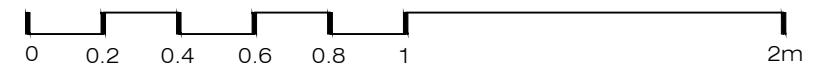


X DETAILED
Cavity membrane floor and wall build ups 1:20@A3

X DETAILED
Utility room 12 plan 1:20@A3



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ADDITIONAL NOTE:

Issue key:

- Information (I)
- Planning (P)
- Tender (T)
- Construction (C)
- As Built (B)

Project Address
9 Provost Rd, NW3 4ST

Scale 1:20@A3
Rev. Date 03.09.23

Drawn TP
Checked IW

DETAIL
Utility room build-ups

Dwg. No. AD-01 Rev. P-01
Project Number 23066

Issue For:
PLANNING

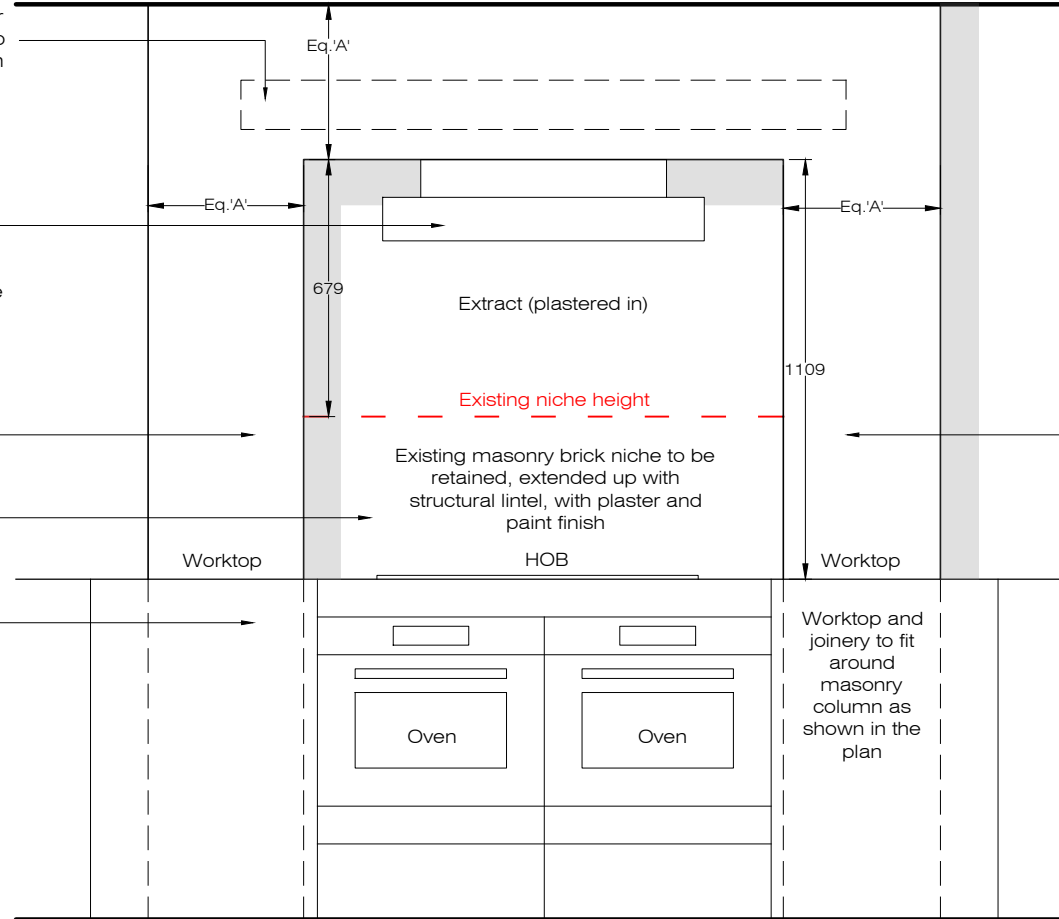
3no. concrete lintel Naylor ER6 or similar spanning between piers to structural engineer's specification

Extractor hood within increased opening
Hob extractor route between ceiling joists to rear with vent grille above rear extension. Outlet concealed from view behind rear extension parapet wall.

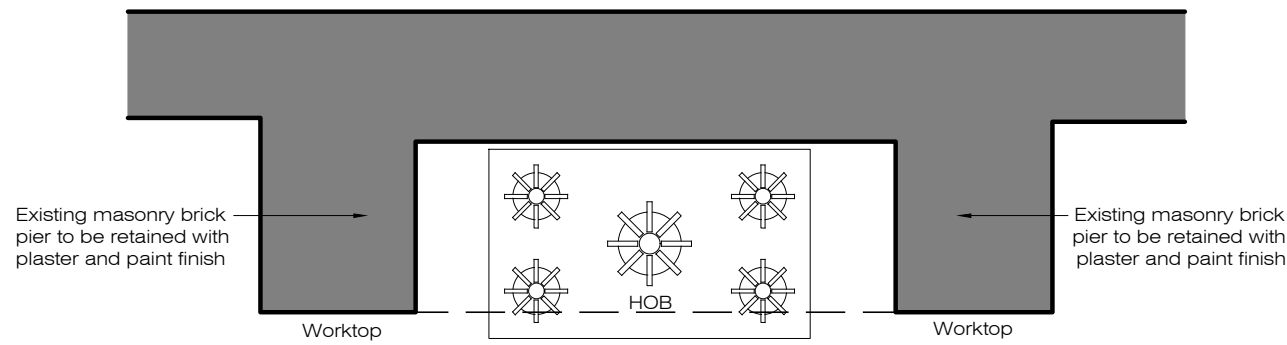
Existing masonry brick pier to be retained with plaster and paint finish

Tiled splashback to recess (TBC)

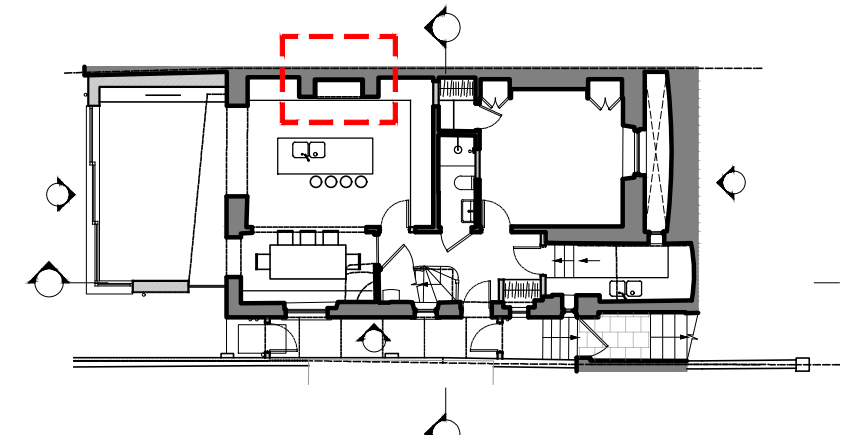
Worktop and joinery to fit around masonry column as shown in the plan



