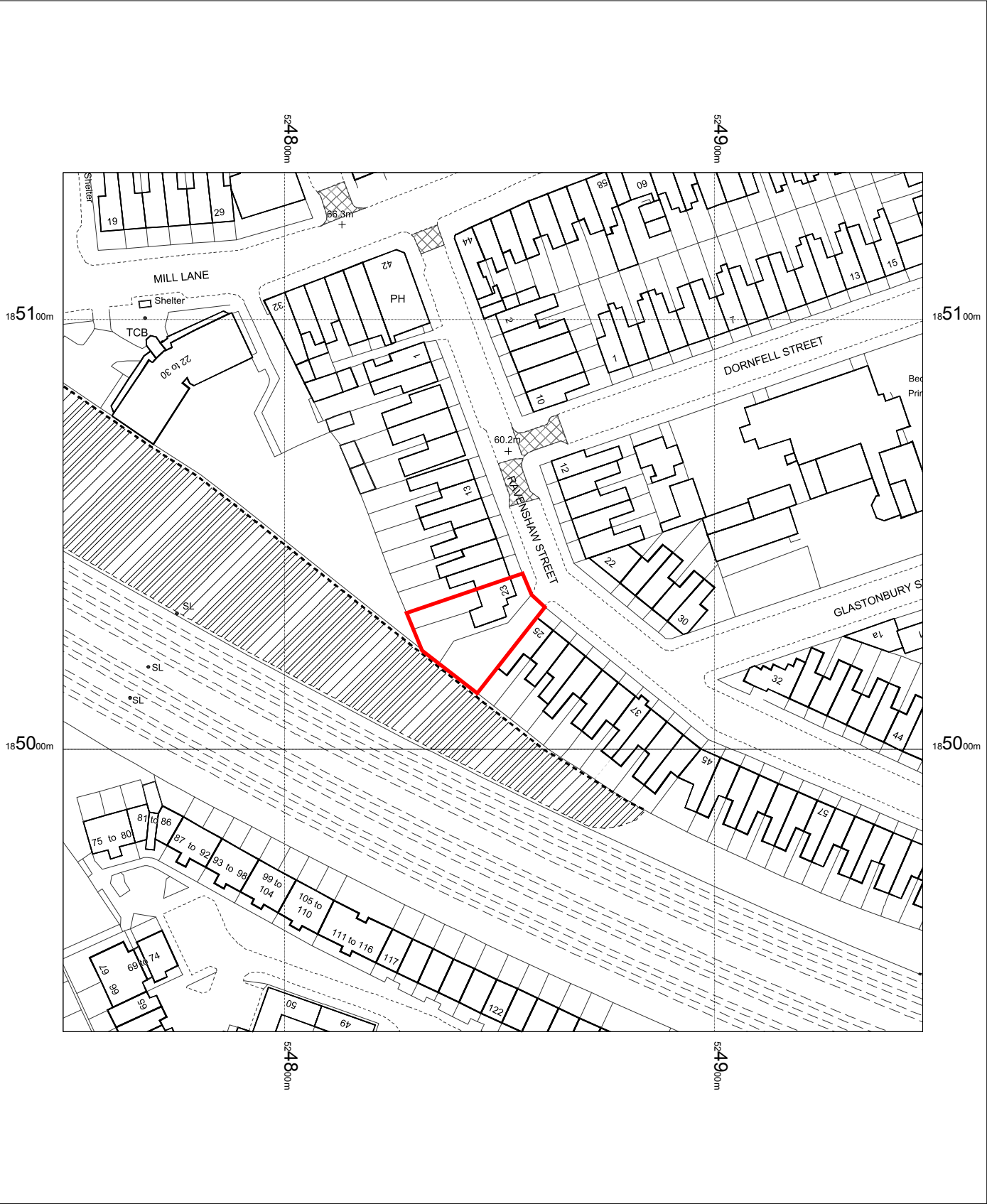


23 Ravenshaw Street



23a Ravenshaw Street  
London  
NW6 1NP

OS Mastermap  
14 September 2011, ID: BLJT-00095047  
[www.planningapplicationmaps.co.uk](http://www.planningapplicationmaps.co.uk)

