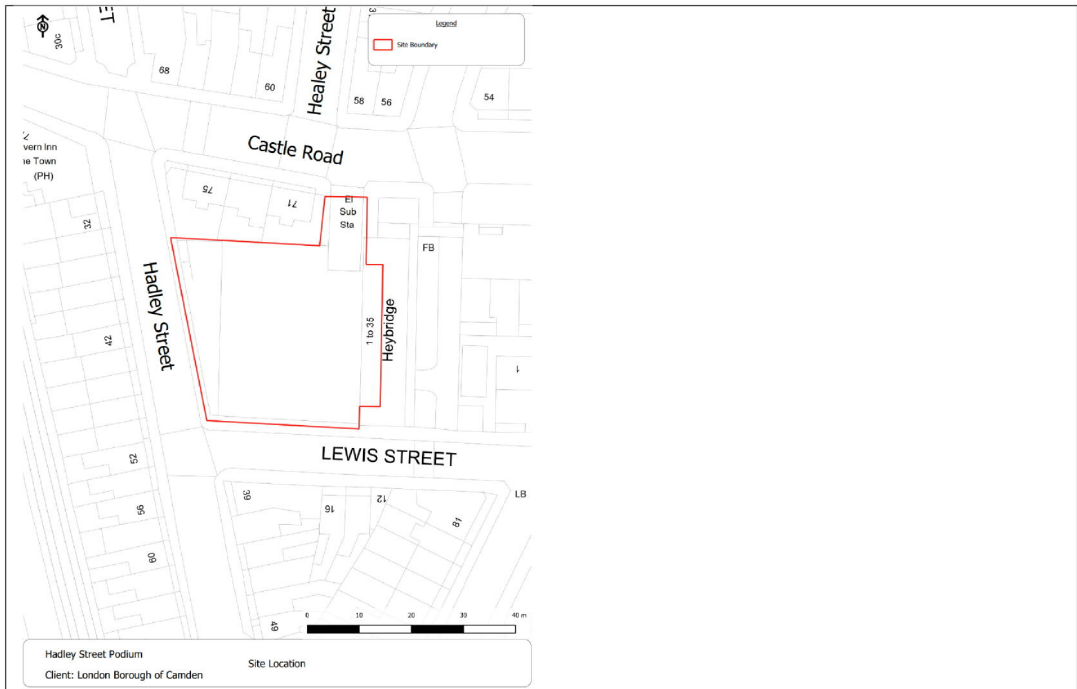


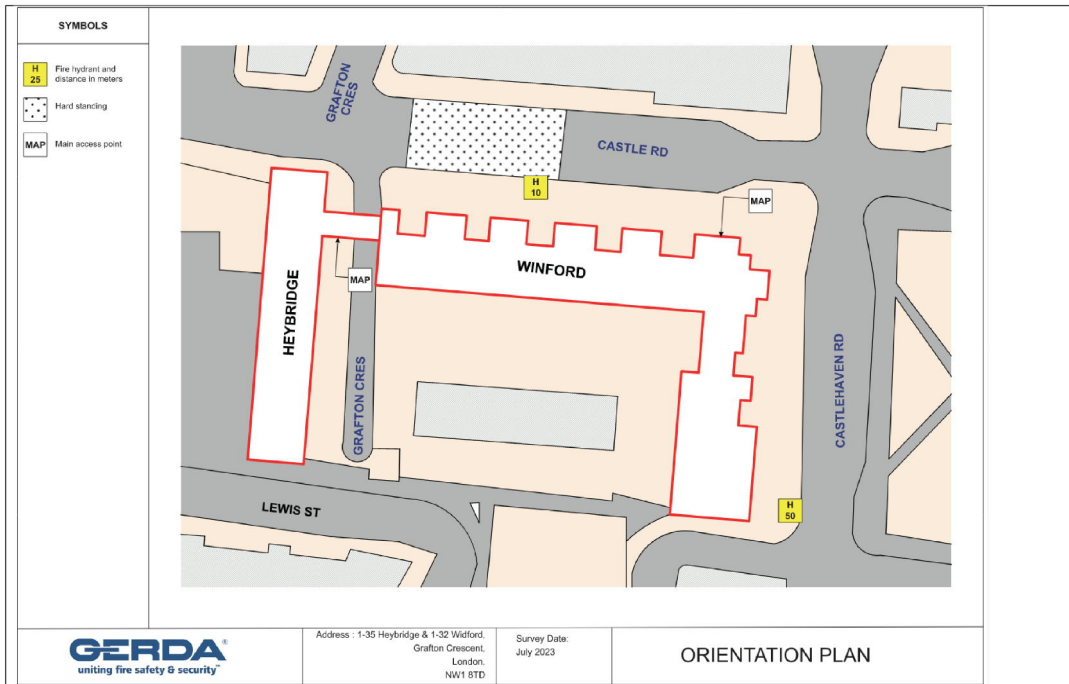
Fire statement form

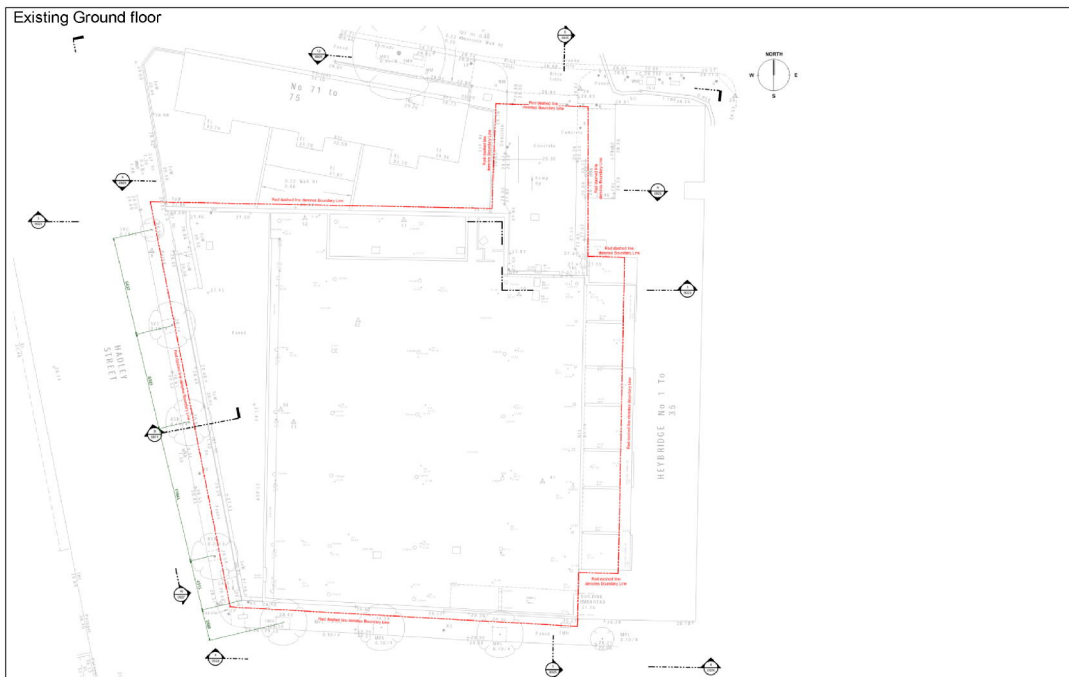
Application information	
1. Site address line 1	Hadley Street Site (Heybridge Carpark)
Site address line 2	Castle Road Estate
Site address line 3	Castle Road
Town	Camden
County	London
Site postcode (optional)	NW1 8TD
2. Description of proposed development including any change of use (as stated on the application form):	<p>This Fire Statement relates to the planning application reference 2023/3595/P.</p> <p>The proposed description of development is:</p> <p>"Demolition of unused parking structure and associated works"</p> <p>The application to demolish the structure is part of preparatory works for the Hadley Street Site within Castle Road state site as part of the Applicant's 'New Homes for Small Sites' programme. In due course, the application site is anticipated to facilitate new homes as part of the programme but this is not part of this application.</p> <p>The application site (the site) comprises a decked structure previously used for parking to the immediate west of Heybridge residential block within the Castle Road Estate. It also includes the vehicular access from Castle Road and a small triangle of land between the structure and Hadley Street to the west. In total, the site extends to 1,350 sqm.</p> <p>The immediate site boundaries comprise residential properties on Castle Road to the north, Heybridge residential block to the east, Lewis Street to the south and Hadley Street to the west. The site is located within a predominantly residential area in the Camden Town Ward positioned centrally with the London Borough of Camden.</p> <p>The parking structure itself adjoins the main Heybridge block and comprises a one storey concreted slab structure. The structure has a dilapidated appearance and, whilst the date of its last use is unknown, has not been in use for some time and this was known to be the case in 2015.</p> <p>As identified above, the site is vacant and has no current use. Entry to the site is not permitted and there are some concerns in relation to a rise in antisocial behaviour and fire safety.</p>