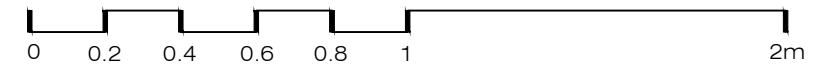
X DETAILED
Hob in fireplace elevation 1:20@A3



X DETAILED
Hob in fireplace plan 1:20@A3



X KEY PLAN



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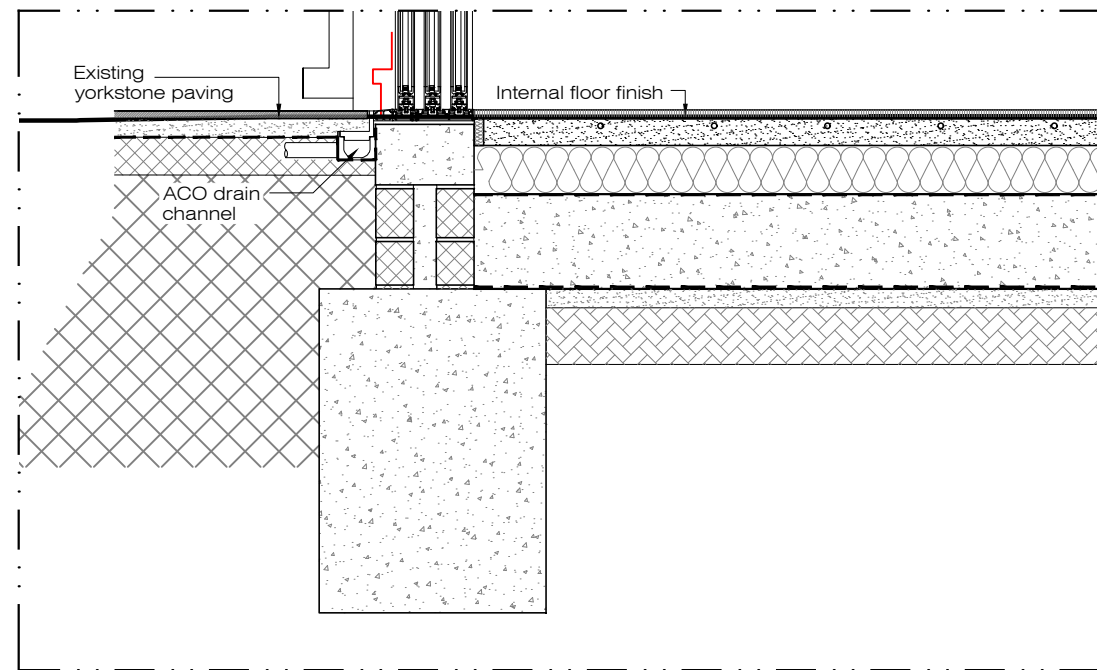
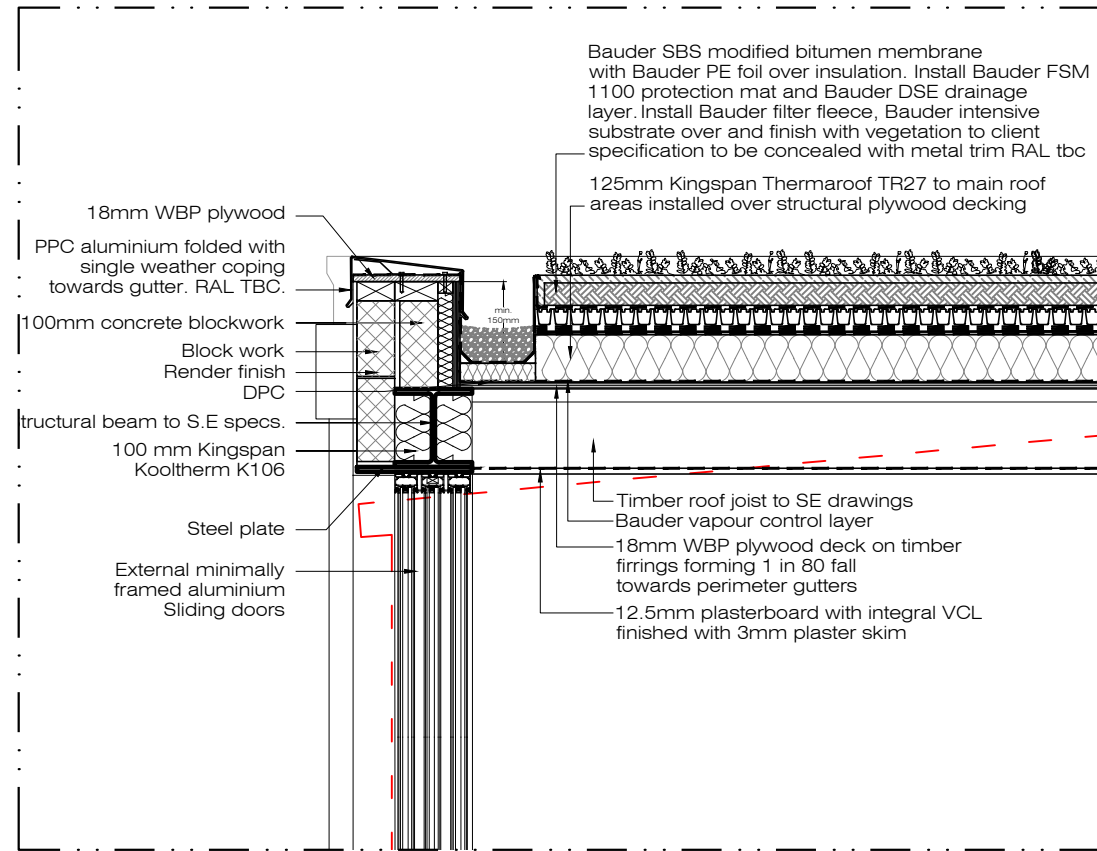
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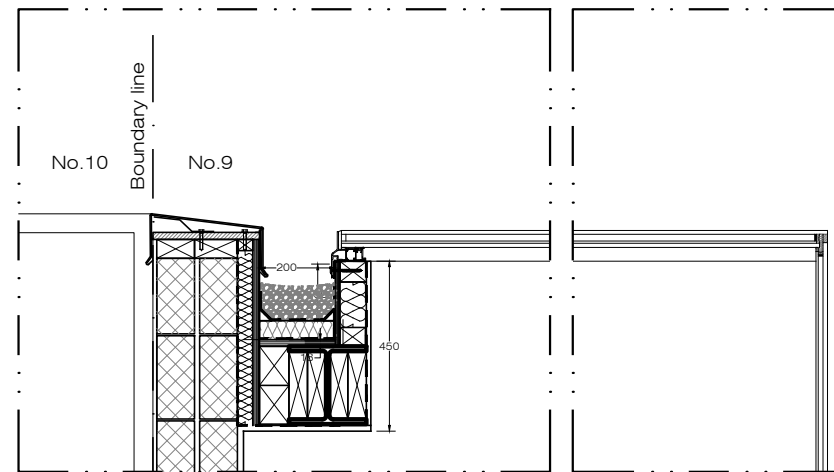
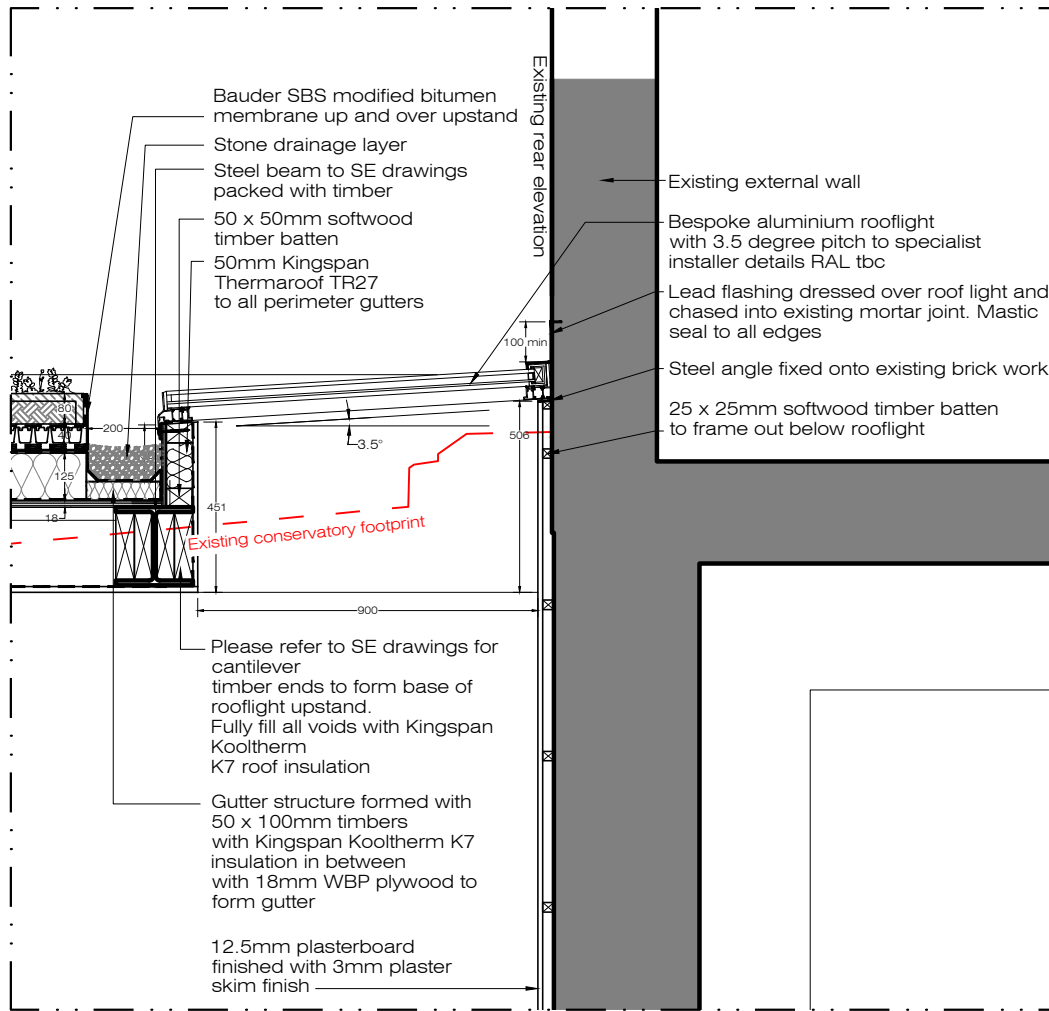
Issue key:	Project Adress	Issue For:
Information (I)	9 Provost Rd, NW3 4ST	PLANNING
Planning (P)	Scale 1:20@A3	DETAIL
Tender (T)	Rev. Date 03.09.23	Hob in fireplace in new kitchen
Construction (C)	Drawn TP	Dwg. No. AD-02 Rev. P-01
As Built (B)	Checked IW	Project Number 23066

