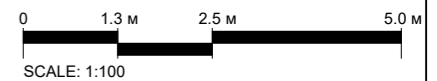
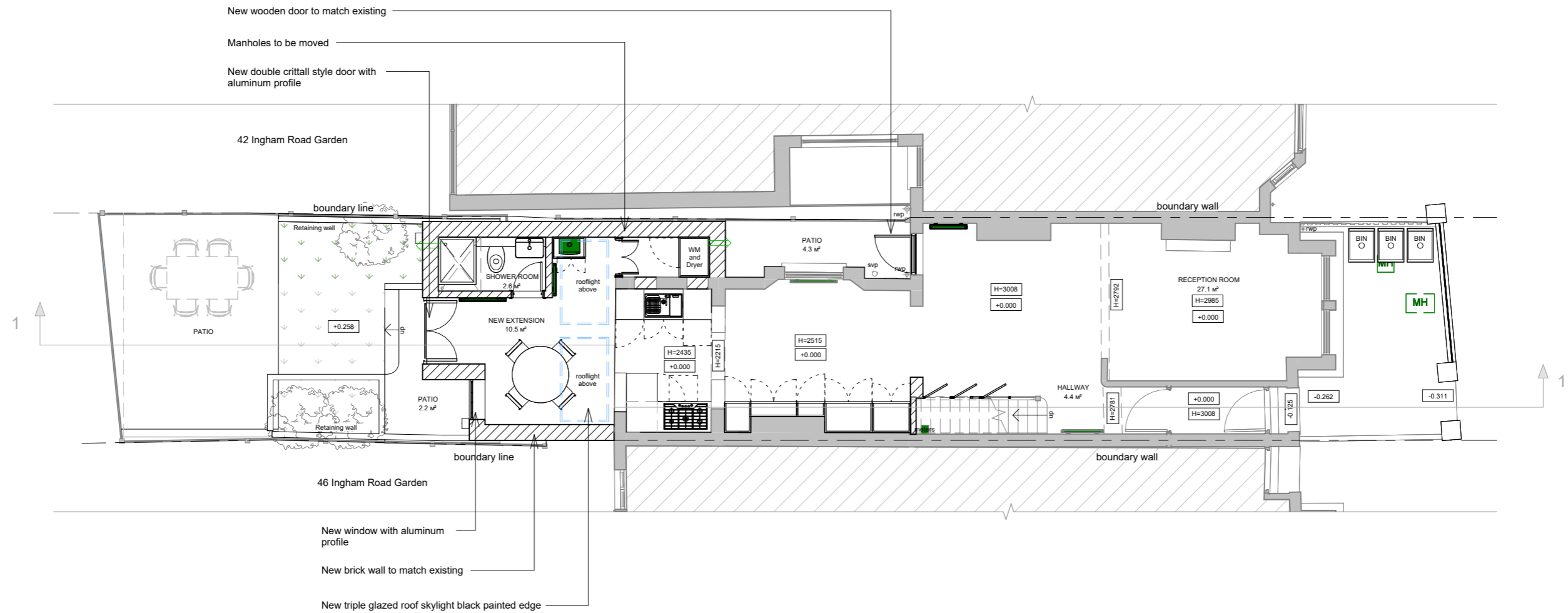


1. As the building is existing some walls may not be straight and measurements may vary.
2. Thickness of the floor slabs is assumed.
3. Electrical, gas and water services to be inspected by certified specialists.
4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
6. Fire Strategy shall be approved by the Building Control Inspector.

Heating



No.	Description	Date

Gartwork Architecture Ltd			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	44 Ingham Rd NW6 1DE
SHEET	Proposed Site Plan

CLIENT Saskia Bosch & Mark Hendriksen		
Date 2024/02/01	Project number	Scale (@ A3) 1 : 100
Drawn by JV	DRAWING NUMBER	
Checked by GA	2010	

