

Demolition Notes:	
01	Demolition of existing roof lantern
02	Demolition of existing section of roof
03	Demolition of existing section of ground beam.
04	Demolition of existing piles.
05	Demolition of existing side extension
06	Demolition of existing portico
07	Demolition of existing rooflights
08	Existing tree to be removed
09	Demolition of existing basement
10	Demolition of existing lightwell
11	Demolition of existing window
12	Demolition of existing external door
13	Demolition of existing side gate and fence
14	Demolition of existing section of wall
15	Demolition of existing section of site wall
16	Demolition of existing pedestrian and vehicular gates
17	Demolition of existing bay window

Revision A Notes - 19.01.24	
01	East basement wall moved inwards to reduce basement area
02	Garden wall stepped back water feature omitted and skylight moved to suit. Wall reduced in height to align with the neighbouring (no.48) balcony
03	Garden wall reduced in height to align with the neighbouring (no.48) balcony

Key Proposed Site Plan (NTS)	
Key:	
	Existing earth/structure
	Proposed earth/structure
	Hatch denotes existing structure/ fittings to be removed
	Hatch denotes existing earth to be removed
	Line denotes removal of existing structure
	Line denotes area of development
General Notes:	
1. All drawings based on survey information received from P1601M	
2. These drawings are for the purposes of a planning application only. They should not be built from.	
3. Refer to Arboricultural's report for information regarding trees	
4. All existing window frames painted black (under P10 signs)	
5. Refer to SE reports for further information regarding piling / subterranean works	
Proposed Notes:	
01	Brickwork to match existing
02	Proposed single external door to match existing
03	Proposed glazing
04	Proposed tiled roof form to match existing
05	Proposed dormer to match existing
06	Proposed timber side gate
07	Proposed timber plant enclosure containing ASHPs and condensor unit
08	Proposed painted front door to match existing
09	Proposed lift overrun clad to match existing roof
10	Proposed section of wall to match existing
11	Existing ground beams retained
12	Glazed link to new extension
13	Proposed vehicle gate
14	Proposed rooflight to match existing
15	Proposed pedestrian gate
16	Proposed timber bike store
17	Proposed timber bin store
18	Proposed lightwell to replace existing
19	Access ladder from proposed lightwell
20	Proposed skylight
21	Proposed brick garden wall
22	Proposed SVP vent
23	Tiled roof to new extension
24	Paving slabs
25	Timber bay window to match existing

