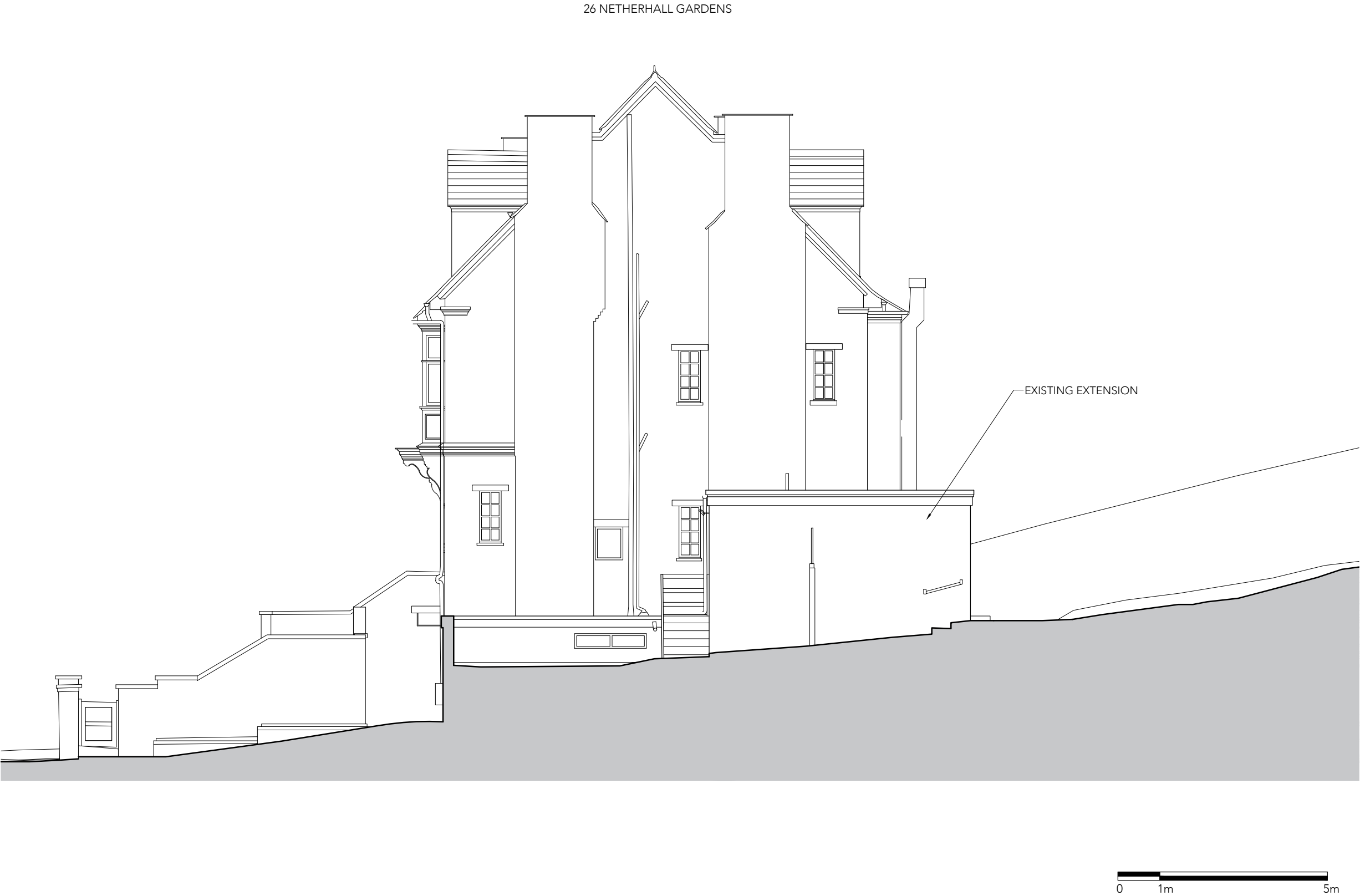
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