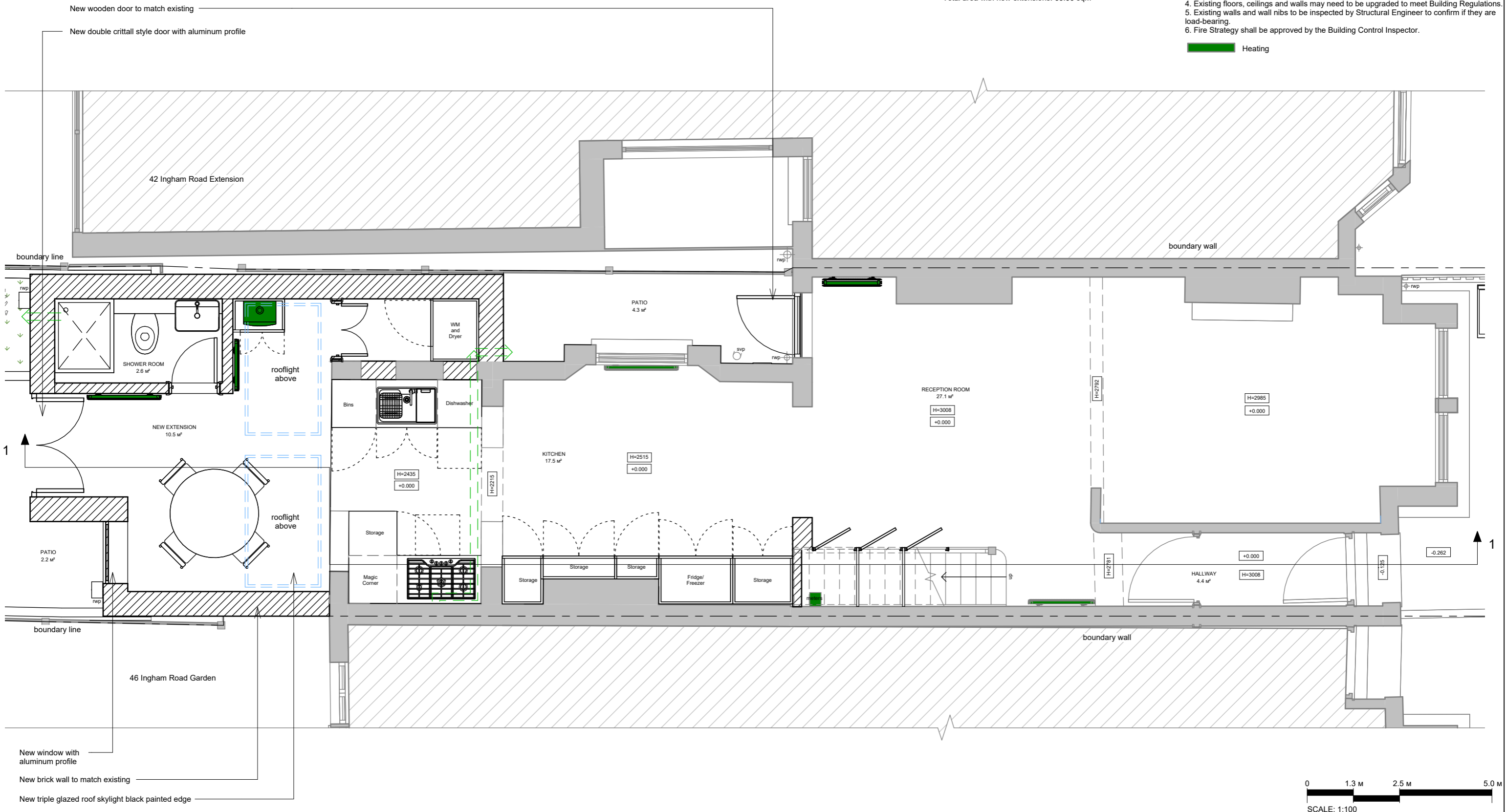
- area of the new extensions: 15.13 sqm
 - 25% of the above floor area: 3.78 sqm
 - the total area of any windows and doors which no longer exist or are no longer exposed due to the extension: 7.29 sqm
 - summary of the 25% of the floor area and the old window and door area: 11.07 sqm
 - the proposed total area of new openings: 10.2 sqm

Total area : 54.83 sqm
 Total area with new extensions: 69.96 sqm

Existing walls and partitions
 Proposed walls and partitions

- As the building is existing some walls may not be straight and measurements may vary.
- Thickness of the floor slabs is assumed.
- Electrical, gas and water services to be inspected by certified specialists.
- Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
- Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
- Fire Strategy shall be approved by the Building Control Inspector.