DETAIL AD-03.2
Parapet wall detail with head of sliding door 1:20@A3

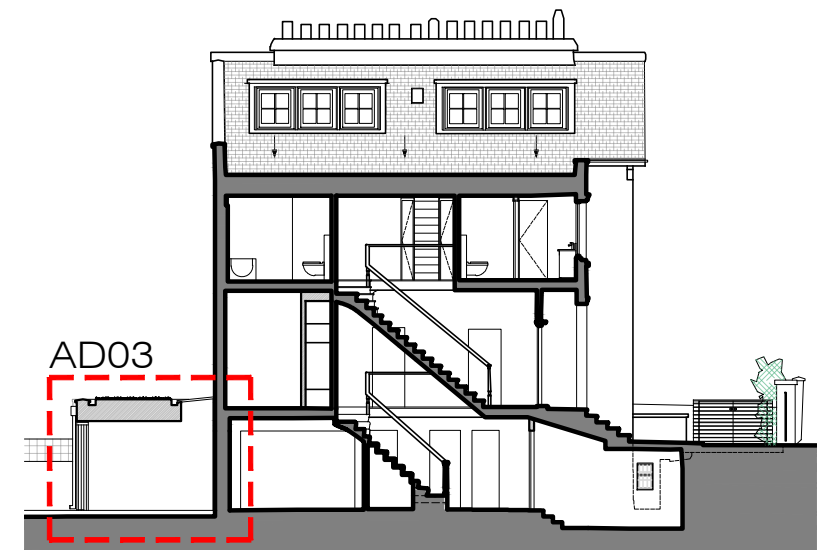


DETAIL AD-03.1
Floor build up/ foundation with sliding door threshold 1:20@A3

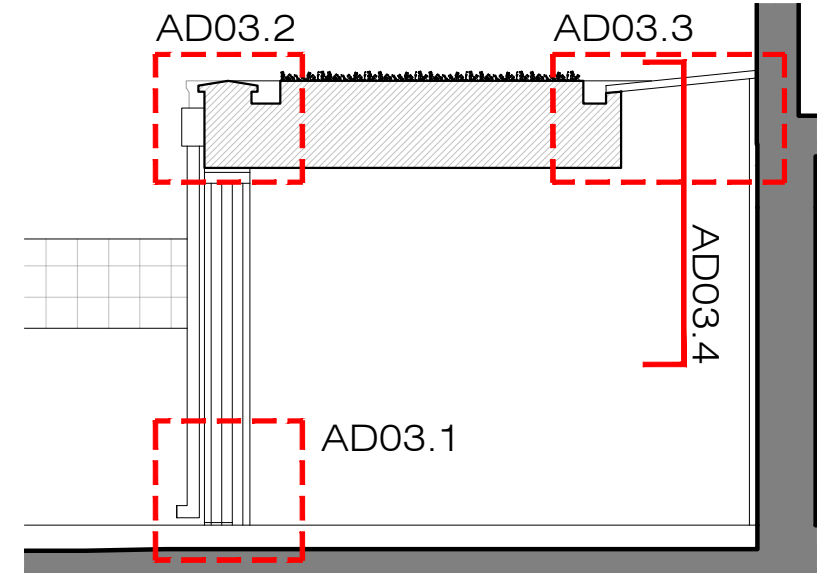
DETAIL AD-03.3
Glass slot at junction with roof and main house rear wall 1:20@A3