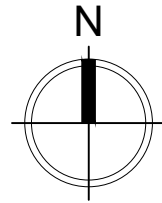
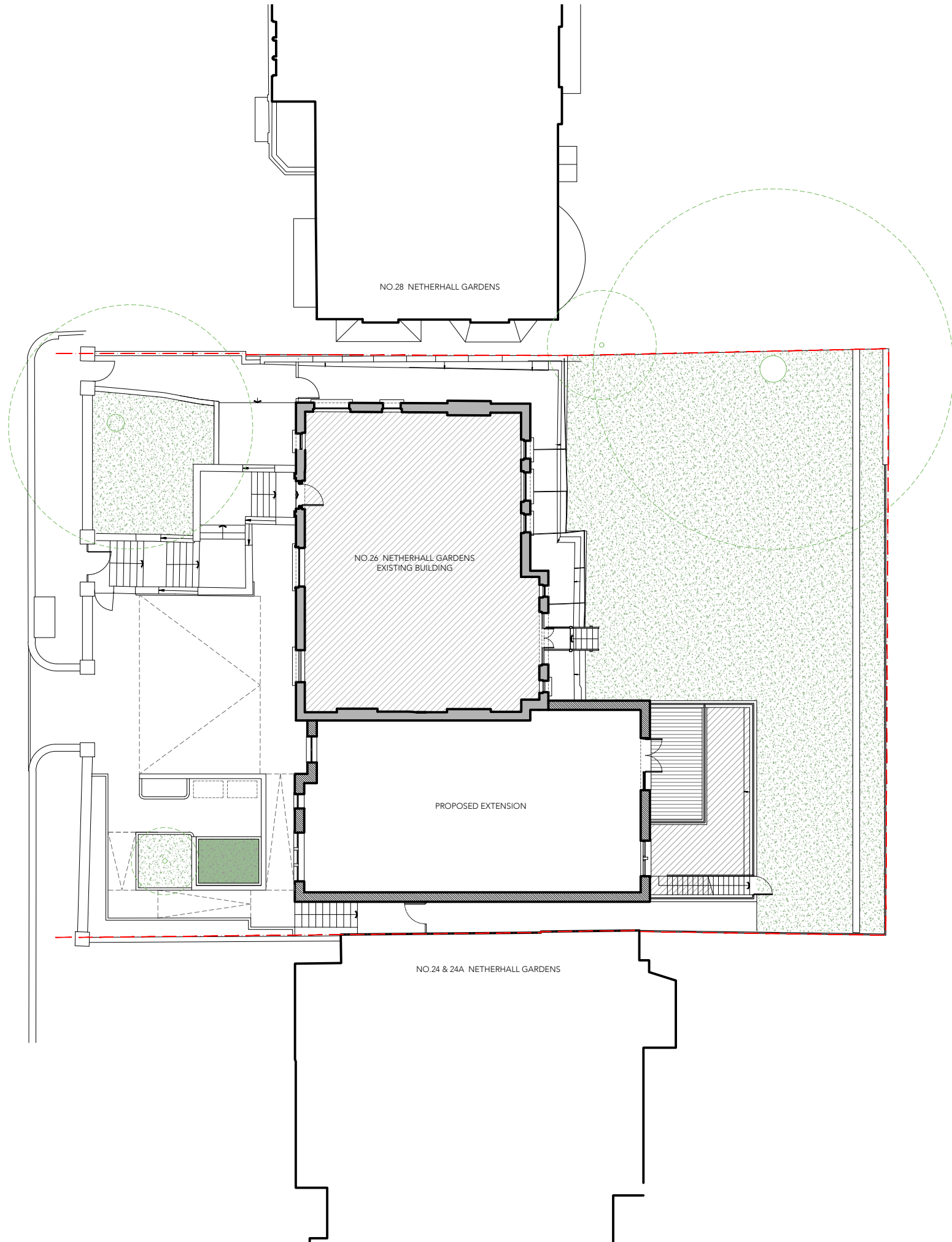