1:1250 scale print at A4, Centre: 524848 E, 185034 N

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23 Ravenshaw Street



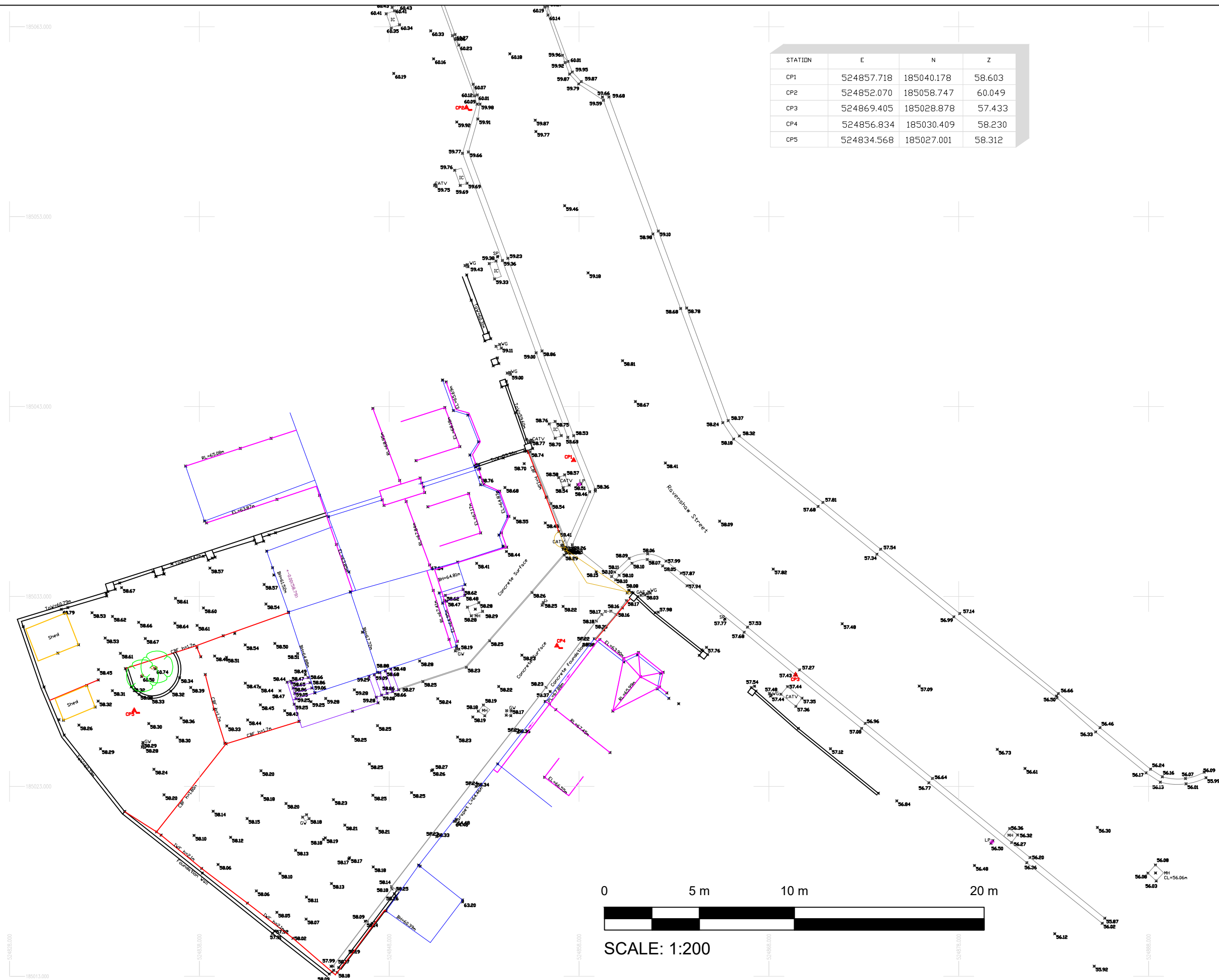
23a Ravenshaw Street  
London  
NW6 1NP

OS Mastermap  
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[www.planningapplicationmaps.co.uk](http://www.planningapplicationmaps.co.uk)

1:500 scale print at A4, Centre: 524848 E, 185034 N

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STATION	E	N	Z
CP1	524857.718	185040.178	58.603
CP2	524852.070	185058.747	60.049
CP3	524869.405	185028.878	57.433
CP4	524856.834	185030.409	58.230
CP5	524834.568	185027.001	58.312

[illegible]

TREE LEGEND			
ALDER	ALD	MAPLE	MPL
ASH	ASH	OAK	OAK
BIRCH	BIR	POPLAR	POP
BEDCH	BED	PRUNUS	PRN
CHERRY	CHY	RHODODENDRONS	RHN
CYPRESS	CYP	ROWAN	ROW
CYPRESSUS	CYP	SALLOW	SAL
DOGWOOD	DGD	SWEET GUM	SCHN
ELDERBERRY	ELM	SPICES	SPC
ELM	ELM	SPICES UNKNOWN	SPU
EUCALYPTUS	EUC	THEE OF HEAVEN	THE
FRUIT	FRT	WILLOW	WIL
HAWTHORN	HAW	WESTLANDIA	WES
HOLLY	HOL	WITBERRAM	WIT
LABURNUM	LBN	YEW	YEW
LABURNUM	LSM	MULTI TRUNK	MT
LEST	LES	0.2' / 6' / 3'	
LYCORN PLANE	LPC	Dis of Tree / Spread	
MAGNOLIA	MAG	Bale Height	

SIZES ARE INDICATIVE ONLY, WITH THE MEAN SPREAD DRAWN TO SCALE.

## NOTES

<u>GRID</u>	THE SURVEY GRID IS BASED ON OS COORDINATES
<u>LEVELING</u>	ALL LEVELS ARE BASED ON A OS DATUM
<u>DRAINAGE</u>	INVERT LEVELS, PIPE SIZES AND PIPE CONNECTIONS HAVE BEEN SURVEYED BY VISUAL INSPECTION ONLY AND THEREFORE THE COMPLETE ACCURACY OF THIS INFORMATION CANNOT BE GUARANTEED.

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SCAN	SURVEYOR	DATE
01	Al	21/05/2020
01	First Issue	XY BR 08/01/17
REV	DESCRIPTION	DRAWN APPR DATE



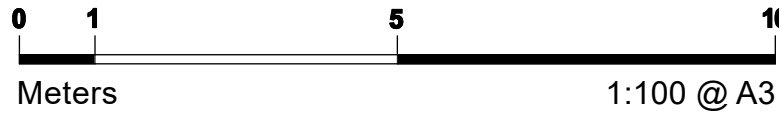
Tel No: 02037443020 Fax No: 02089316849  
www.icelabz.co.uk info@icelabz.co.uk

LAND SURVEYING MEASURED BUILDING SURVEY SETTING OUT

PROJECT TITLE  
22A Ravenshaw St. West Hampstead, London NW6 1ND

DRAWING DETAIL  
Topographical Survey

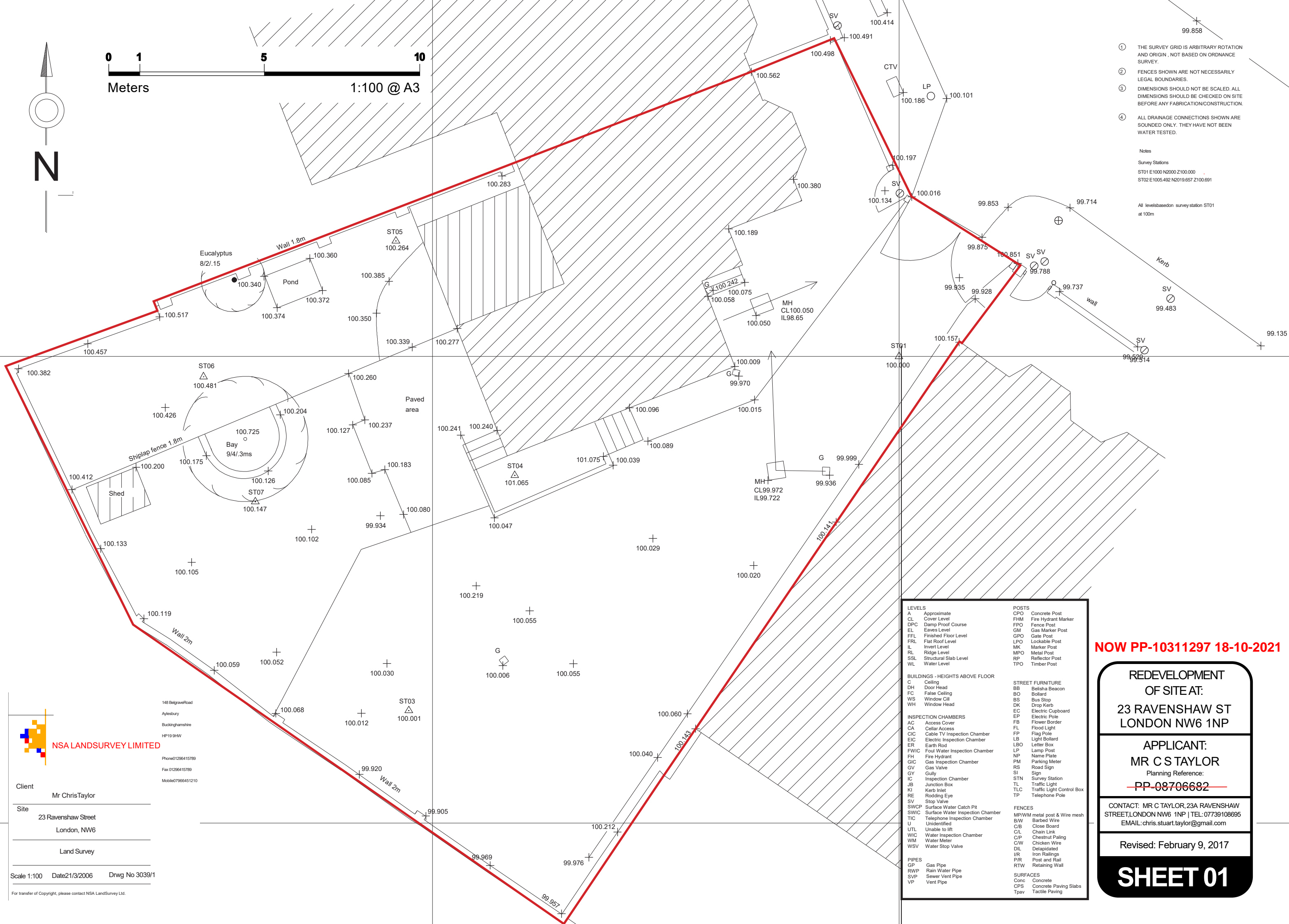
CLIENT Chris Taylor				Scale 1:200
Page Size A3		Checked AI	Approved YR	INFORMATION FINAL
Drawing Number MB-SURV-RV-TS-01			Rev 01	Date 08/10/2020