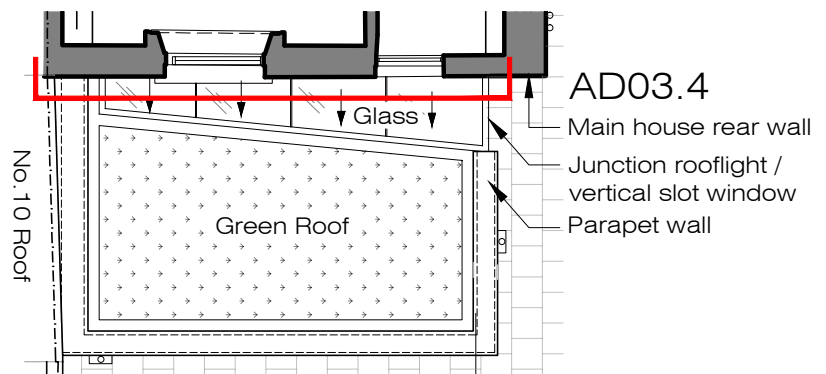
DETAIL AD-03.4
Section through vertical glass slot return and extension wall 1:20@A3



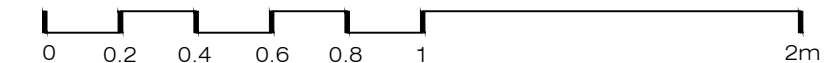
KEY SECTION AA



ZOOMED KEY SECTION AA
Rear Elevation



ZOOMED KEY PLAN
Rear Elevation

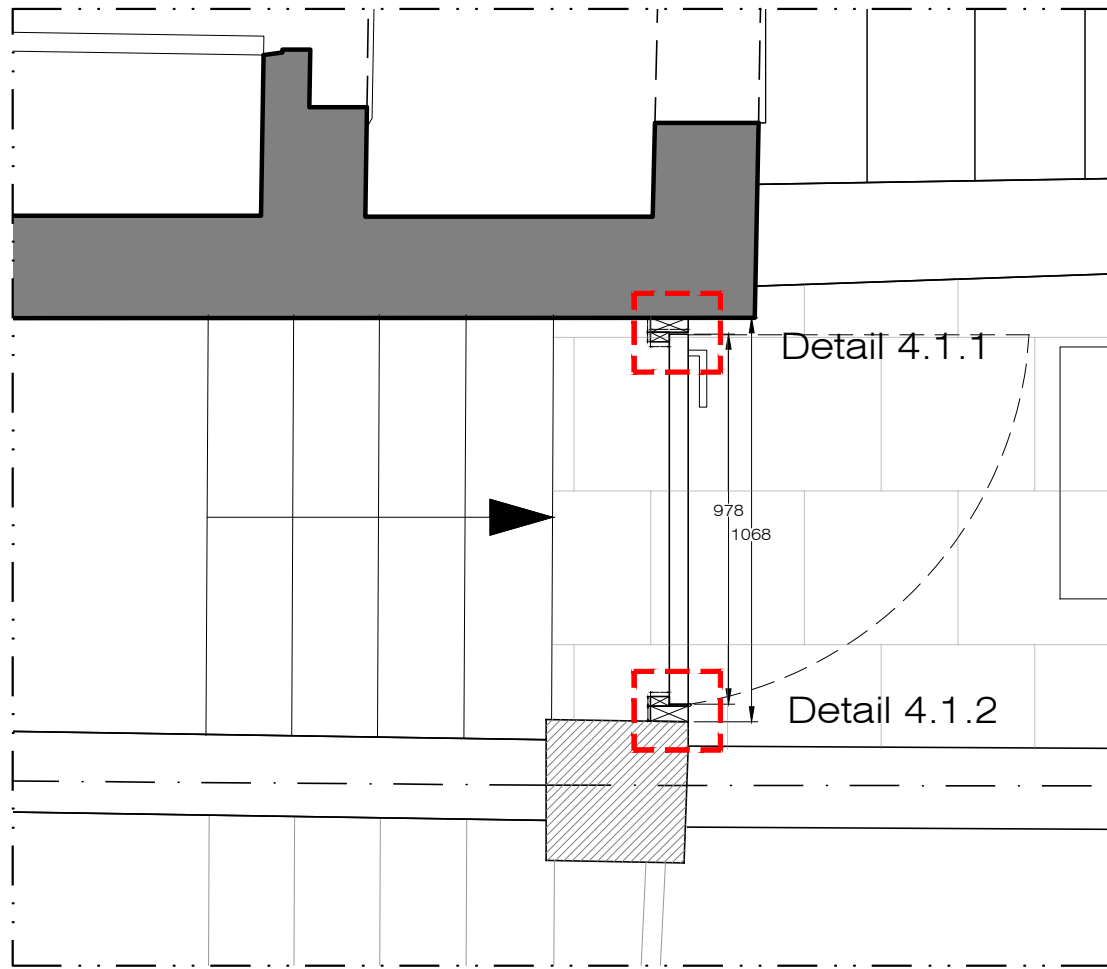


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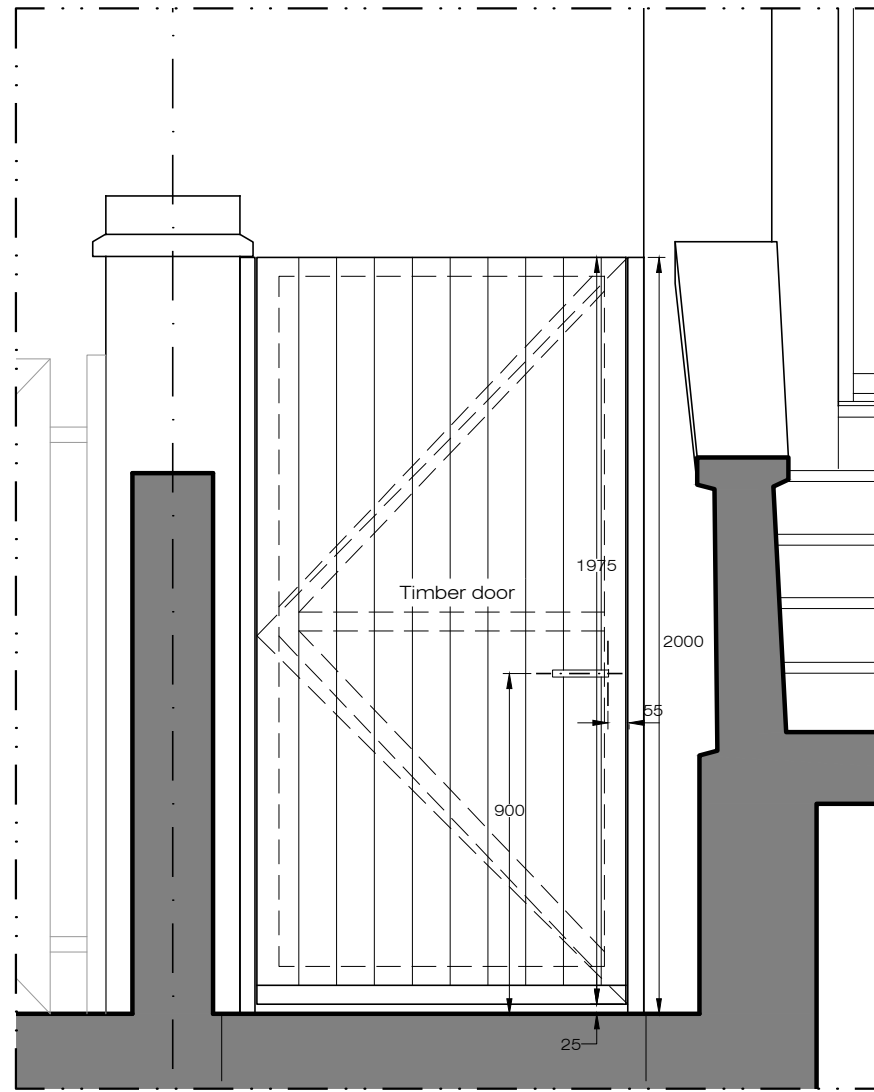
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Issue key:	Project Address	Issue For:
Information (I)	9 Provost Rd, NW3 4ST	PLANNING
Planning (P)	Scale 1:20@A3	DETAIL
Tender (T)	Rev. Date 03.09.23	Rear extension
Construction (C)	Drawn TP	Dwg. No. AD-03 Rev. P-01
As Built (B)	Checked IW	Project Number 23066



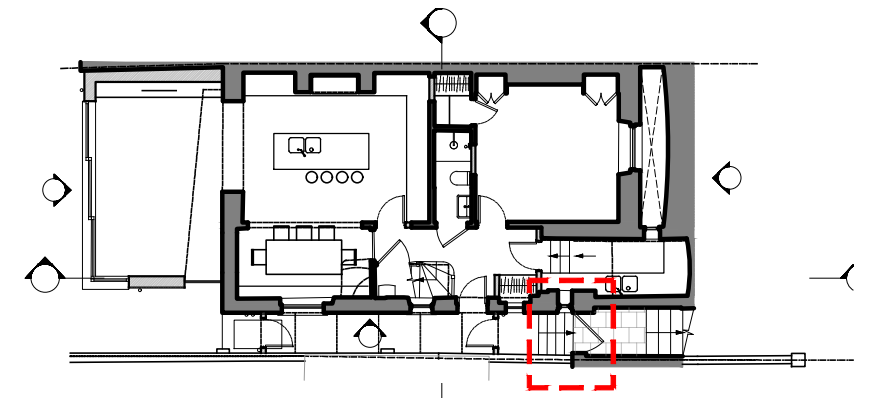
DETAIL AD-04.1
Timber board door to side way
1:20@A3



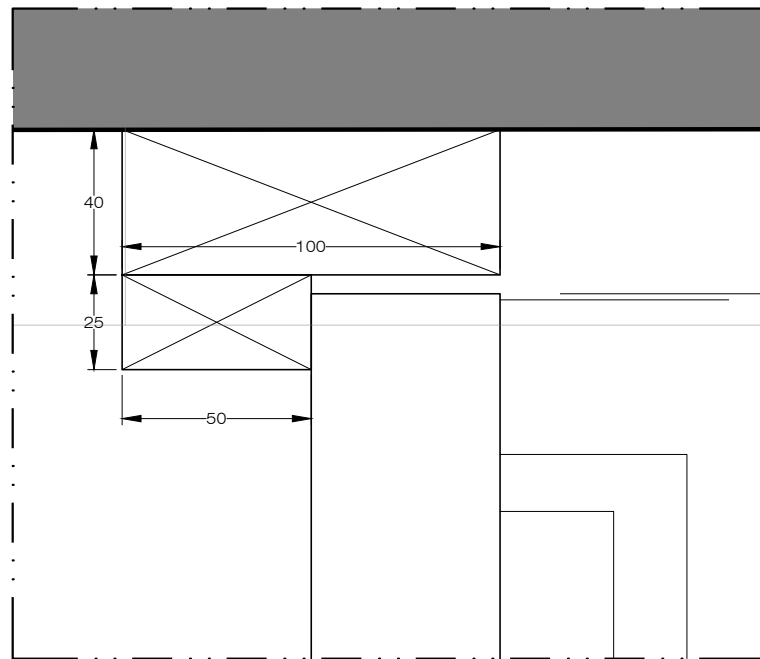
DETAIL AD-04.2
Timber board door to side way
1:20@A3



