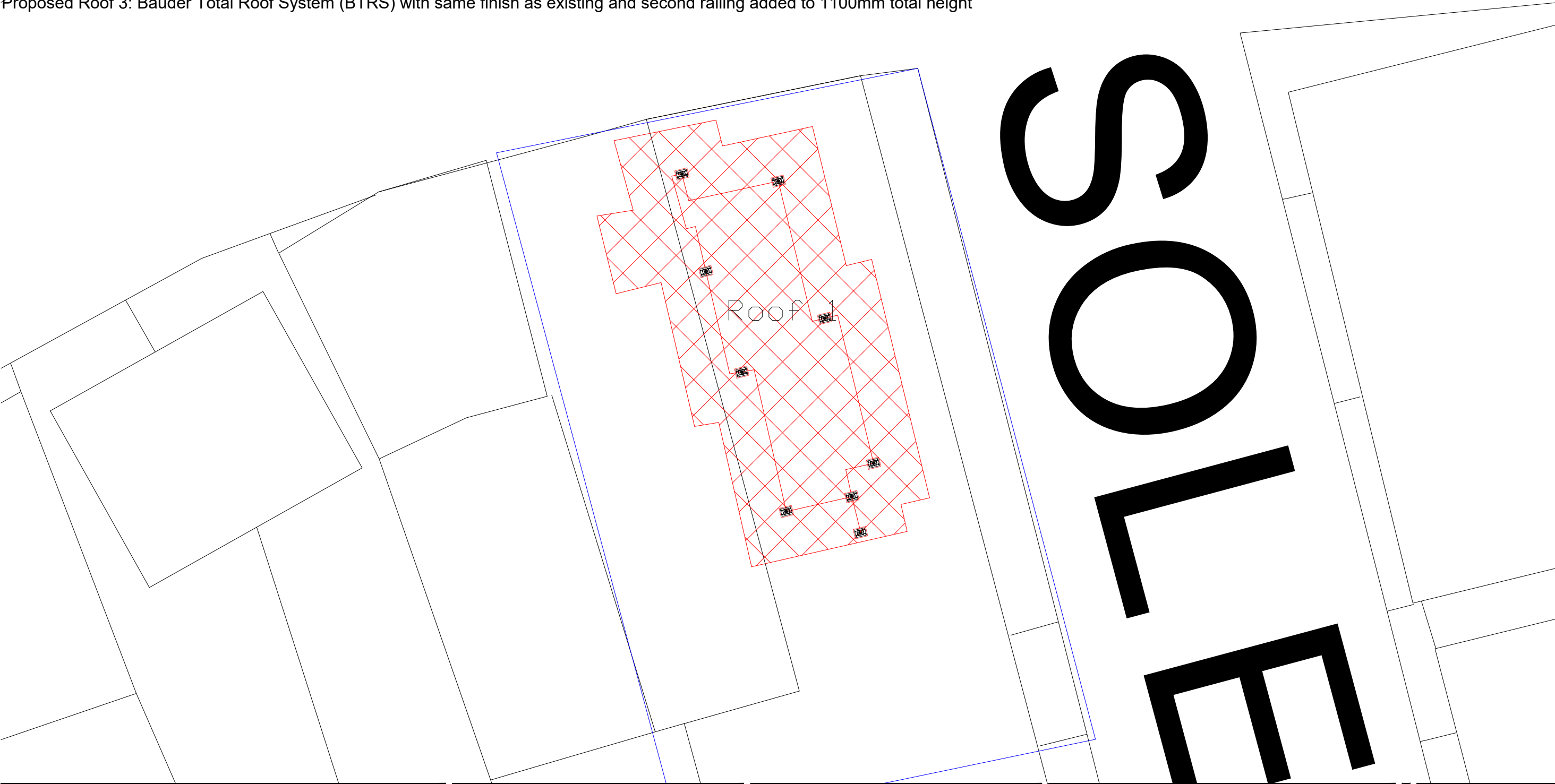


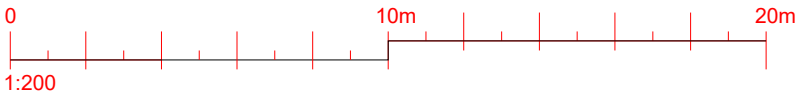
Existing Roof 1: Inverted flat roof
Proposed Roof 1: Bauder Total Roof System (BTRS), 225mm (3 courses of brickwork) increase to height, CAT ladder and latchway system max 2.3m from edge

Existing Roof 2: Inverted flat terraced roof
Proposed Roof 2: Bauder Total Roof System (BTRS) with same finish as existing and second railing added to 1100mm total height

Existing Roof 3: Inverted flat terraced roof
Proposed Roof 3: Bauder Total Roof System (BTRS) with same finish as existing and second railing added to 1100mm total height



ROOF PLAN 1:
1:200



The contractor is responsible to ensure that no products are to be utilised that do not comply with relevant British and/or European Standards and/or Codes of Practice, COSHH Regulations, Construction Regulations, or which are known or suspected at the time of product selection and/or construction to be deleterious to health and safety or to the durability of the work or not in accordance with good building practices.

The contractor is responsible for checking dimensions, tolerances, levels and references. This drawing is to be read in conjunction with all relevant consultants or specialists drawings. Any discrepancy is to be notified to Baily Garner LLP and rectified before proceeding with the works on site or shop drawings.

Where an item is covered by drawings to different scales, the larger scale drawing is to be worked to.

Do not scale drawings. Figured dimensions to be worked to in all cases.

This drawing and the copyrights and patents therein are the property of Baily Garner LLP and may not be used or reproduced without consent or attribution.

A3

CLIENT: London Borough of Camden		PROJECT: Roof and Window Replacement Works	
ADDRESS: 77-105 Solent Road London NW6 1TY		TITLE: Roof Plan 1	
SCALE: 1:200		PURPOSE OF ISSUE: Planning	
JOB NO. 34656		DATE 10/2023	
DRAWING No. P 28		REVISION	



146-148 ELTHAM HILL
LONDON SE9 5DY
t. 020 8294 1000
e. general@bailygarner.co.uk