- ① THE SURVEY GRID IS ARBITRARY ROTATION AND ORIGIN, NOT BASED ON ORDNANCE SURVEY.
- ② FENCES SHOWN ARE NOT NECESSARILY LEGAL BOUNDARIES.
- ③ DIMENSIONS SHOULD NOT BE SCALED. ALL DIMENSIONS SHOULD BE CHECKED ON SITE BEFORE ANY FABRICATION/CONSTRUCTION.
- ④ ALL DRAINAGE CONNECTIONS SHOWN ARE SOUNDED ONLY. THEY HAVE NOT BEEN WATER TESTED.

Notes  
Survey Stations  
ST01 E1000 N2000 Z100.000  
ST02 E1005.492 N2019.657 Z100.691

All levels based on: survey station ST01 at 100m



LEVELS		POSTS	
A	Approximate	CPO	Concrete Post
CL	Cover Level	FHM	Fire Hydrant Marker
DPC	Damp Proof Course	FPO	Fence Post
EL	Eaves Level	GM	Gas Marker Post
FFL	Finished Floor Level	GPO	Gate Post
FRL	Flat Roof Level	LPO	Lockable Post
IL	Invert Level	MK	Marker Post
RL	Ridge Level	MPO	Metal Post
SSL	Structural Slab Level	RP	Reflector Post
WL	Water Level	TPO	Timber Post
BUILDINGS - HEIGHTS ABOVE FLOOR		STREET FURNITURE	
C	Ceiling	BB	Belisha Beacon
DH	Door Head	BO	Bollard
FC	False Ceiling	BS	Bus Stop
WS	Window Cill	DK	Drop Kerb
WH	Window Head	EC	Electric Cupboard
AC	Access Cover	EP	Electric Pole
CA	Cellar Access	FB	Flower Border
CIC	Cable TV Inspection Chamber	FL	Flood Light
EIC	Electric Inspection Chamber	LP	Letter Box
ER	Earth Rod	LBO	Lamp Post
FWIC	Foul Water Inspection Chamber	NP	Name Plate
PH	Fire Hydrant	PM	Parking Meter
GIC	Gas Inspection Chamber	RS	Road Sign
GV	Gas Valve	SI	Sign
GY	Gully	STN	Survey Station
IC	Inspection Chamber	TL	Traffic Light
JB	Junction Box	TLC	Traffic Light Control Box
KI	Kerb Inlet	TP	Telephone Pole
RE	Rodding Eye		
SV	Stop Valve		
SWCP	Surface Water Catch Pit		
SWIC	Surface Water Inspection Chamber		
TIC	Telephone Inspection Chamber		
U	Unidentified		
UTL	Unable to lift		
WIC	Water Inspection Chamber		
WM	Water Meter		
WSV	Water Stop Valve		
PIPES		FENCES	
GP	Gas Pipe	MP/WM	metal post & Wire mesh
RWP	Rain Water Pipe	B/W	Barbed Wire
SVP	Sewer Vent Pipe	C/B	Close Board
VP	Vent Pipe	C/L	Chain Link
		C/P	Chestnut Paling
		C/W	Chicken Wire
		D/L	Delapidated
		IR	Iron Railings
		P/R	Post and Rail
		RTW	Retaining Wall
SURFACES			
Conc	Concrete		
CPS	Concrete Paving Slabs		
Tpav	Tactile Paving		

NOW PP-10311297 18-10-2021

REDEVELOPMENT  
OF SITE AT:  
23 RAVENSHAW ST  
LONDON NW6 1NP

APPLICANT:  
MR C S TAYLOR  
Planning Reference:  
~~PP-08706682~~

CONTACT: MR C TAYLOR, 23A RAVENSHAW  
STREET, LONDON NW6 1NP | TEL: 07739108695  
EMAIL: chris.stuart.taylor@gmail.com