Rev A	19/01/2024	Issued for Planning
First Issue	29/06/2023	Issued for Planning

# PLANNING

Project No. 22022

Client Private

Date January 2024

Scale 1:50 @ A1 / 1:100 @ A3

Project 50 Maresfield Gardens

Drawing Title: Demolition & Proposed Section AA

Drawing No. P1600 Rev. A

Drawn AA Approved AH Signed CL

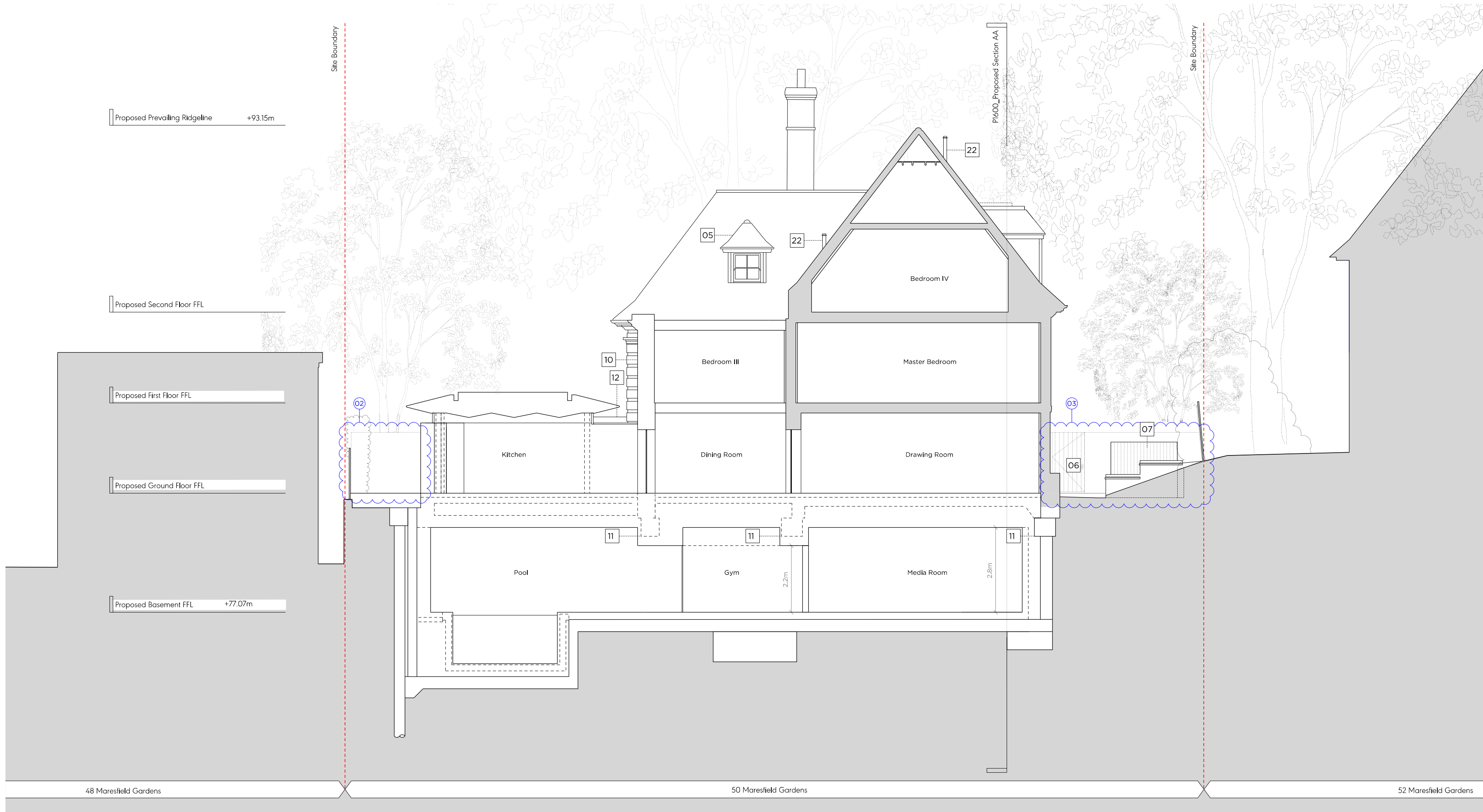
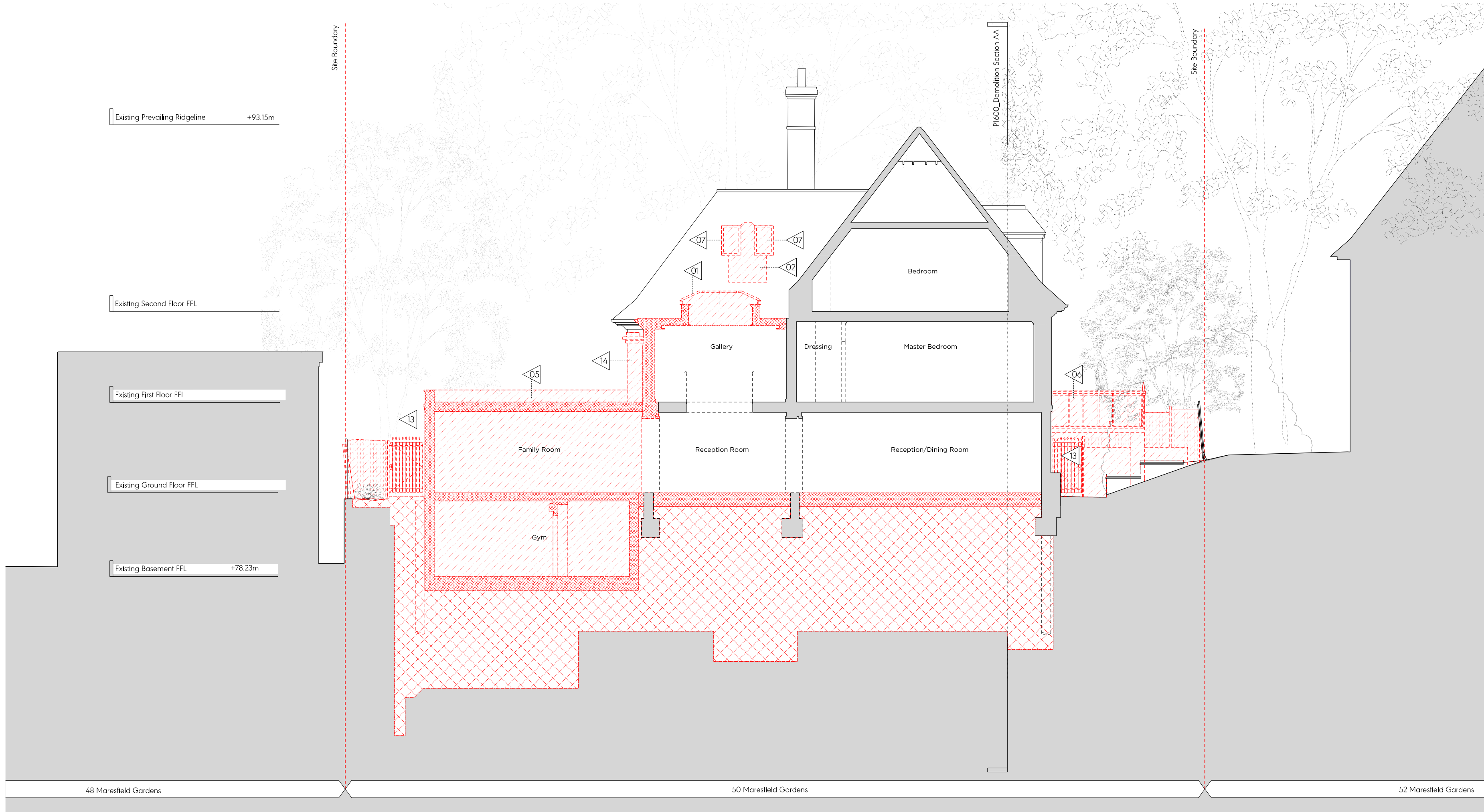
**Marek Wojciechowski Architects**

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0 1m 2m 3m 4m 5m 6m





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PLANNING	
Project No.	22022
Client	Private
Date	January 2024
Scale	1:50 @ A1 / 1:100 @ A3
Project	50 Maresfield Gardens
Drawing Title:	Demolition & Proposed Section BB
Drawing No.	P1601
Rev.	A
Drawn	AA
Approved	AH
Signed	CL
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