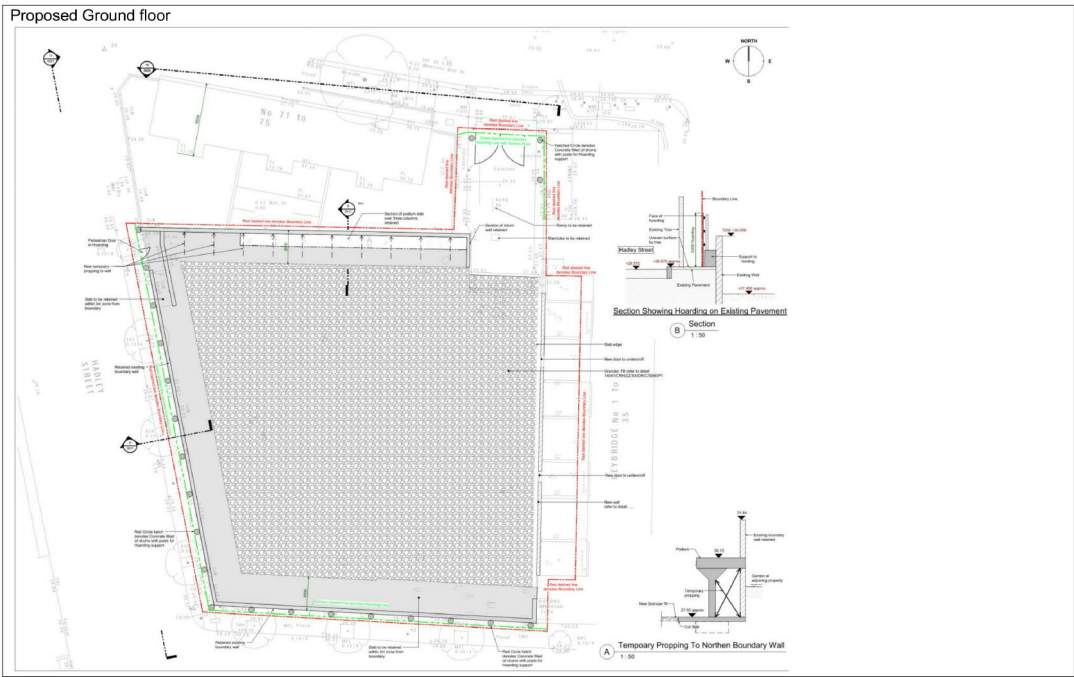
	<p>The application seeks the removal of the single storey parking structure immediately west of the Heybridge block and making good of the ground floor west elevation (to the Lower Ground/undercroft) and area currently occupied by the structure, including drainage infrastructure.</p> <p>A summary of the required works is provided below, although it is important to note that not all of these works require planning permission:</p> <ul style="list-style-type: none"> • Strip-out and clearing of internal structure. • Securing the structure including temporary propping (as required) to the Heybridge block and temporary support deck inside the parking structure. • Separating the parking structure from the Heybridge block. • Breaking down the slab. • Taking down the podium, sorting and removing materials. • Securing and sealing the lower ground-level wall of the Heybridge block
<p>3. Name of person completing the fire statement (as section 15.), relevant qualifications and experience.</p> <p>Guide: no more than 200 words</p>	<p>Toby McCorry: Owner/Director Profession: Fire Safety Engineer Nationality: British Qualifications: BEng in Fire Engineering FDS Sc Heritage Building Conservation Professional Associations Chartered Fire Engineer (CEng) Member of the Institution of Fire Engineers (MIFireE Ref No: 00035019)</p> <p>Toby is the owner and Director of Toga Fire Limited a company providing Fire Safety Consultancy for more than 10 years. Toby has more than 20 years experience in Fire Safety Consultancy.</p> <p>Toby has a wealth of experience across a broad spectrum of projects and is seasoned and skilled in his approach with stratagems from new build to heritage conservation and refurbishment. This includes international projects alongside a UK portfolio and includes public buildings, commercial buildings, complex residential, mixed-use buildings, educational facilities, and Stadia.</p> <p>Toby delivers on large and complex projects throughout the UK with the primary focus to deliver on time and with quality, excellence, and innovation at the forefront of everything he does. He also leads consultation with local authorities, insurers, and other relevant stakeholders.</p>