Revised: February 9, 2017

SHEET 01



NSA LANDSURVEY LIMITED

148 Belgrave Road  
Aylesbury  
Buckinghamshire  
HP19 9HW  
Phone 01296415789  
Fax 01296415789  
Mobile 07966451210

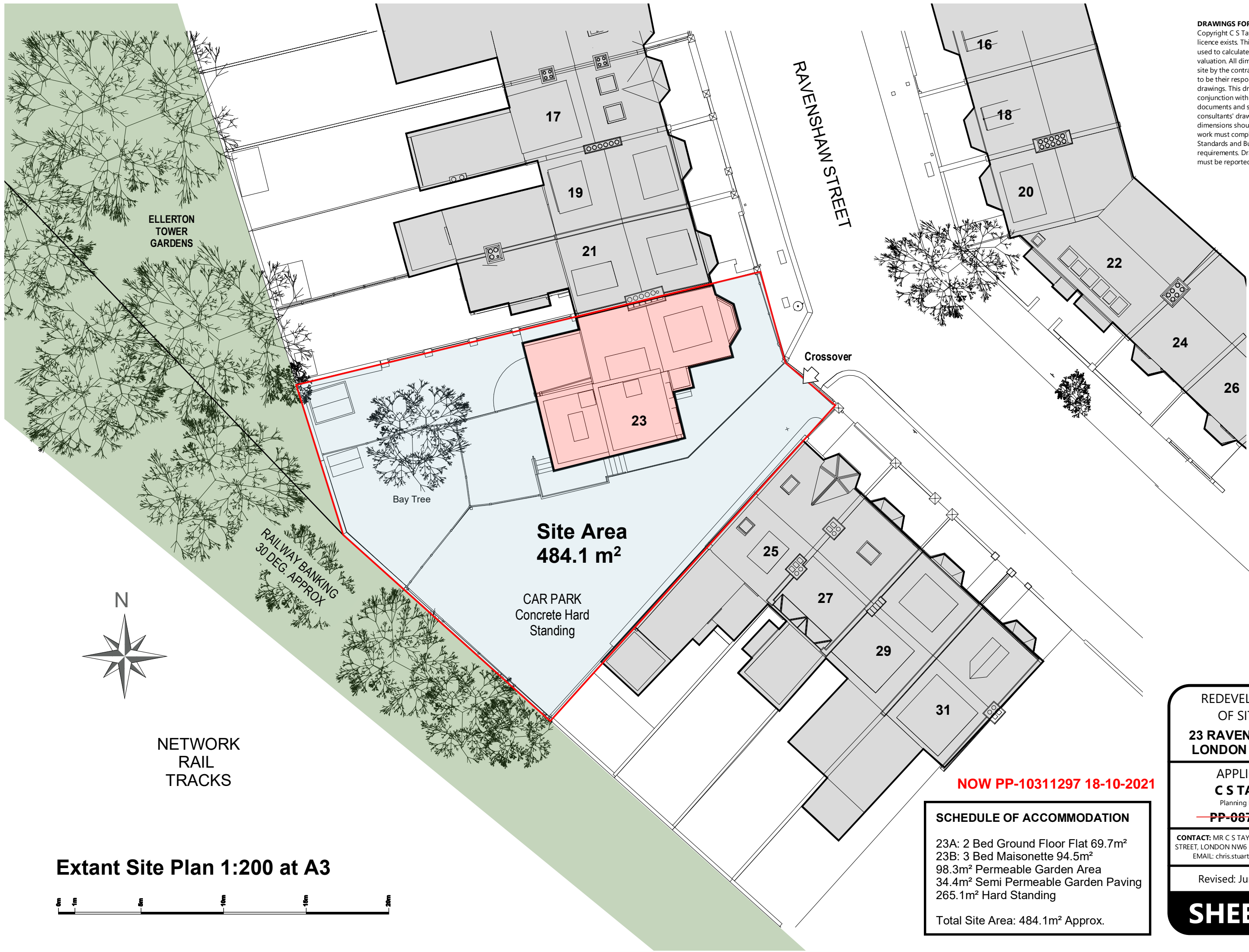
Client  
Mr Chris Taylor  
Site  
23 Ravenshaw Street  
London, NW6  
Land Survey

Scale 1:100 Date 21/3/2006 Drwg No 3039/1

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**Extant Site Plan 1:200 at A3**



**NOW PP-10311297 18-10-2021**

SCHEDULE OF ACCOMMODATION
23A: 2 Bed Ground Floor Flat 69.7m²
23B: 3 Bed Maisonette 94.5m²
98.3m² Permeable Garden Area
34.4m² Semi Permeable Garden Paving
265.1m² Hard Standing
Total Site Area: 484.1m² Approx.

**REDEVELOPMENT  
OF SITE AT:**  
**23 RAVENSHAW ST  
LONDON NW6 1NP**

**APPLICANT:**  
**C S TAYLOR**  
Planning Reference:  
~~PP-08706682~~

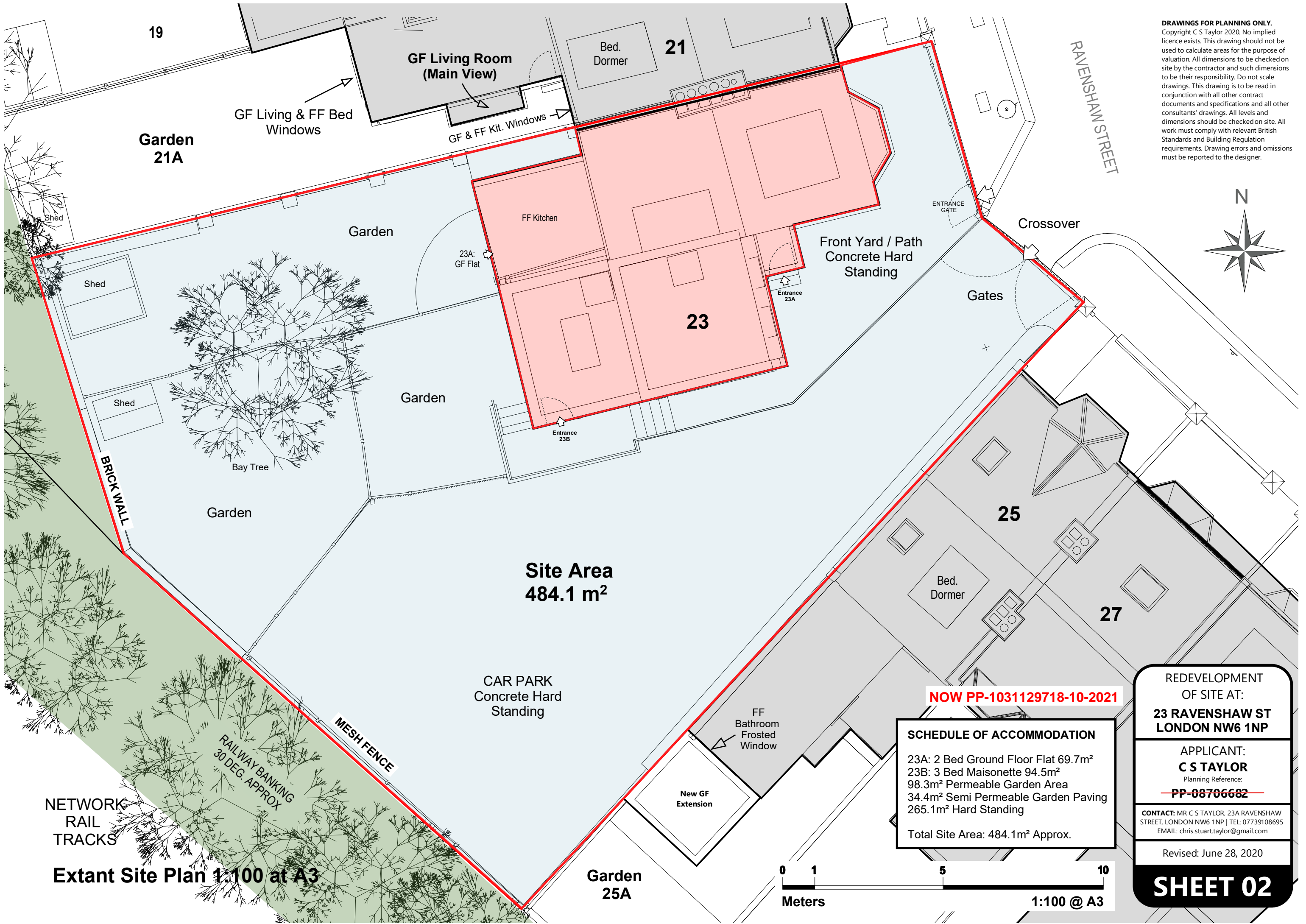
**CONTACT:** MR C S TAYLOR, 23A RAVENSHAW  
STREET, LONDON NW6 1NP | TEL: 07739108695  
EMAIL: chris.stuart.taylor@gmail.com

Revised: June 28, 2020

**SHEET 01**



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**Site Area  
484.1 m<sup>2</sup>**

**NOW PP-1031129718-10-2021**

**SCHEDULE OF ACCOMMODATION**

23A: 2 Bed Ground Floor Flat 69.7m<sup>2</sup>  
23B: 3 Bed Maisonette 94.5m<sup>2</sup>  
98.3m<sup>2</sup> Permeable Garden Area  
34.4m<sup>2</sup> Semi Permeable Garden Paving  
265.1m<sup>2</sup> Hard Standing

Total Site Area: 484.1m<sup>2</sup> Approx.