Heating



No.	Description	Date

Gartwork Architecture Ltd			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	44 Ingham Rd NW6 1DE
SHEET	Proposed Ground Floor Plan

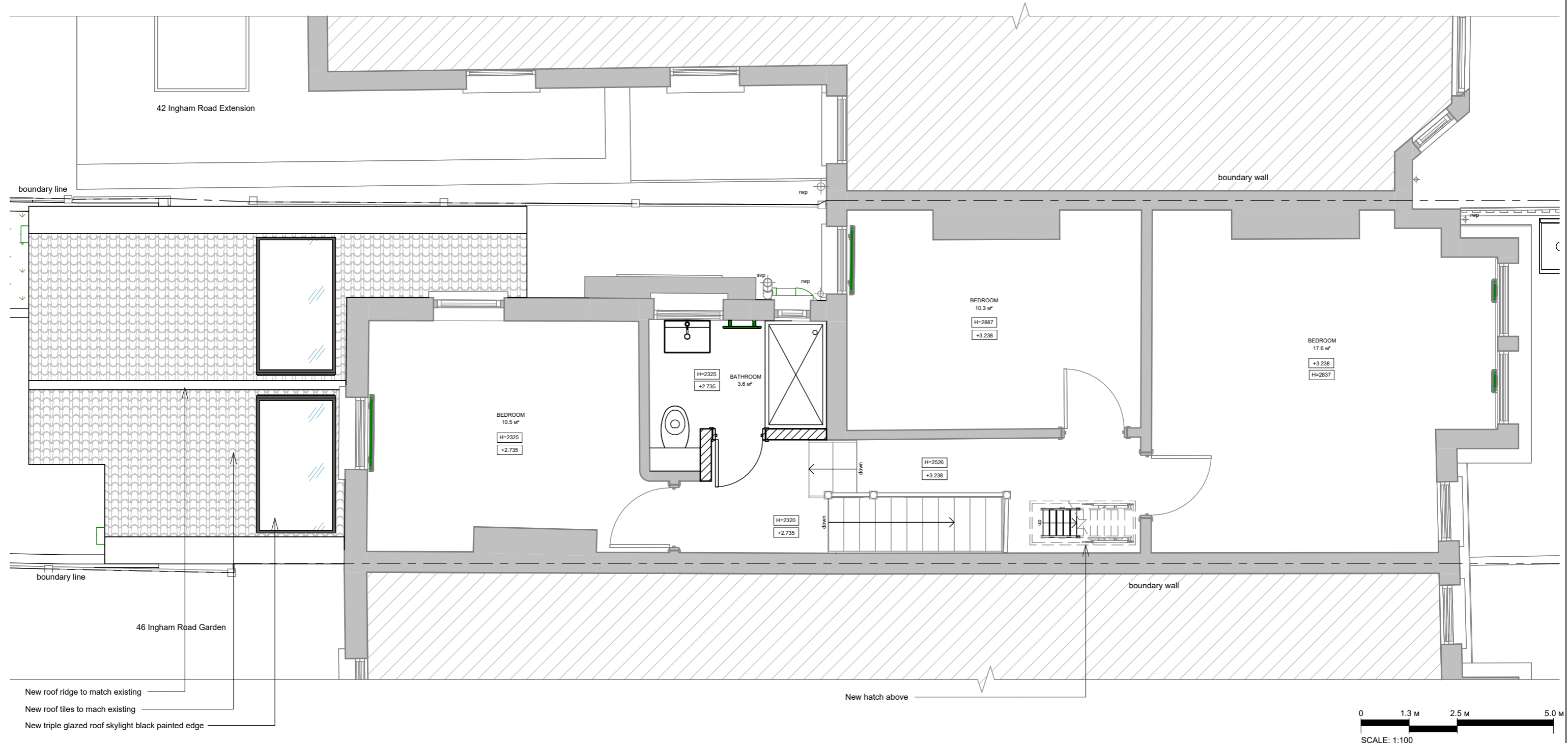
CLIENT Saskia Bosch & Mark Hendriksen		
Date	Project number	Scale (@ A3)
2024/02/01		1 : 50
Drawn by	DRAWING NUMBER	
JV	2011	
Checked by		
GA		

Existing walls and partitions

1. As the building is existing some walls may not be straight and measurements may vary.
2. Thickness of the floor slabs is assumed.
3. Electrical, gas and water services to be inspected by certified specialists.
4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
6. Fire Strategy shall be approved by the Building Control Inspector.

