

David Fowler
Planning and Building Control Customer Service Team
London Borough of Camden
5 Pancras Square
London
NIC 4AG

CBRE

CBRE, Inc.
Henrietta House
Henrietta Place
London W1G 0NB

www.cbre.com

28 September 2023

Dear Sir/Madam,

ABBEY ROAD PHASE 3, LONDON, NW6 4DX

APPLICATION TO DISCHARGE CONDITION 3 PURSUANT TO PLANNING PERMISSION REFERENCE 2022/2542/P DATED 3 MARCH 2023

On behalf of our client London Borough of Camden, please find enclosed an application for the approval of details of Condition 3 for planning application 2022/2542/P, permitted 3rd March 2023 for Abbey Road Phase 3, London, NW6 4DX.

The 3rd March 2023 (2022/2542/P) permission is for the following development:

“Demolition and redevelopment of Emminster and Hinstock blocks including Belsize Priory Health Centre, Abbey Community Centre, public house and commercial units to provide new residential accommodation (Use Class C3) and ground floor commercial space (Use Class E) to be used as flexible commercial units, across three buildings ranging from 4 to 11 storeys, along with car and bicycle parking, landscaping and all necessary ancillary and enabling works.”

Please see below for details of Condition 3. This applications seeks partial discharge, this is detailed fully below.

Condition 3

Condition 3 of this permission requires the following:

Detailed drawings/samples

Detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the Council before the relevant part of the work is begun:

- a) *Plan, elevation and section drawings, head and cill, of all external new window and door openings.*
- b) *Samples and manufacturer's details of all new facing materials including glazing, bricks, window frames and handrails.*
- c) *A sample panel of all brickwork shall be erected on-site and approved by the Council before the relevant parts of the work are commenced and the development shall be carried out in accordance with the approval given. The panel must be constructed at 1:1 scale and be no less than 1m² in size demonstrate the proposed colour, texture, mortar and bond of the brickwork.*
- d) *1:20 scale drawings of the detailed bay window studies. The relevant part of the works shall then be carried in accordance with the approved details.*

Accordingly, full details are provided for Part A, C, and D. Partial details are provided for Part B, with manufacturers details for louvres, steel door systems, commercial entrance doors, commercial windows soffits, and metal balustrades to be provided at a later date. Given that the trigger for this condition is ‘prior to the relevant work is begun’, these



www.cbre.co.uk
Registered in England No 3536032 Registered office St. Martin's Court 10 Paternoster Row London EC4M 7HP
CBRE Ltd is regulated by RICS



[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

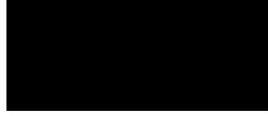
[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]

[Redacted text]



SARAH PATERSON
ASSISTANT PLANNER