**REDEVELOPMENT  
OF SITE AT:  
23 RAVENSHAW ST  
LONDON NW6 1NP**

**APPLICANT:  
C S TAYLOR**  
Planning Reference:  
**PP-08706682**

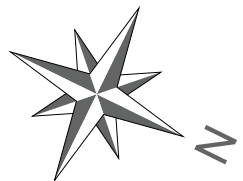
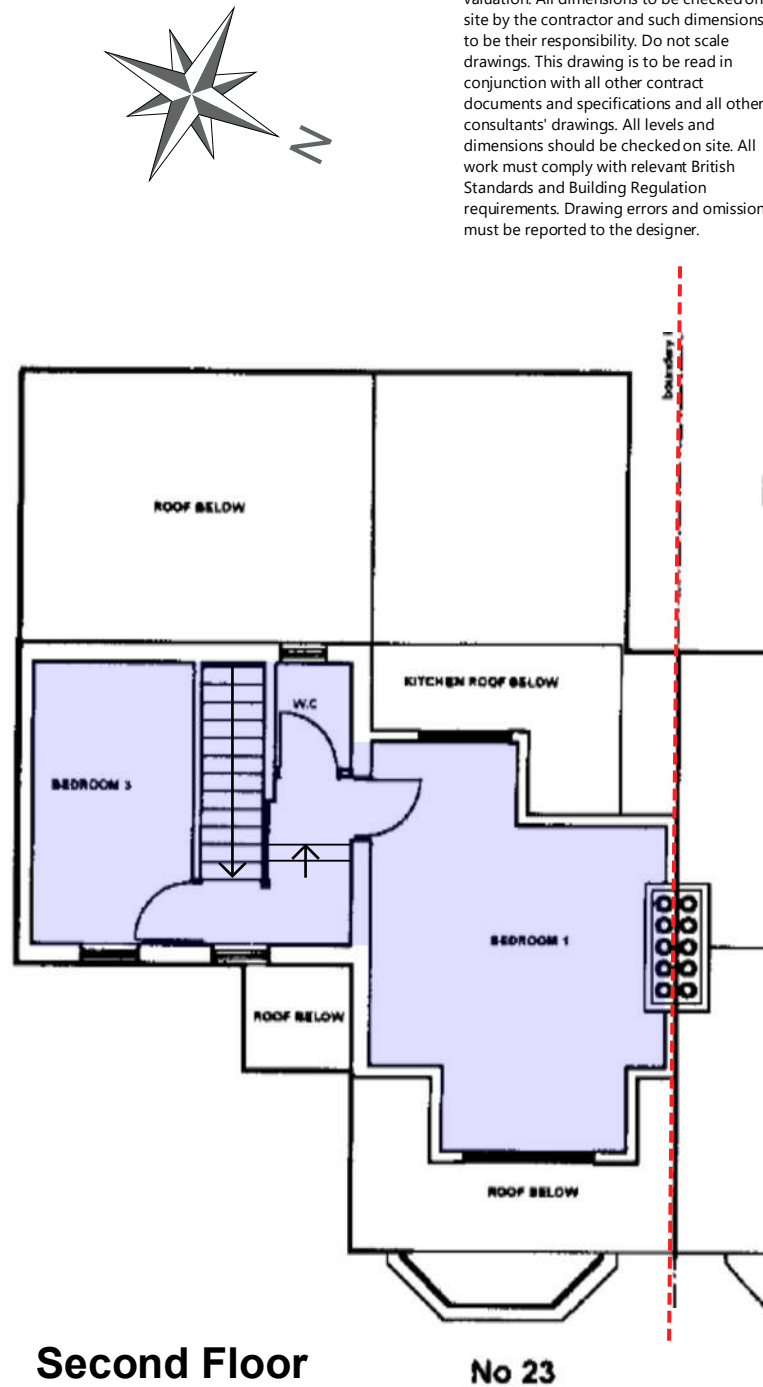
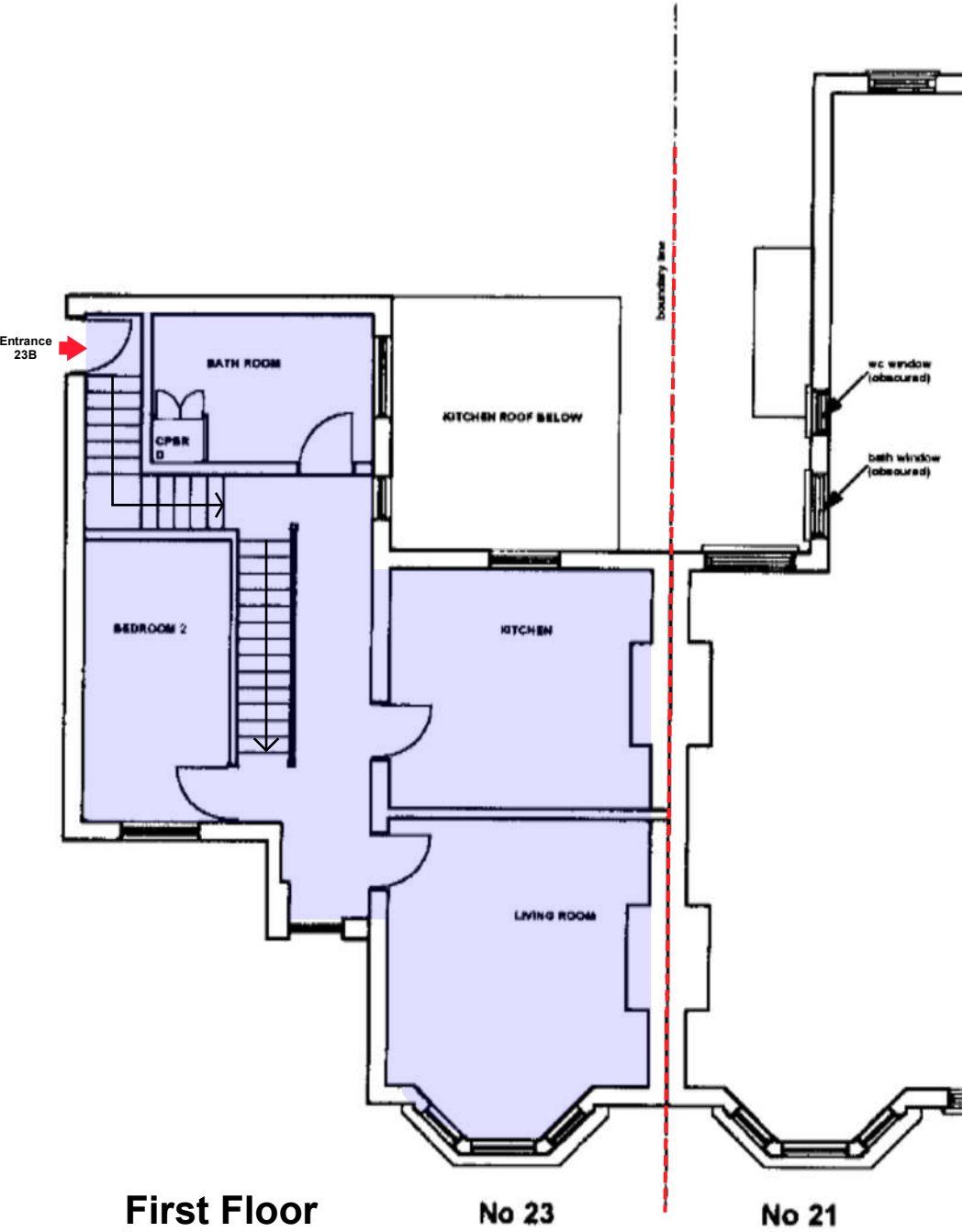
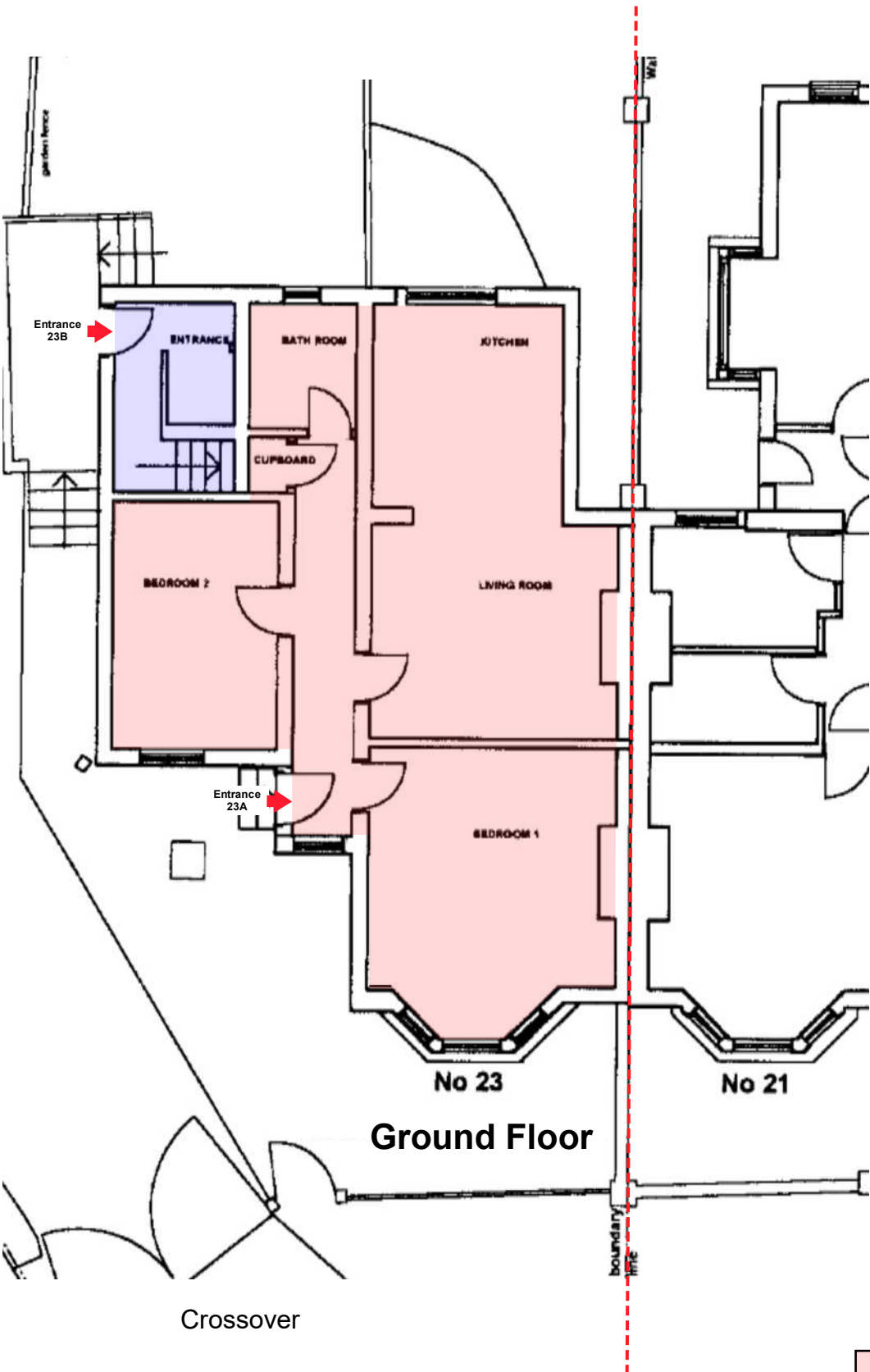
**CONTACT:** MR C S TAYLOR, 23A RAVENSHAW  
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EMAIL: chris.stuart.taylor@gmail.com