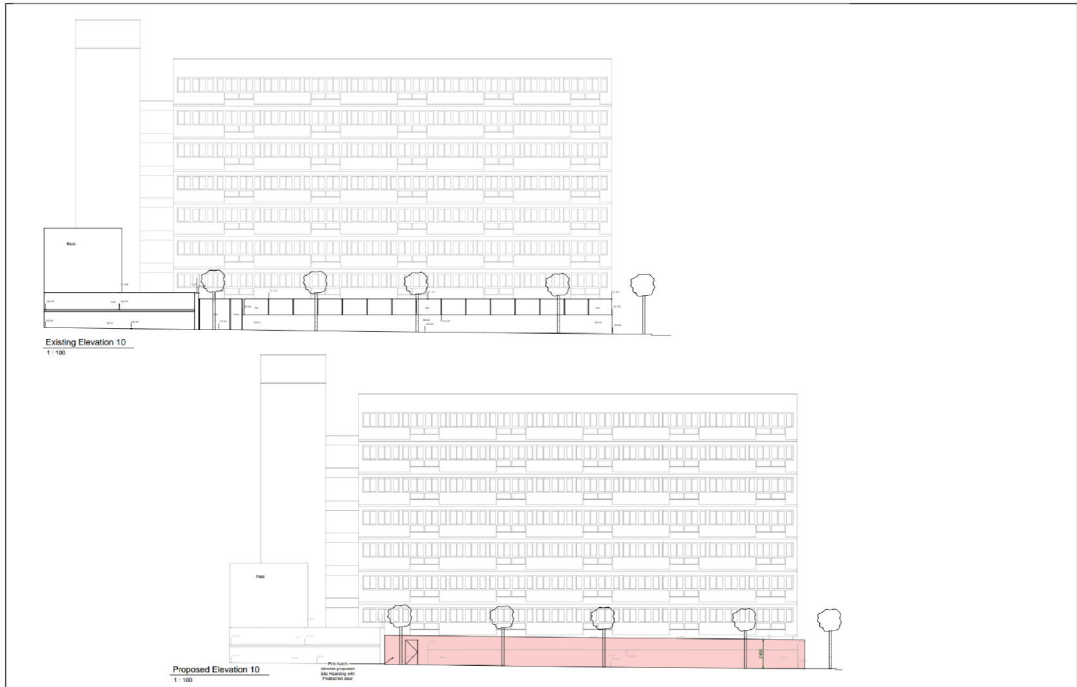
	Toby has significant experience on residential projects including new and existing buildings and infill projects on existing sites.
<p>4. State what, if any, consultation has been undertaken on issues relating to the fire safety of the development; and what account has been taken of this.</p> <p>Guide: no more than 200 words</p>	Currently consultation has been undertaken with the London Borough of Camden Project Team who has provided feedback on the scheme and guidance on London Borough of Camden fire safety policy.
<p>5. Site layout plan with block numbering as per building schedule referred to in 6. (consistent with other plans drawings and information submitted in connection with the application)</p>	
<p>Site layout plan is: inserted in the form</p>	











The principles, concepts and approach relating to fire safety that have been applied to the development									
6. Building schedule									
Site information				Building information			Resident safety information		
a) block no. as per site layout plan above	b) <ul style="list-style-type: none"> block height (m) number of storeys excluding those below ground level number of storeys including those below ground level 	c) proposed use (one per line)	d) location of use within block by storey	e) standards relating to fire safety/approach applied	f) balconies	g) external wall systems	h) approach to evacuation	i) automatic suppression	j) accessible housing provided
Heybridge Block	16.8m Eight storeys. Eight Storeys	No use proposed with respect to proposed works, undercroft accommodation will be left empty Existing accommodation not part of proposed works is residential dwellings	Lower Ground/Undercroft (location of the proposed works): No use, undercroft accommodation will be left empty. Upper Floors: residential dwellings	Approved document B vol 1	class A2-s1, d0 or better Noting not applicable to the proposed works	class A2-s1, d0 or better	stay put Noting not applicable to the proposed works and Lower Ground/undercroft accommodation is left empty	none	N/A non resi Noting not applicable to the proposed works and Lower Ground/undercroft accommodation is left empty

		and residential ancillary accommodation.	and residential ancillary accommodation.						
		Choose an item.		Choose an item.	Choose an item.	Choose an item.	Choose an item.	Choose an item.	Choose an item.
		Choose an item.		Choose an item.	Choose an item.	Choose an item.	Choose an item.	Choose an item.	Choose an item.
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		Choose an item.		Choose an item.	Choose an item.	Choose an item.	Choose an item.	Choose an item.	Choose an item.