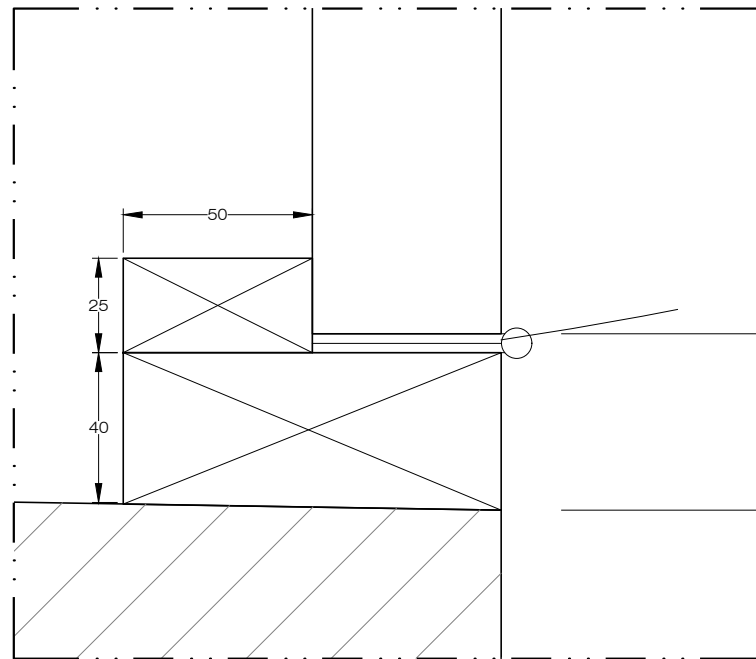
AD-04.2
KEY FRONT ELEVATION



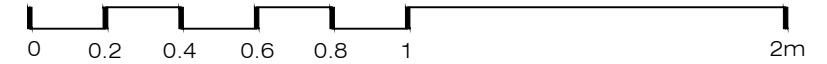
AD-04.1
KEY PLAN



Detail 4.1.1



Detail 4.1.2



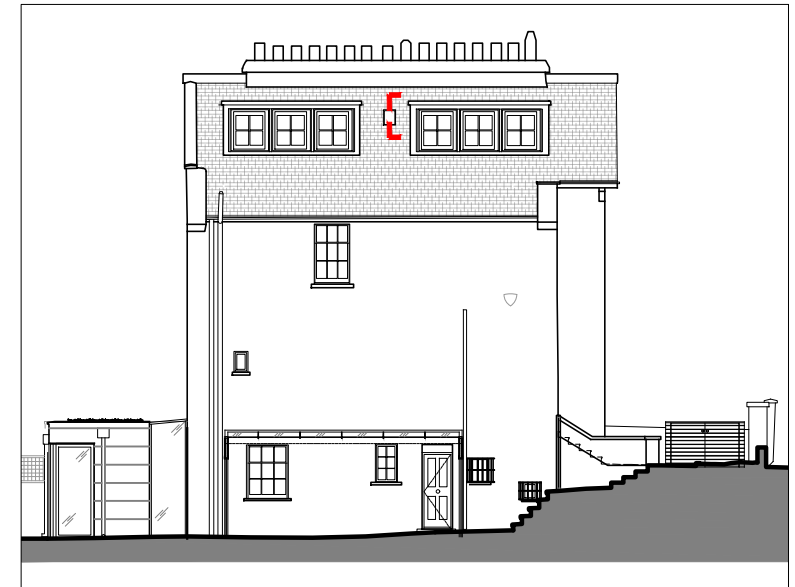
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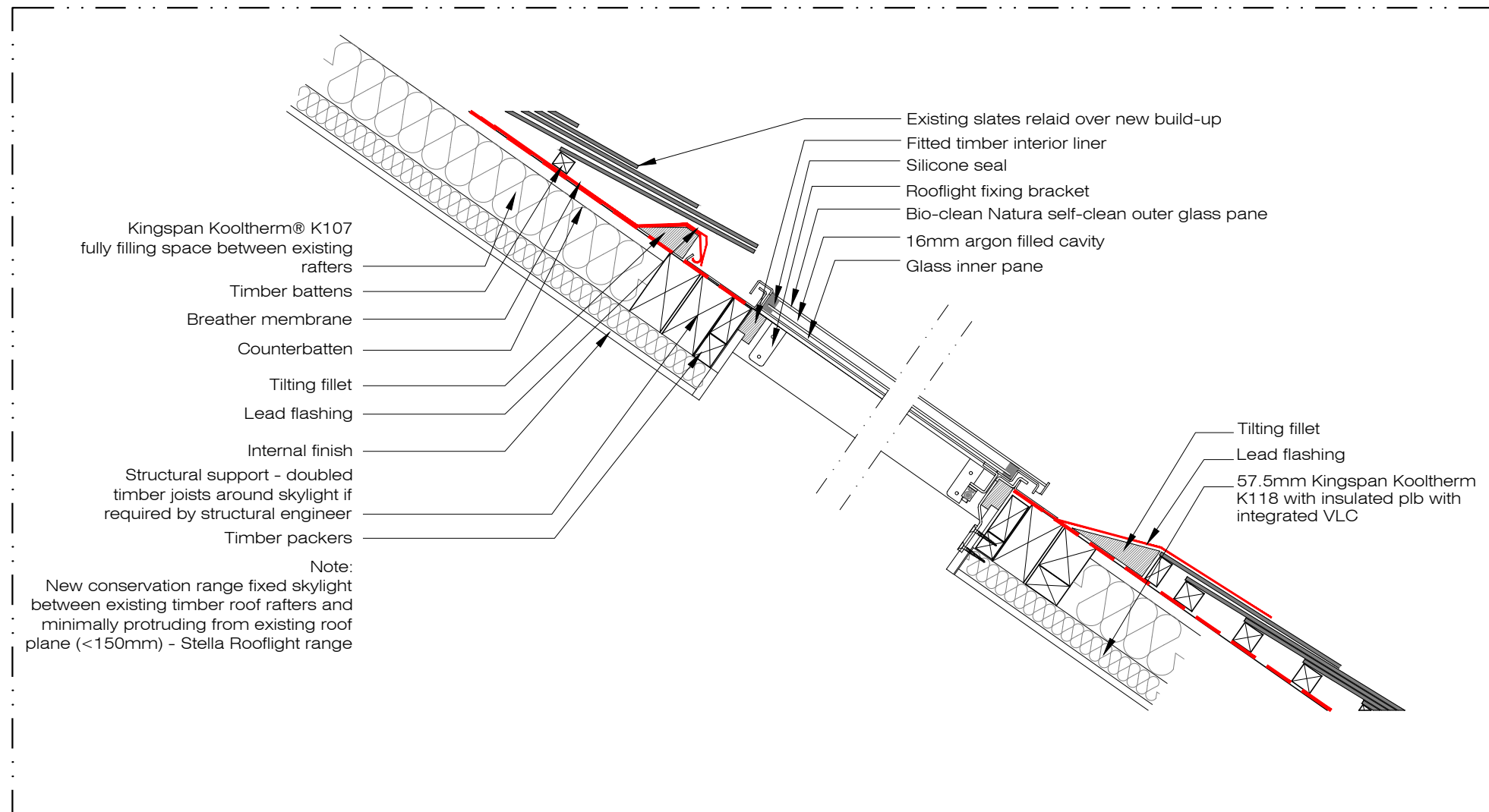
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ADDITIONAL NOTE:

Issue key:	Project Address	Issue For:
Information (I)	9 Provost Rd, NW3 4ST	PLANNING
Planning (P)	Scale 1:20@A3	DETAIL
Tender (T)	Rev. Date 12.12.23	Timber board door to side way
Construction (C)	Drawn TP	Dwg. No. AD-04 Rev. P-02
As Built (B)	Checked IW	Project Number 23066

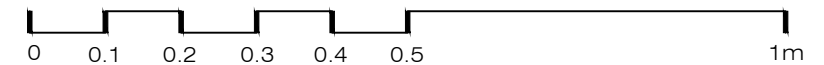


X KEY SIDE ELEVATION



X DETAILED
 New skylights

1:10@A3



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ADDITIONAL NOTE:

Issue key:

- Information (I)
- Planning (P)
- Tender (T)
- Construction (C)
- As Built (B)