Revised: June 28, 2020

**SHEET 02**

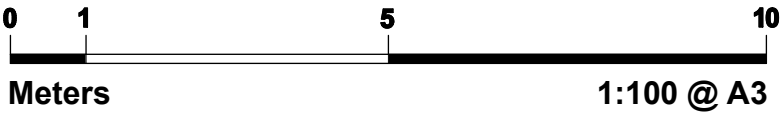
**Extant Site Plan 1:100 at A3**

Floor Plans of Extant Flats 23A and 23B



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consultants' drawings. All levels and  
dimensions should be checked on site. All  
work must comply with relevant British  
Standards and Building Regulation  
requirements. Drawing errors and omissions  
must be reported to the designer.

23A 2 BED 69.7 m<sup>2</sup>  
23B 3 BED 94.5 m<sup>2</sup>



NOW PP-1031129718-10-2021

SCHEDULE OF ACCOMMODATION
23A: 2 Bed Ground Floor Flat 69.7m <sup>2</sup>
23B: 3 Bed Maisonette 94.5m <sup>2</sup>
98.3m <sup>2</sup> Permeable Garden Area
34.4m <sup>2</sup> Semi Permeable Garden Paving
265.1m <sup>2</sup> Hard Standing
Total Site Area: 484.1m <sup>2</sup> Approx.