7. Specific technical complexities

Explain any specific technical complexities in terms of fire safety (for example green walls) and/or departures from information in building schedule above

Guide: no more than 500 words

The existing building which is a single stair residential building that exceeds 7 storeys but is less than 18m in height and is therefore classified as a High Risk Building (HRB) and subject to Planning Gateway 1 with the Health and Safety Executive a statutory consultee.

The proposed works will not present any specific technical complexities as works will:

- remove an existing unused car park which is subject to antisocial behaviour and considered to be a fire risk;
- secure and seal the West elevation Lower Ground/undercroft areas that will be exposed by the removal of the car park;
- include no use of Lower Ground/undercroft areas which are to be left empty, accessed only by building management and Contractors.

Further survey work is to be undertaken to understand the existing ventilation provisions to the Lower Ground/undercroft areas including shafts that rise up from the undercroft soffit to roof level and vents in the wall to the resident store rooms at ground floor. This is an existing condition and in the context of fire safety, the proposed works would not make the existing condition worse/less compliant. However, recommendations have been made to the Client to survey the ventilation shafts to understand if they serve any other accommodation which would inform any remediation that would be required under the Regulatory Reform (Fire Safety) Order.

8. Issues which might affect the fire safety of the development

Explain how any issues which might affect the fire safety of the development have been addressed.

Guide: no more than 500 words

The existing building which is a single stair residential building that exceeds 7 storeys but is less than 18m in height, and is therefore classified as a High Risk Building (HRB) and subject to Planning Gateway 1 with the Health and Safety Executive a statutory consultee.

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- secure and seal the West elevation Lower Ground/undercroft areas that will be exposed by the removal of the car park;
- include no use of Lower Ground/undercroft areas which are to be left empty, accessed only by building management and Contractors.

Further survey work is to be undertaken to understand the existing ventilation provisions to the undercroft areas including shafts that rise up from the undercroft soffit to roof level and vents in the wall to the resident store rooms at ground floor. This is an existing condition and in the context of fire safety, the proposed works would not make the existing condition worse/less compliant. However, recommendations have been made to the Client to survey the ventilation shafts to understand if they serve any other accommodation which would inform any remediation that would be required under the Regulatory Reform (Fire Safety) Order.

Access is to be provided to the Lower Ground/undercroft for building management/staff and contractors, sufficient exits will be provided to ensure travel distances do not exceed:

- 25m where escape is possible in a single direction only

- 45m where escape is possible in more than one direction.
- No part of the undercroft will exceed 45m from the fire tender access point (distance measured along hose lay path).

All new external wall construction will be designed to comply with Reg 7(2) of the Building Regulations.

9. Local development document policies relating to fire safety

Explain how any policies relating to fire safety in relevant local development documents have been taken into account.
Guide: no more than 500 words

The proposed works have been designed to comply with the London Authority Plan (The London Plan) Policy D12 which requires a commitment that the development will not incorporate combustible materials in its external walls – that is, only materials that are Class A2-s1 rated and above under the European classification system, as set out in the standard BS EN 13501-1 and as reflected in UK Building Regulations, will be used except for the exempt elements as set out under Regulation 7(3) of Approved Document B.

Emergency road vehicle access and water supplies for firefighting purposes

10. Fire service site plan

Explanation of fire service site plan(s) provided in 14. including what guidance documents have informed the proposed arrangements for fire service access and facilities?
Guide: no more than 200 words

The proposed works will not impact upon Fire Service access to the Heybridge Block with all existing vehicular access and personal routes and fire fighting provisions, such as existing street hydrant and a dry rising main, to be maintained. Indeed with the removal of the existing car park and no use within the Lower Ground/undercroft there is less internal accommodation that will need to be accessed.

Approved Document B Volume 1 2019 Edition incorporating 2020 and 2022 amendments has been used to inform the access requirements for the undercroft, notably no part of the undercroft will exceed 45m from the fire tender access point (distance measured along hose lay path).

The existing Fire Service access routes are described and illustrated in the following Sections.

11. Emergency road vehicle access

Specify emergency road vehicle access to the site entrances indicated on the site plan
Guide: no more than 200 words

The Fire Service vehicle access to the site will remain unchanged. Access is provided to the site from existing roads and primarily Castle Road which provide a hardstanding road access for the Fire and Rescue Service tender appliance with the set down point of the fire service appliance possible within 18m of the dry rising main inlet to the building and within 45m of all parts of the Lower Ground/undercroft.