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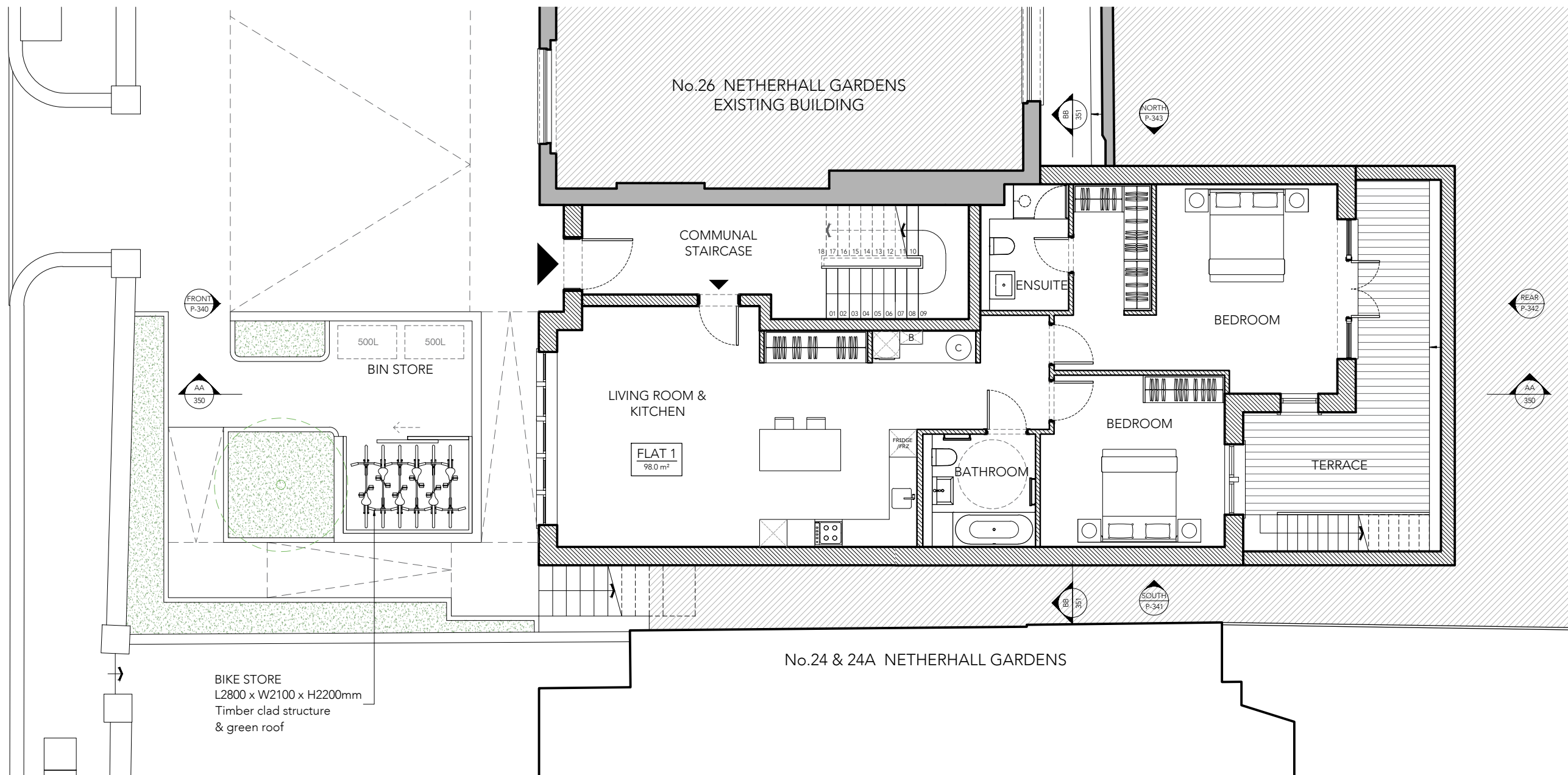
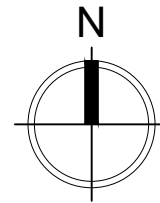