Drainage

- Assumed and suggested drainage route TBC on site by Plumber.
- Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.
- svp
- rwp
- Heating



No.	Description	Date

Gartwork Architecture Ltd			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	44 Ingham Rd NW6 1DE
SHEET	Proposed First Floor Plan

CLIENT Saskia Bosch & Mark Hendriksen		
Date	Project number	Scale (@ A3)
2024/02/01		1 : 50
Drawn by	DRAWING NUMBER	
JV	2012	
Checked by		
GA		

Existing walls and partitions

1. As the building is existing some walls may not be straight and measurements may vary.
2. Thickness of the floor slabs is assumed.
3. Electrical, gas and water services to be inspected by certified specialists.
4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
6. Fire Strategy shall be approved by the Building Control Inspector.

Drainage

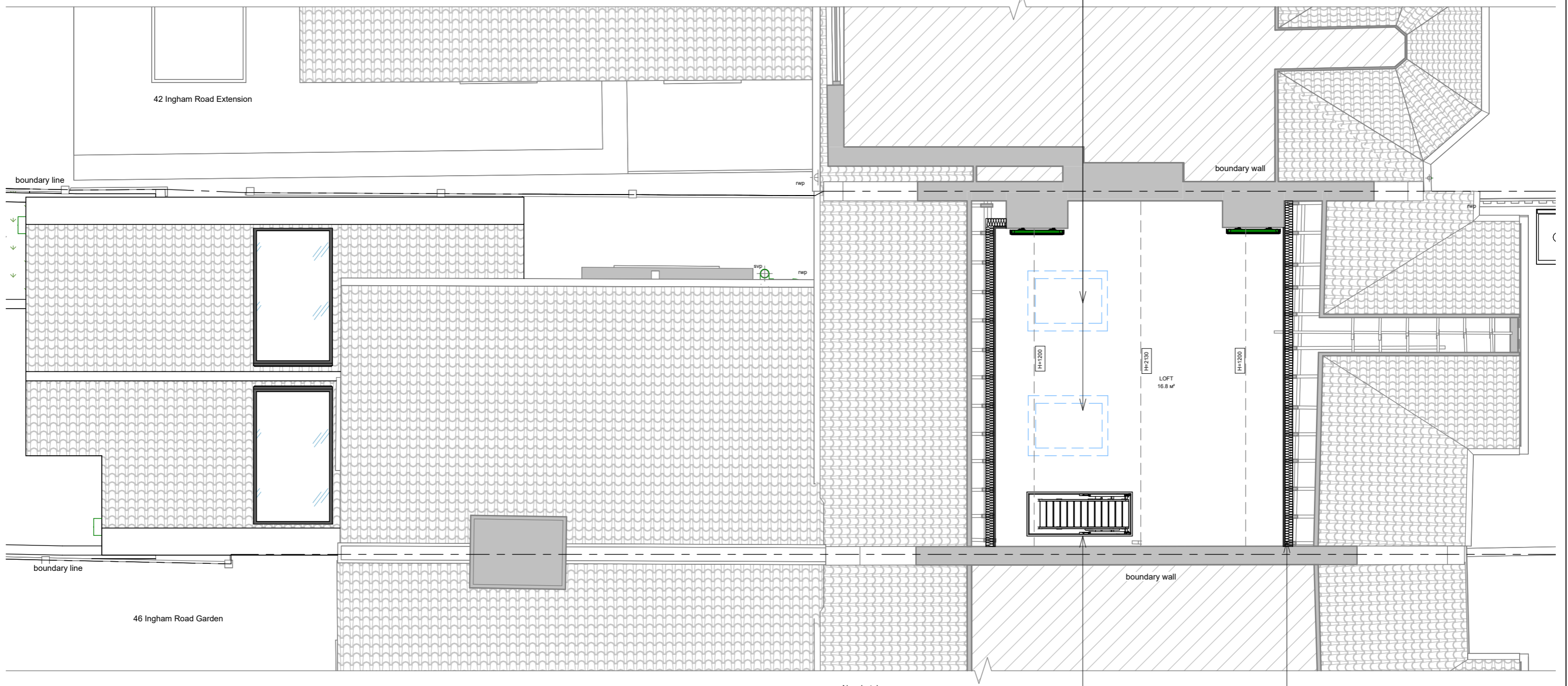
Assumed and suggested drainage route TBC on site by Plumber.
Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.