Is the emergency vehicle tracking route within the site to the siting points for appliances clear and unobstructed?

yes

12. Siting of fire appliances

Guide: no more than 200 words

The Fire Service vehicle access to the site will remain unchanged. Access is provided to the site from existing roads and primarily Castle Road which provide a hardstanding road access for the Fire and Rescue Service tender appliance with the set down point of the fire service appliance possible within 18m of the dry rising main inlet to the building and within 45m of all parts of the Lower Ground/undercroft.

13. Suitability of water supply for the scale of development proposed

Guide: no more than 200 words

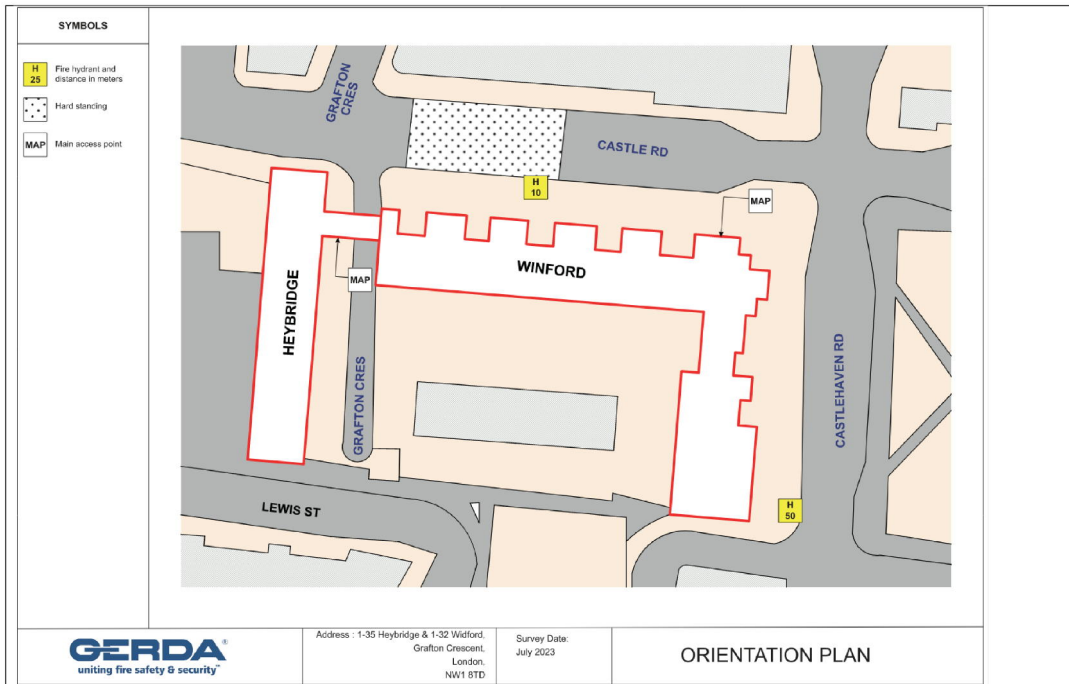
Existing street hydrants will continue to serve the development and the proposed works do not alter these provisions nor require additional provisions to be made. The Heybridge-Winford GERDA Map details the locations of the existing street hydrants in the vicinity of the site which are illustrated in the next section.


Nature of water supply:
hydrant- public

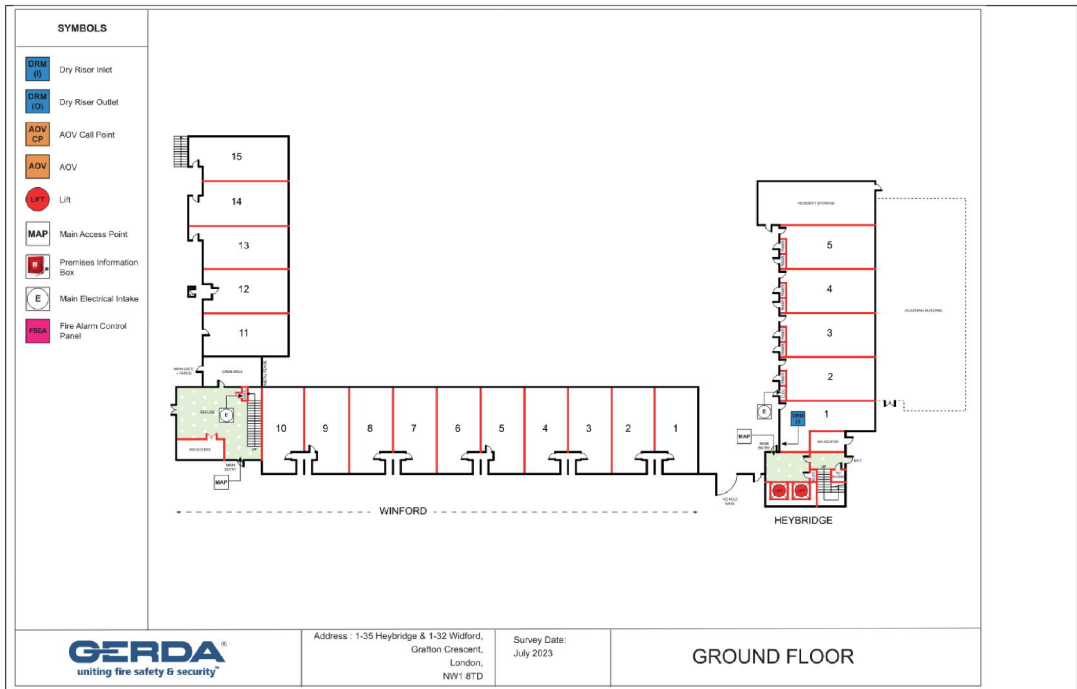
Does the proposed development rely on existing hydrants and if so are they currently usable / operable?
yes