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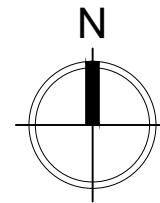
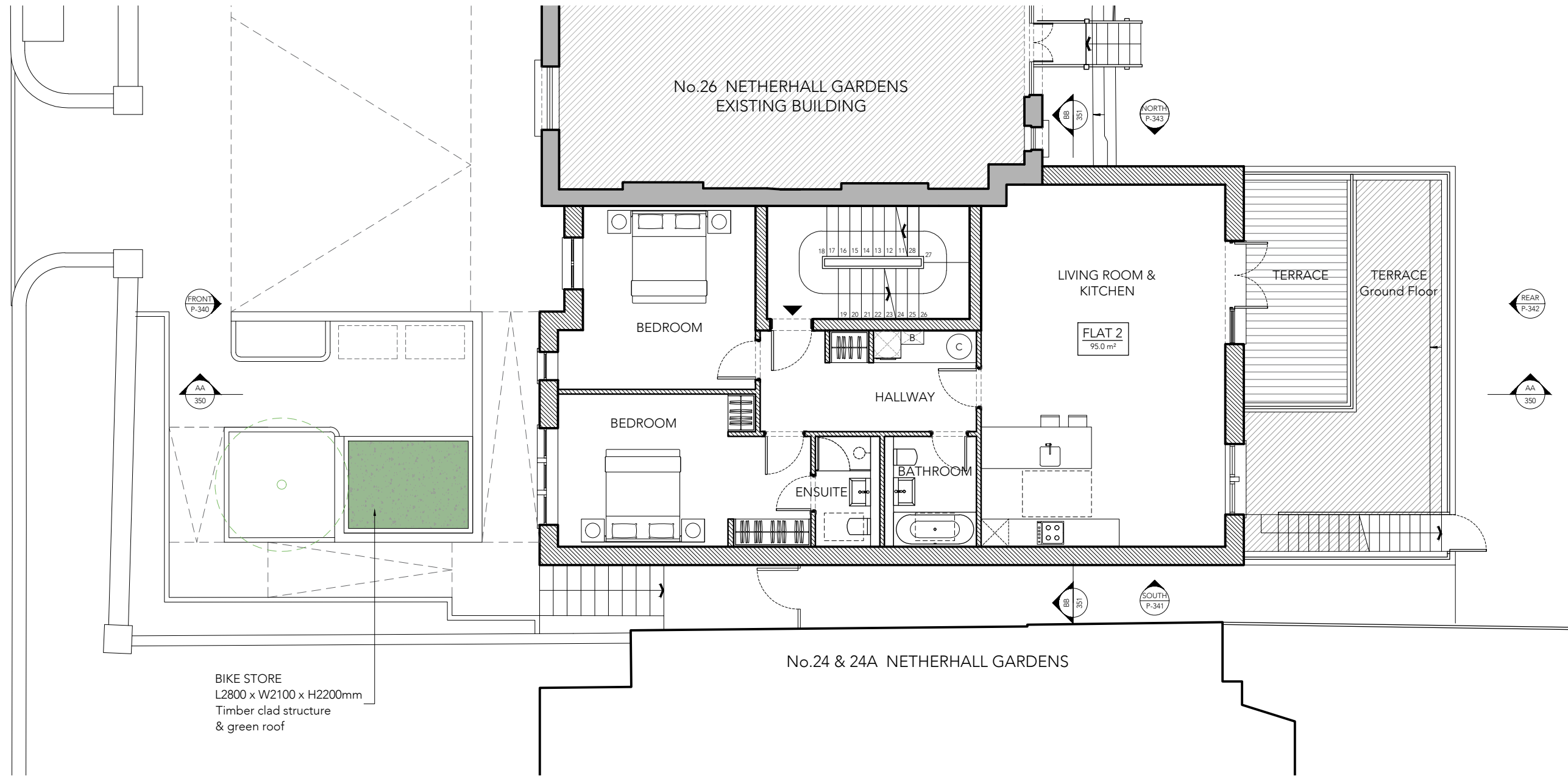
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