Heating

New white polyurethane openable rooflight

42 Ingham Road Extension

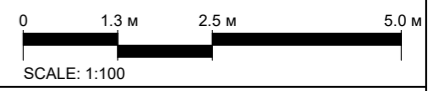


boundary wall

boundary wall

New hatch

New drywall and insulation. Full specification to be confirmed on technical stage



No.	Description	Date

Gartwork Architecture Ltd			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	44 Ingham Rd NW6 1DE
SHEET	Proposed Loft Floor Plan

CLIENT Saskia Bosch & Mark Hendriksen		
Date 2024/02/01	Project number	Scale (@ A3) 1 : 50
Drawn by JV	DRAWING NUMBER	
Checked by GA	2013	

Existing walls and partitions

1. As the building is existing some walls may not be straight and measurements may vary.
2. Thickness of the floor slabs is assumed.
3. Electrical, gas and water services to be inspected by certified specialists.
4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
6. Fire Strategy shall be approved by the Building Control Inspector.

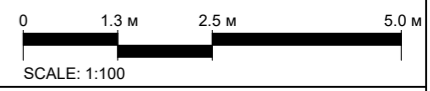
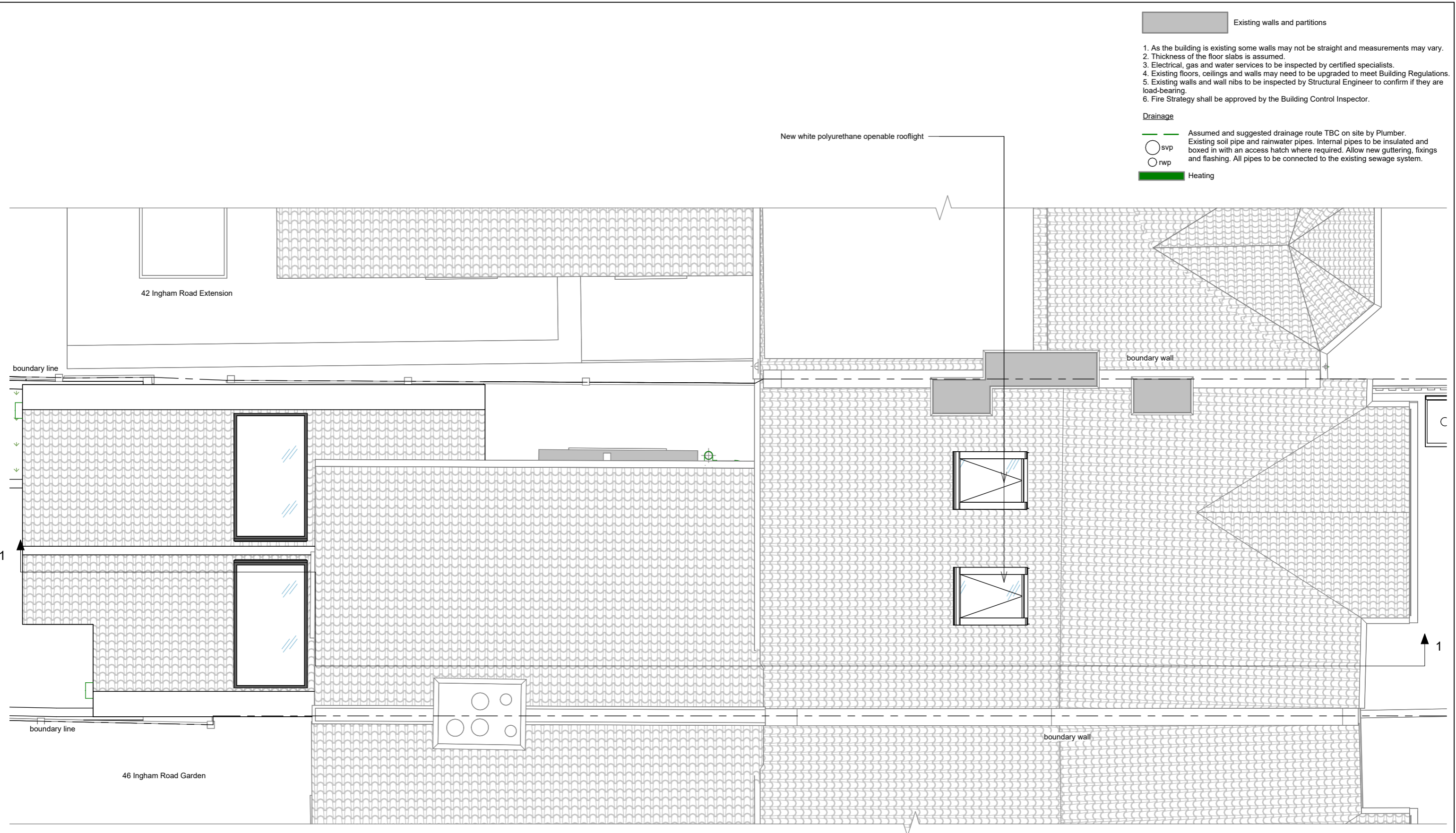
Drainage