14. Fire service site plan

Fire service site plan is:
inserted in the form



BUILDING LAYOUT		FIREFIGHTING SYSTEMS	
Size	363m2 approximately.	Smoke control systems	None installed.
Construction	Walls: Concrete and brick construction, windows are UPVC. Concrete and steel balconies. Concrete Open deck balconies Floors: Concrete Stairs: Concrete Roof: Flat	Sprinkler systems	None seen.
Numbers of floors	8	Water supplies	Hydrants <ul style="list-style-type: none"> • 50m on Castlehaven Rd in front of 15 Winford • 10m on Castle Rd in front of 6 Winford.
Layout	Winford – entering through the MAP you enter a small lobby with electrical intake cupboard, stairs to the upper floors, door leading to a small open underpass with metal fencing, door leading to refuse room, with internal door (no access) Flats 1 - 15 all have external entrances/exits. Heybridge is linked via a link bridge at 2 nd floor level on the open deck. Residential areas on the open deck have storage and stairs, flat 16 entrance is on the 1 st floor stairwell and flat 32 entrance is on the 3 rd floor stairwell. All flats are maisonette. Heybridge- entering through the MAP you enter a small lobby with Lifts, Electrical intake, stairs to the upper floors, rear exit from stairwell, flats 1 – 5 have external entrances/exits, Link bridge to Winford on 2 nd floor. Residential areas have lifts, stairs, risers, open decks.	Water mains	Riser locations: Dry Riser Inlet: RHS of MAP Heybridge. Dry Riser Outlets: Open decks 2 nd 4 th & 6 th floors Heybridge.
Lifts	Two standard lifts. (Heybridge only)	Firefighting lifts	None.
Types of Front Entrance Doors	FD30s.	Firefighting shafts	None.
Rubbish chutes/bin rooms	Winford- to the LHS of MAP/ No bin chutes. Heybridge refuse area external away from building. No Chutes.	HAZARDOUS MATERIALS	
Common voids	On each floor.	Location, type, quantity	N/A
Access to roof/service rooms	Top floor both Winford and Heybridge	SERVICES	
Occupants	122 based on 2 per flat.	Electricity	Electrical intake cupboard entrance lobbies both blocks.
Fire alarm system	None installed.	Gas	Could not locate GSV for this block.
Evacuation strategy	Stay Put Fire action notices displayed in communal areas.		
		Address : 1-35 Heybridge & 1-32 Wildford, Grafton Crescent, London, NW1 8TD	Survey Date July 2023
ON ARRIVAL INFORMATION			