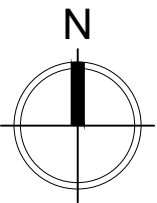
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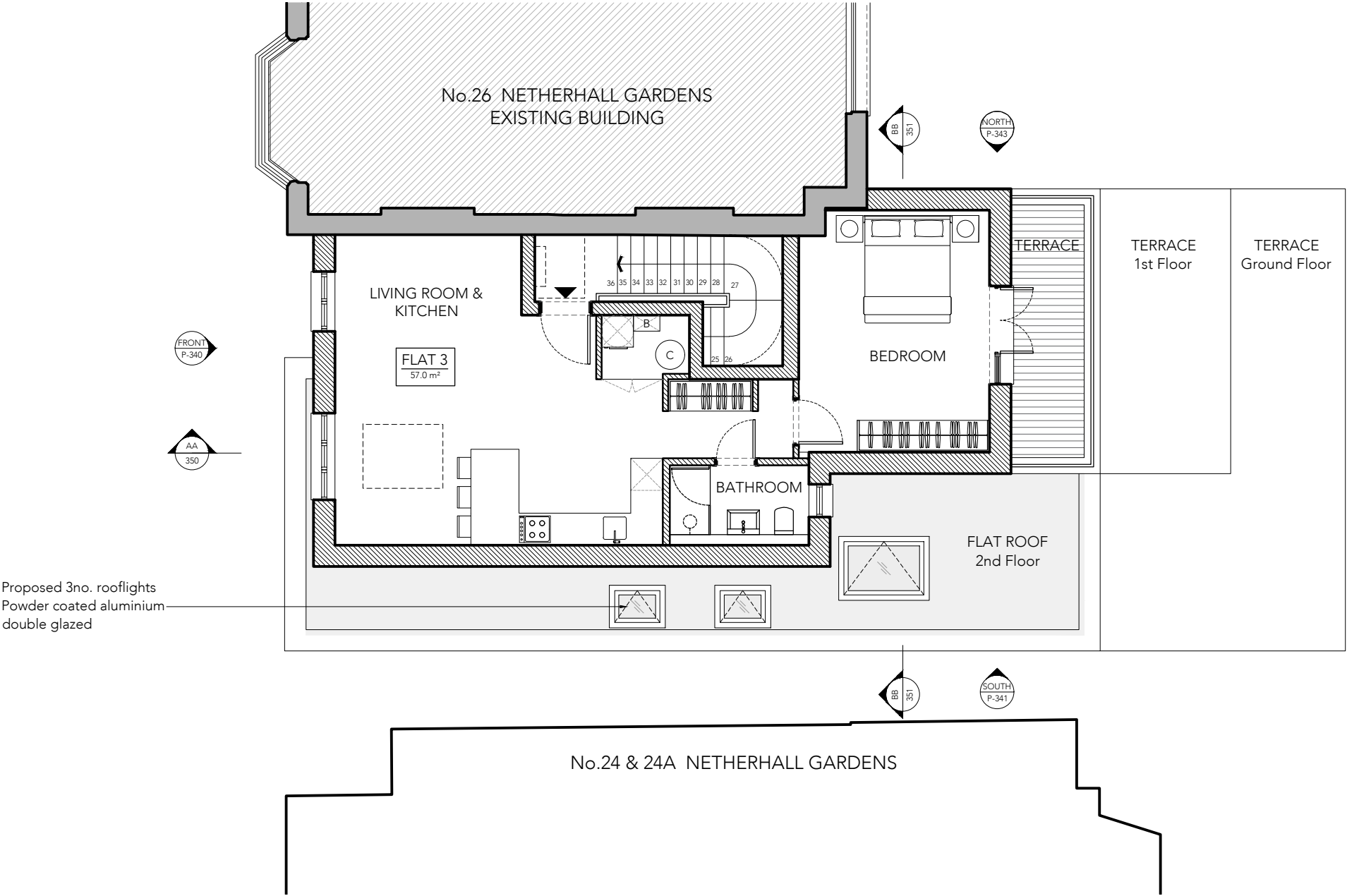