Assumed and suggested drainage route TBC on site by Plumber.
Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.



Heating

New white polyurethane openable rooflight



No.	Description	Date

Gartwork Architecture Ltd			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	44 Ingham Rd NW6 1DE
SHEET	Proposed Roof Plan

CLIENT Saskia Bosch & Mark Hendriksen		
Date	Project number	Scale (@ A3)
2024/02/01		1 : 50
Drawn by	DRAWING NUMBER	
JV	2014	
Checked by		
GA		

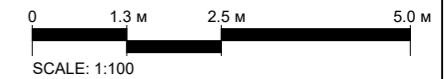
Existing walls and partitions

1. As the building is existing some walls may not be straight and measurements may vary.
2. Thickness of the floor slabs is assumed.
3. Electrical, gas and water services to be inspected by certified specialists.
4. Existing floors, ceilings and walls may need to be upgraded to meet Building Regulations.
5. Existing walls and wall nibs to be inspected by Structural Engineer to confirm if they are load-bearing.
6. Fire Strategy shall be approved by the Building Control Inspector.

Drainage

- Assumed and suggested drainage route TBC on site by Plumber.
- Existing soil pipe and rainwater pipes. Internal pipes to be insulated and boxed in with an access hatch where required. Allow new guttering, fixings and flashing. All pipes to be connected to the existing sewage system.

Heating

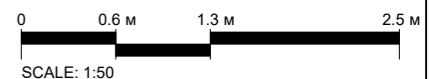


No.	Description	Date

Gartwork Architecture Ltd			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	44 Ingham Rd NW6 1DE
SHEET	Proposed Section 1

CLIENT Saskia Bosch & Mark Hendriksen		
Date	Project number	Scale (@ A3)
2024/02/01	2015	1 : 100
Drawn by	DRAWING NUMBER	
JV	2015	
Checked by		
GA		



No.	Description	Date

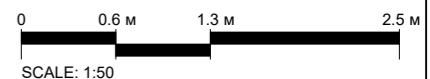
Gartwork Architecture Ltd			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	44 Ingham Rd NW6 1DE
SHEET	Proposed Front Elevation

CLIENT Saskia Bosch & Mark Hendriksen		
Date 2024/02/01	Project number	Scale (@ A3) 1 : 50
Drawn by JV	DRAWING NUMBER	
Checked by GA	2016	



- RP
+8.580
- ▼
- New white polyurethane openable rooflight
- Existing tiles
- LFP2
+6.225
- ▼
- Existing London stock brick
- LFP1
+5.060
- ▼
- Existing wooden sash window
- New roof ridge to match existing
- New triple glazed roof skylight black painted edge
- FFP2
+3.238
- ▼
- New roof tiles to mach existing
- FFP1
+2.735
- ▼
- New box gutter and hopper to match existing
- New soil vent pipe to match existing
- New brick wall to match existing
- New double crittall style door with aluminum profile
- New window with aluminum profile
- GFP
+0.000
- ▼
- New retaining wall needed to mach existing

