

26 King's Mews
Holborn
London
WC1N 2JB

Sabbadin Corti. **Fire Statement** 26 & 27 King's Mews

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Fire Statement

1.0 Introduction

1.1 The Project

This Fire Statement has been prepared by Sabbadin Corti Limited on behalf of the owners of 26 King's Mews, in support of a Planning Application for the demolition of the existing office/warehouse at 26 King's Mews, erection of part three, part four-storey office building with basement, and amalgamation with the existing office building at 27 King's Mews, in the London Borough of Camden.



Fire Statement

2.0 Fire Strategy

2.1 National and Local Policies

The team has developed the general principles of the Fire Strategy and intend to review these with London Fire Brigade.

26 and the existing 27 King's Mews are connected to function as one, and therefore the existing strategies have been incorporated.

Some key areas of consideration have been:

- Access to existing shared escape stairs used by 27 King's Mews
- Dignified means of escape for all occupants

Design Guidance

The design has been primarily based on the guidance within:

- BS 9999 2017, Fire safety in the design, management, and use of buildings. Code of practice (for the commercial and plant spaces).
- Additionally, the design has referred to the Approved Document B: Volume 2 2019 (incorporating 2020 and 2022 amendments) to supplement BS 9999 with respect to recent changes in regulations and guidance which are not yet reflected in BS 9999.
- London Plan 2021, has been considered and addressed. In addition to the London Plan itself, development of the design and the Fire Statement has considered the guidance in the GLA document, London Plan Guidance, Fire Safety, February 2022.

Fire Statement

2.0 Fire Strategy

2.2 Summary

- Risk Profile(s):

From First to Third Floor levels, it is assumed that all occupants will be alert and familiar with the building as all areas are either office or plant space. These areas have therefore been assessed against an occupant risk profile of A2.

At Lower Ground Floor and Ground Floor levels, there is a mix of occupant profiles, with some areas likely to be occupied by people who are alert but not familiar with the building. These areas have therefore been assessed against a B2 occupant profile.

- Height of Top Floor:
Less than 18 m.
- Evacuation Strategy:

Both no.26 and no.27 will operate a simultaneous evacuation strategy. The alarms between both buildings will be interlinked, with a confirmed fire in any building triggering a full evacuation. The evacuation strategy has been developed on the assumption that both buildings evacuate together, as this will place the greatest pressure on the shared evacuation stairs, Fire detection & warning, horizontal and vertical escape, refuges, loadbearing elements of structure, compartmentation, fire mains & hydrants, vehicle access, access for firefighters, venting of heat & smoke from basements.