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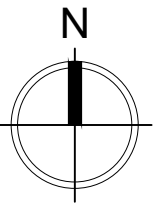
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Project	26 NETHERHALL GARDENS NW3 5TL			
Date	19.12.22	Scale @ A3	1:100	
Drawing	PROPOSED PLAN SECOND FLOOR			
Drawn by	DCF	Checked by	LG	
Job No.	263	Dwg No.	P-302	Rev 1



Proposed 3no. rooflights
Powder coated aluminium
double glazed

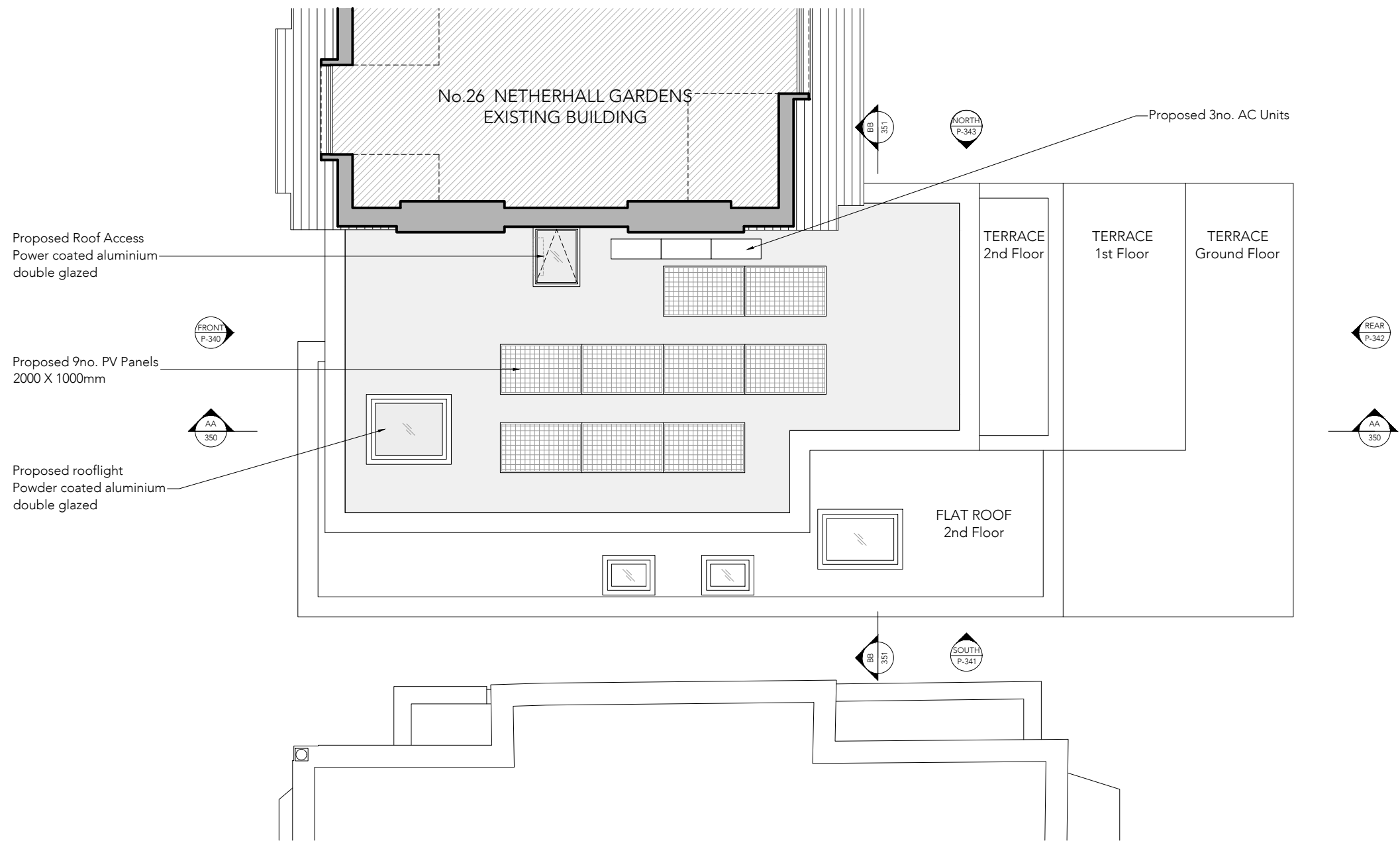




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Notes

No	Rev	Date
1		19.12.22

Status **PLANNING**



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Project	26 NETHERHALL GARDENS NW3 5TL				
Date	19.12.22	Scale @ A3	1:100		
Drawing	PROPOSED ROOF PLAN				
Drawn by	DCF	Checked by	LG		
Job No.	263	Dwg No.	P-303	Rev	1



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1	PLANNING	19.12.22
No	Rev	Date

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Project	26 NETHERHALL GARDENS LONDON NW35TL		
Date	19.12.22	Scale @ A3	1:100
Drawing	PROPOSED FRONT ELEVATION		
Drawn by	DCF	Checked by	TG
Job No.	263	Dwg No.	P-340
		Rev	1



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Notes		
1	PLANNING	19.12.22
No	Rev	Date

Status
PLANNING

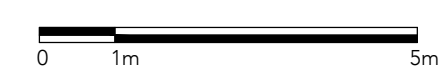
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Project	26 NETHERHALL GARDENS LONDON NW35TL				
Date	19.12.22	Scale @ A3	1:100		
Drawing	PROPOSED SIDE ELEVATION				
Drawn by	DCF	Checked by	TG		
Job No.	263	Dwg No.	P-341	Rev	1



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No	Rev	Date

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Project	26 NETHERHALL GARDENS LONDON NW35TL		
Date	19.12.22	Scale @ A3	1:100
Drawing	PROPOSED REAR ELEVATION		
Drawn by	DCF	Checked by	TG
Job No.	263	Dwg No.	P-342
		Rev	1

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26 NETHERHALL GARDENS

PROPOSED EXTENSION
BRICK WITH FLAT ROOFS,
STONE SURROUND TO
ALUMINIUM WINDOWS

Notes

1	PLANNING	19.12.22
No	Rev	Date

Status **PLANNING**

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Project 26 NETHERHALL GARDENS
LONDON NW35TL