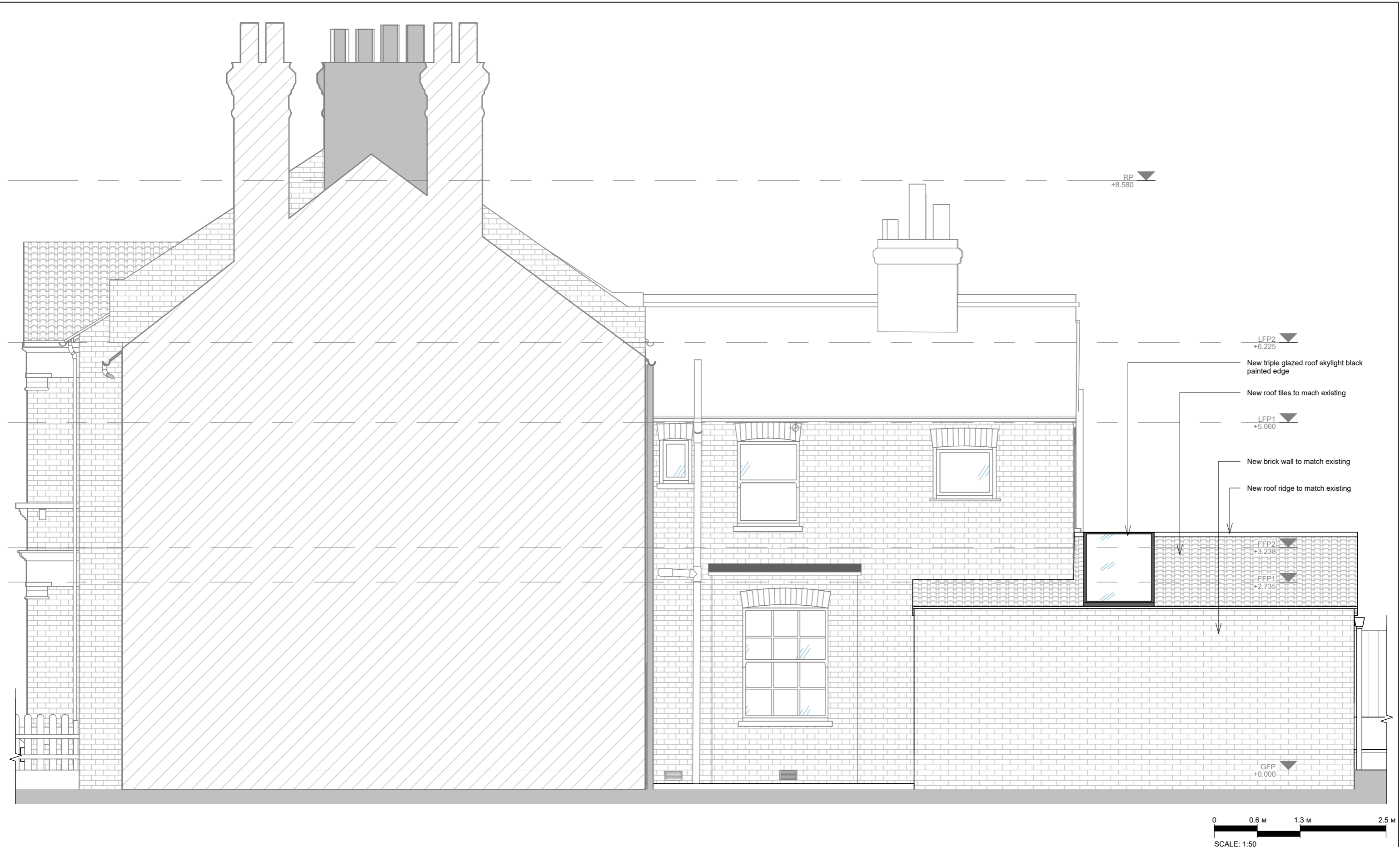


No.	Description	Date

Gartwork Architecture Ltd			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	44 Ingham Rd NW6 1DE
SHEET	Proposed Rear Elevation

CLIENT Saskia Bosch & Mark Hendriksen		
Date 2024/02/01	Project number	Scale (@ A3) 1 : 50
Drawn by JV	DRAWING NUMBER	
Checked by GA	2017	



No.	Description	Date

Gartwork Architecture Ltd			
CODE	STATUS	SUITABILITY DESCRIPTION	PURPOSE OF ISSUE

PROJECT	44 Ingham Rd NW6 1DE
SHEET	Proposed Side Elevation

CLIENT Saskia Bosch & Mark Hendriksen		
Date 2024/02/01	Project number	Scale (@ A3) 1 : 50
Drawn by JV	DRAWING NUMBER	
Checked by GA	2018	