REDEVELOPMENT  
OF SITE AT:  
**23 RAVENSHAW ST  
LONDON NW6 1NP**

APPLICANT:  
**C S TAYLOR**  
Planning Reference:  
~~PP-08706682~~

CONTACT: MR C S TAYLOR, 23A RAVENSHAW  
STREET, LONDON NW6 1NP | TEL: 07739108695  
EMAIL: chris.stuarttaylor@gmail.com

Revised: June 28, 2020

**SHEET 03**



Extant Front Elevation View 1



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Extant Front Elevation View 2



**SCHEDULE OF ACCOMMODATION**

23A: 2 Bed Ground Floor Flat 69.7m<sup>2</sup>  
23B: 3 Bed Maisonette 94.5m<sup>2</sup>  
98.3m<sup>2</sup> Permeable Garden Area  
34.4m<sup>2</sup> Semi Permeable Garden Paving  
265.1m<sup>2</sup> Hard Standing

Total Site Area: 484.1m<sup>2</sup> Approx.

REDEVELOPMENT  
OF SITE AT:

**23 RAVENSHAW ST  
LONDON NW6 1NP**

APPLICANT:

**C S TAYLOR**

Planning Reference:

~~PP-08706682~~

**CONTACT:** MR C S TAYLOR, 23A RAVENSHAW  
STREET, LONDON NW6 1NP | TEL: 07739108695  
EMAIL: chris.stuart.taylor@gmail.com

Revised: June 28, 2020

**SHEET 04**

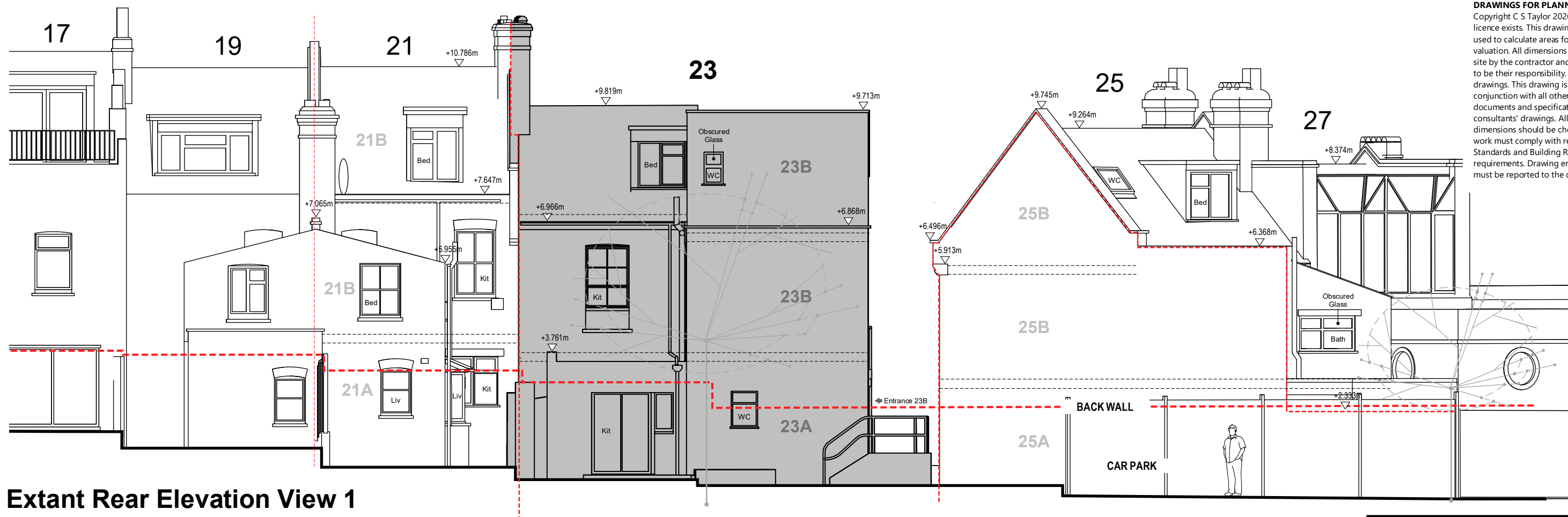
**RAVENSHAW STREET**  
**NOW PP-1031129718-10-2021**



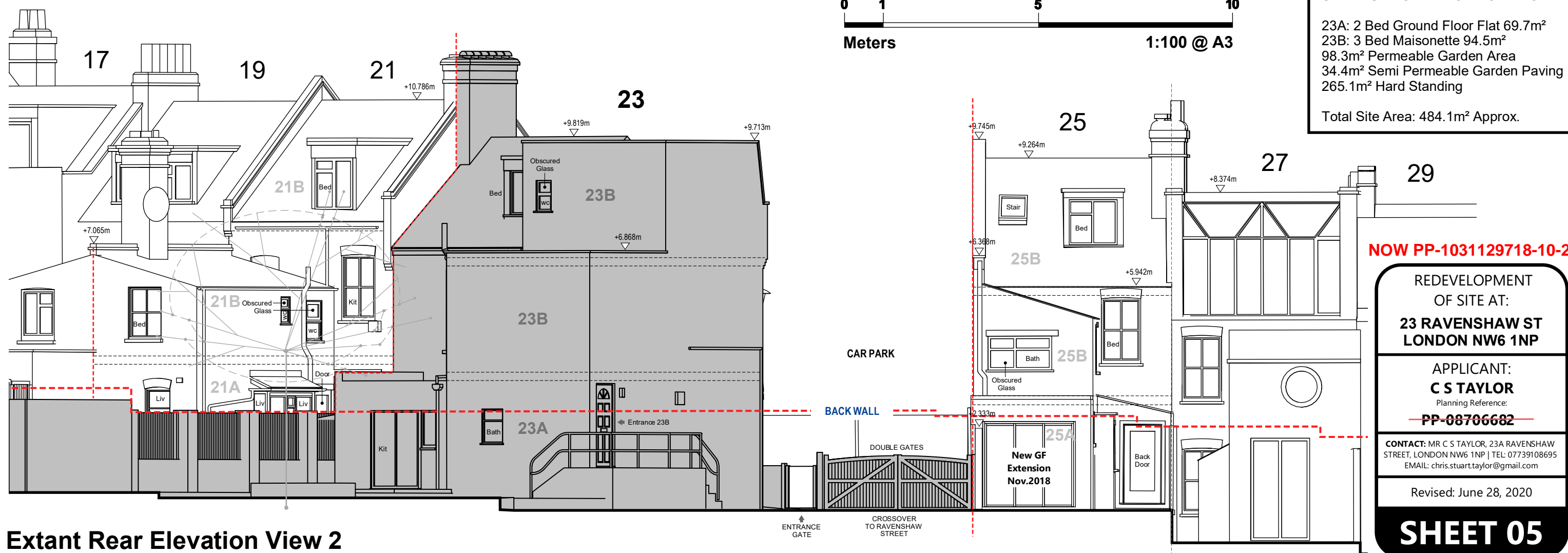
Meters

1:100 @ A3

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**Extant Rear Elevation View 1**