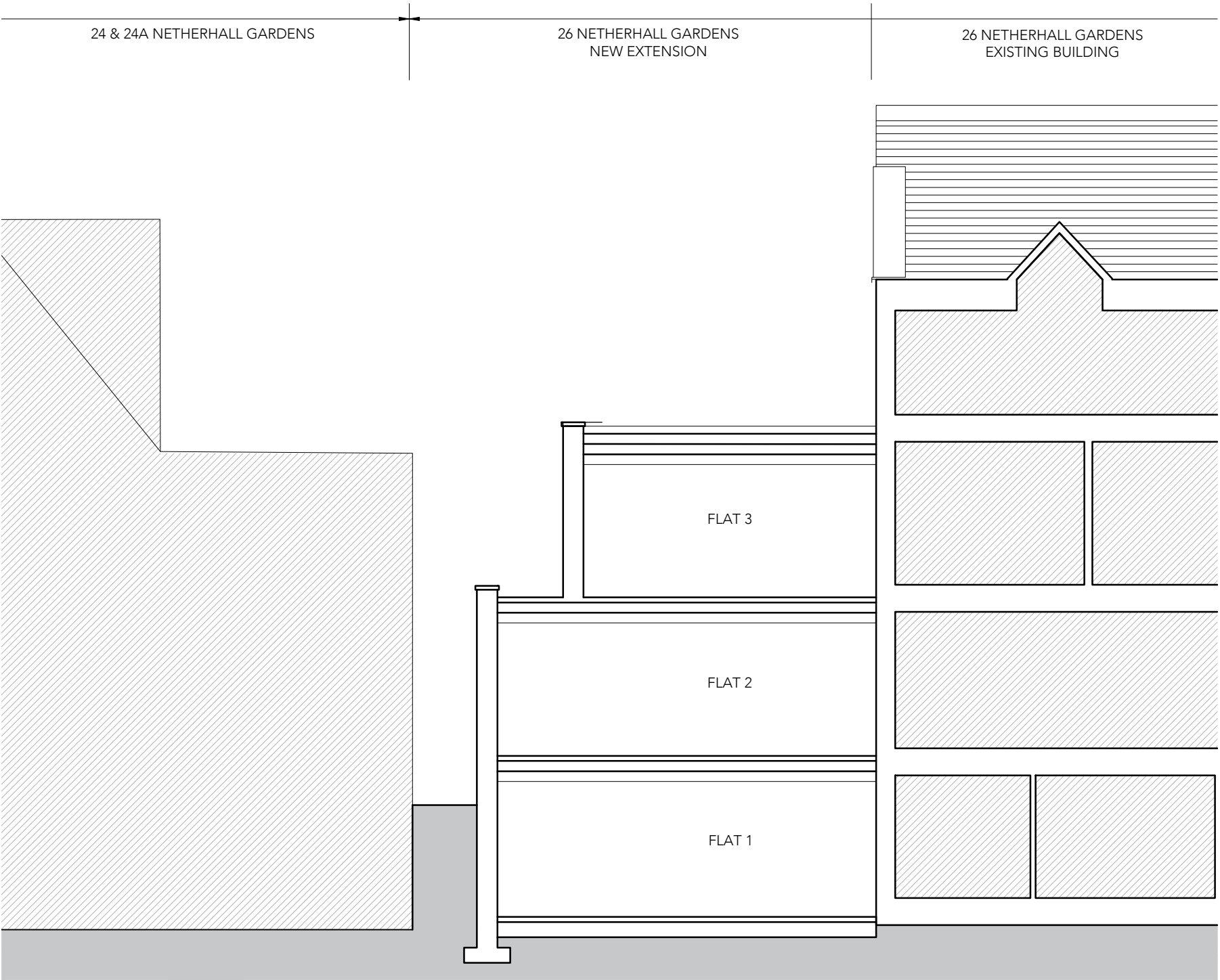
Date	19.12.22	Scale @	1:100
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Drawing

PROPOSED
SIDE ELEVATION

Drawn	DCF	checked	TG
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Job No	263	Dwg No	P-343	Rev	1
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No	Rev	Date

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Project	26 NETHERHALL GARDENS NW3 5TL		
Date	19.12.22	Scale @ A3	1:100
Drawing	PROPOSED SECTION B-B		
Drawn by	DCF	Checked by	LG
Job No.	263	Dwg No.	P-351
		Rev	1