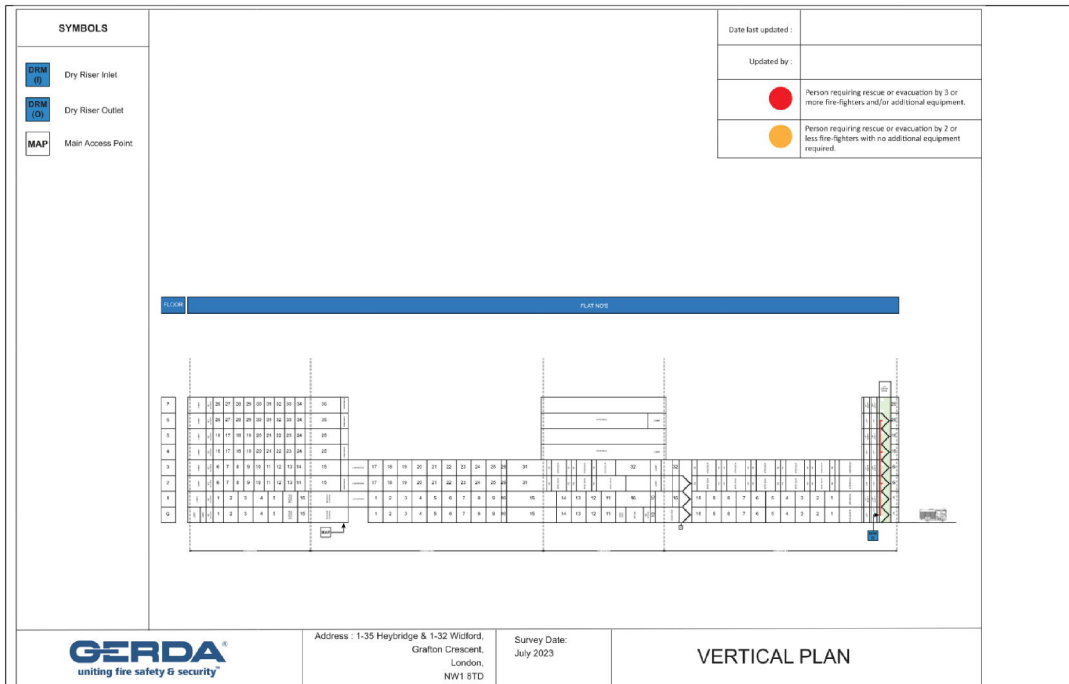


GERDA
uniting fire safety & security

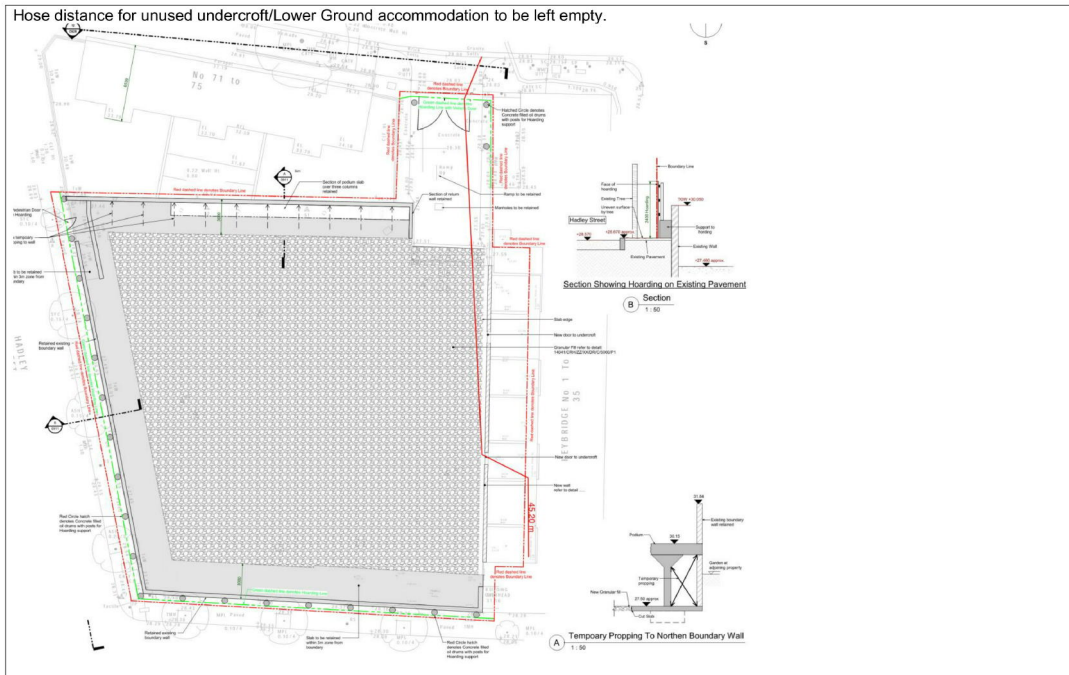
Address: 1-35 Heybridge & 1-32 Widford,
Grafton Crescent,
London,
NW1 8TD

Survey Date:
July 2023

GROUND FLOOR



Hose distance for unused undercroft/Lower Ground accommodation to be left empty.



Fire statement completed by	
15. Signature	[REDACTED]
16. Date	31/01/2024