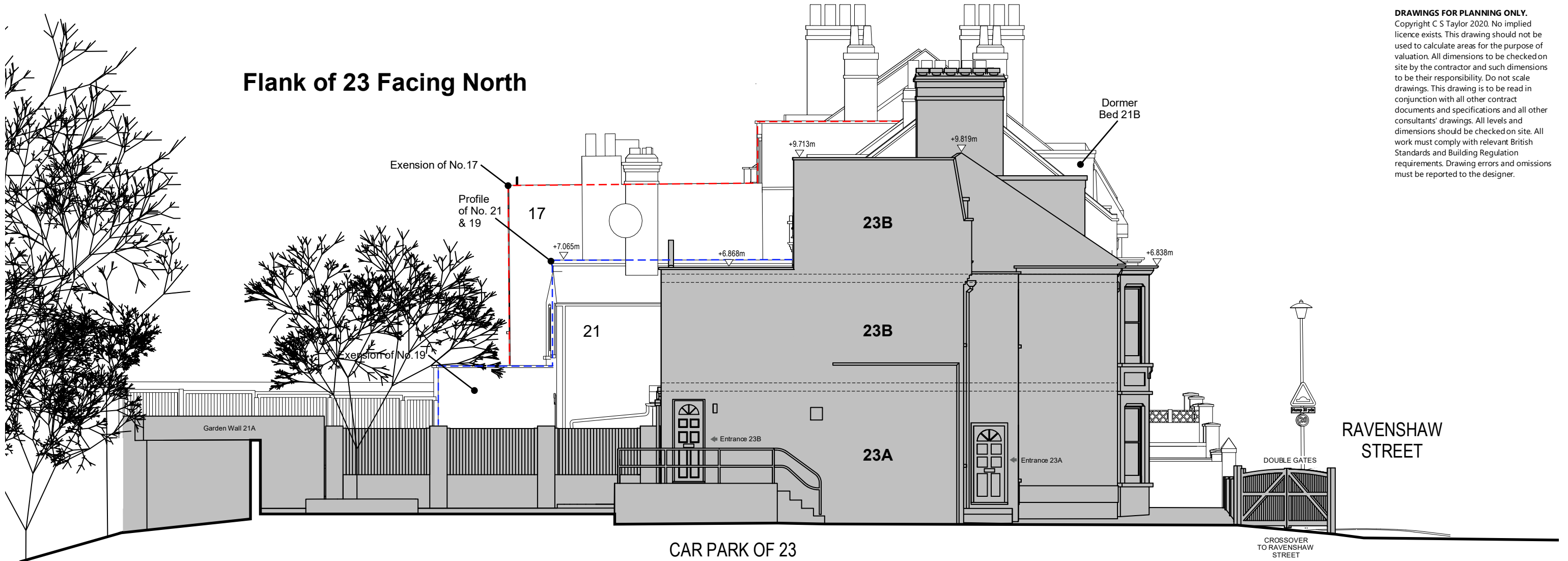


**Extant Rear Elevation View 2**



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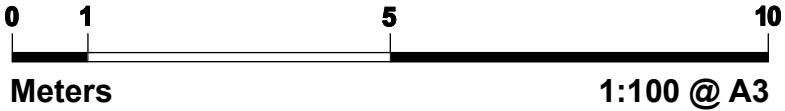
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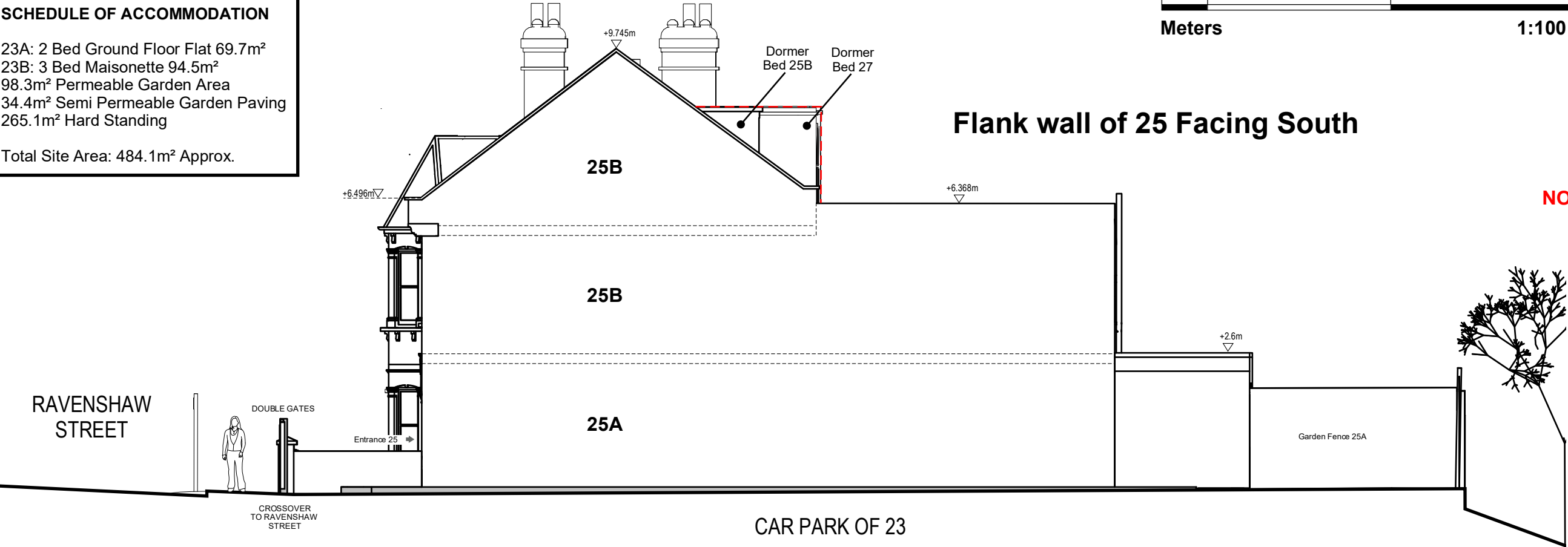
SCHEDULE OF ACCOMMODATION

23A: 2 Bed Ground Floor Flat 69.7m<sup>2</sup>  
23B: 3 Bed Maisonette 94.5m<sup>2</sup>  
98.3m<sup>2</sup> Permeable Garden Area  
34.4m<sup>2</sup> Semi Permeable Garden Paving  
265.1m<sup>2</sup> Hard Standing

Total Site Area: 484.1m<sup>2</sup> Approx.



Flank wall of 25 Facing South



NOW PP-1031129718-10-2021

REDEVELOPMENT  
OF SITE AT:  
**23 RAVENSHAW ST  
LONDON NW6 1NP**

APPLICANT:  
**C S TAYLOR**  
Planning Reference:  
**PP-08706682**

CONTACT: MR C S TAYLOR, 23A RAVENSHAW  
STREET, LONDON NW6 1NP | TEL: 07739108695  
EMAIL: chris.stuart.taylor@gmail.com

Revised: June 28, 2020

**SHEET 06**