Project Address
 9 Provost Rd, NW3 4ST

Scale 1:10@A3

Rev. Date 03.09.23

Drawn TP

Checked IW

DETAIL

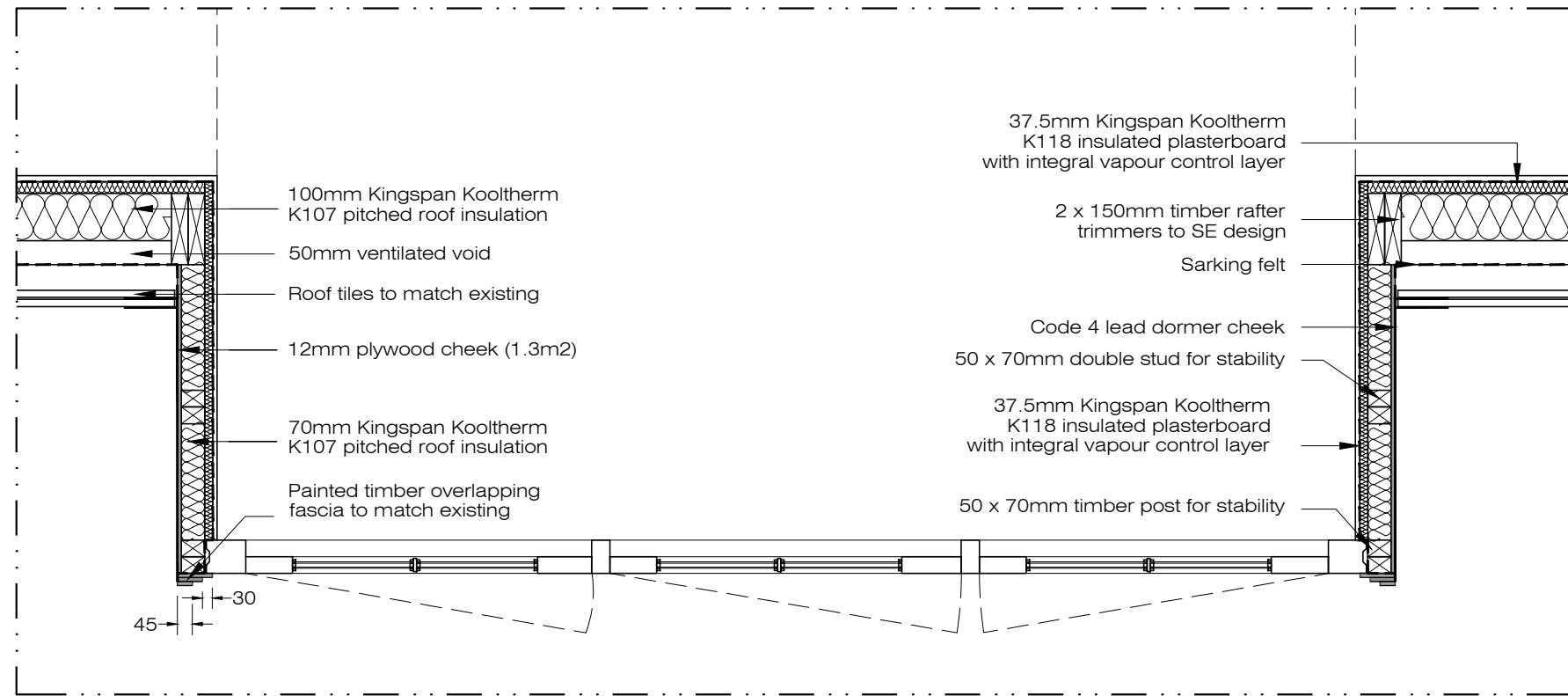
Skylight

Dwg. No. AD-05

Rev. P-01

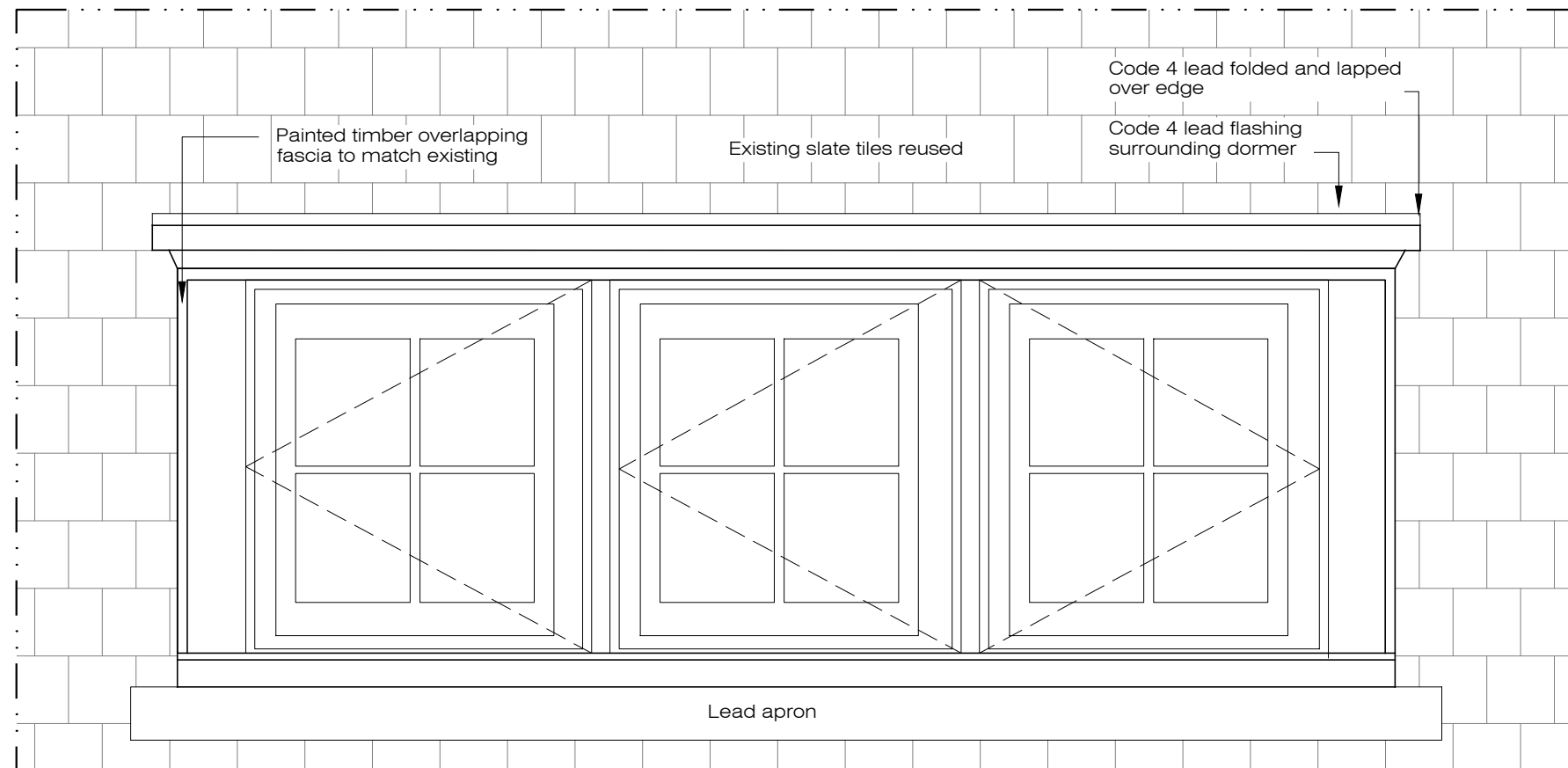
Project Number 23066

Issue For:
 PLANNING



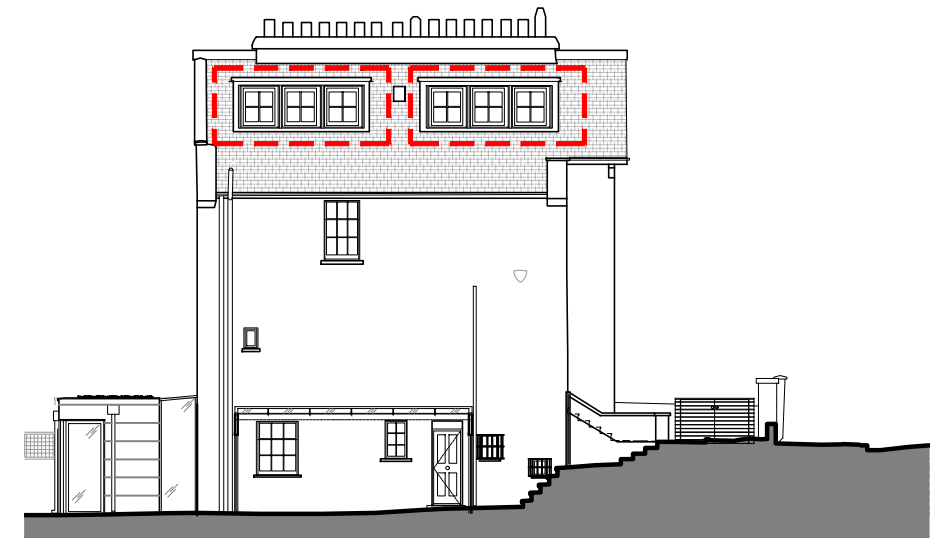
X DETAILED PLAN
New dormers

1:20@A3

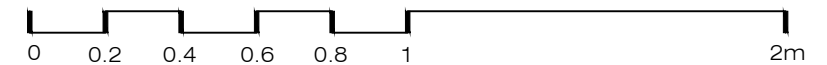


X DETAILED ELEVATION
New dormers

1:10@A3



X KEY SIDE ELEVATION



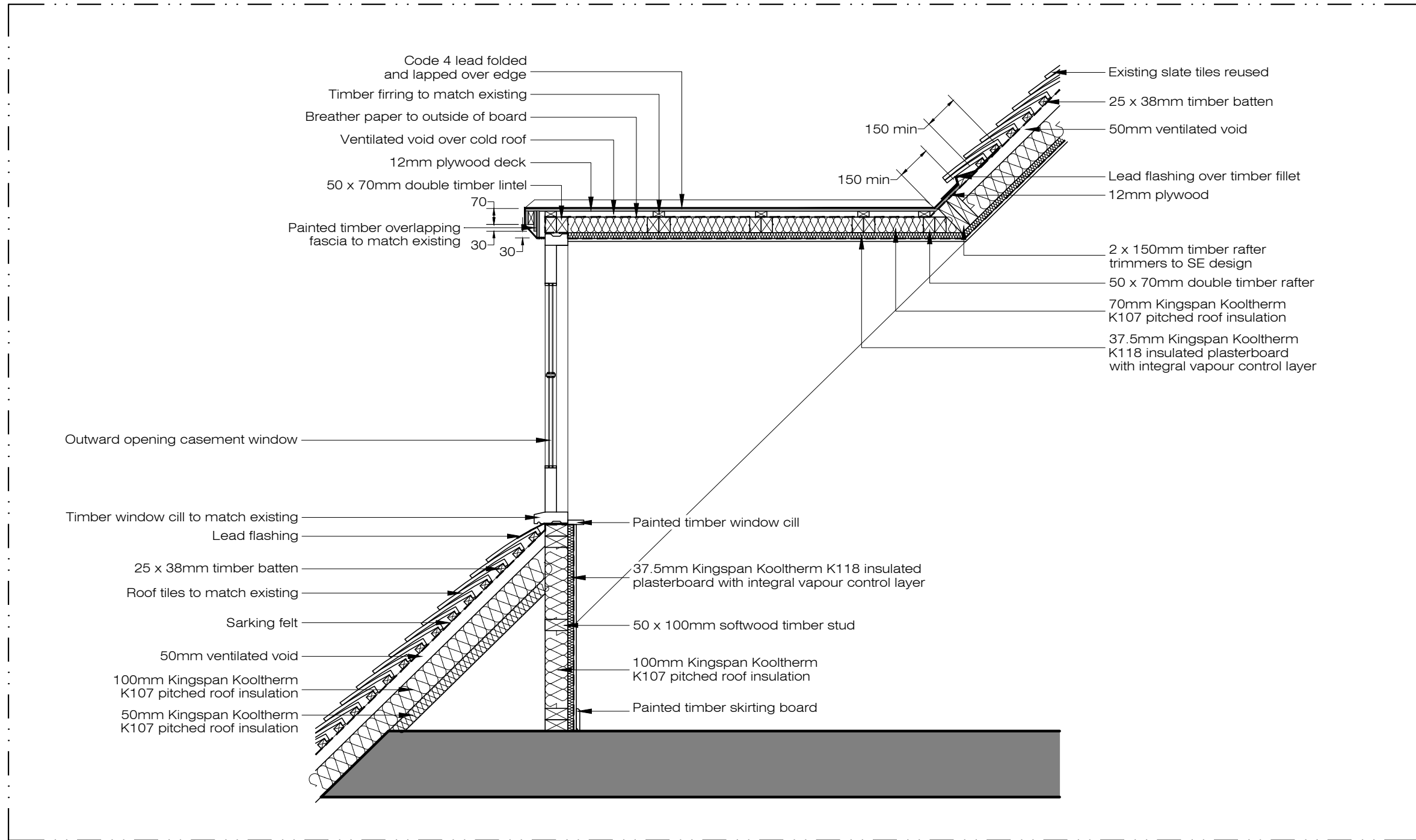
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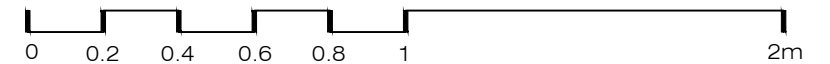
ADDITIONAL NOTE:

Issue key:	Project Address		Issue For:
Information (I)	9 Provost Rd, NW3 4ST		PLANNING
Planning (P)	Scale	1:10@A3	DETAIL
Tender (T)	Rev. Date	03.09.23	Dormers
Construction (C)	Drawn	TP	Dwg. No. AD-06.1 Rev. P-01
As Built (B)	Checked	IW	Project Number 23066



X DETAILED SECTION
New dormers

1:20@A3



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ADDITIONAL NOTE:

Issue key:

- Information (I)
- Planning (P)
- Tender (T)
- Construction (C)
- As Built (B)

Project Address
9 Provost Rd, NW3 4ST

Scale 1:10@A3
Rev. Date 03.09.23

Drawn TP
Checked IW

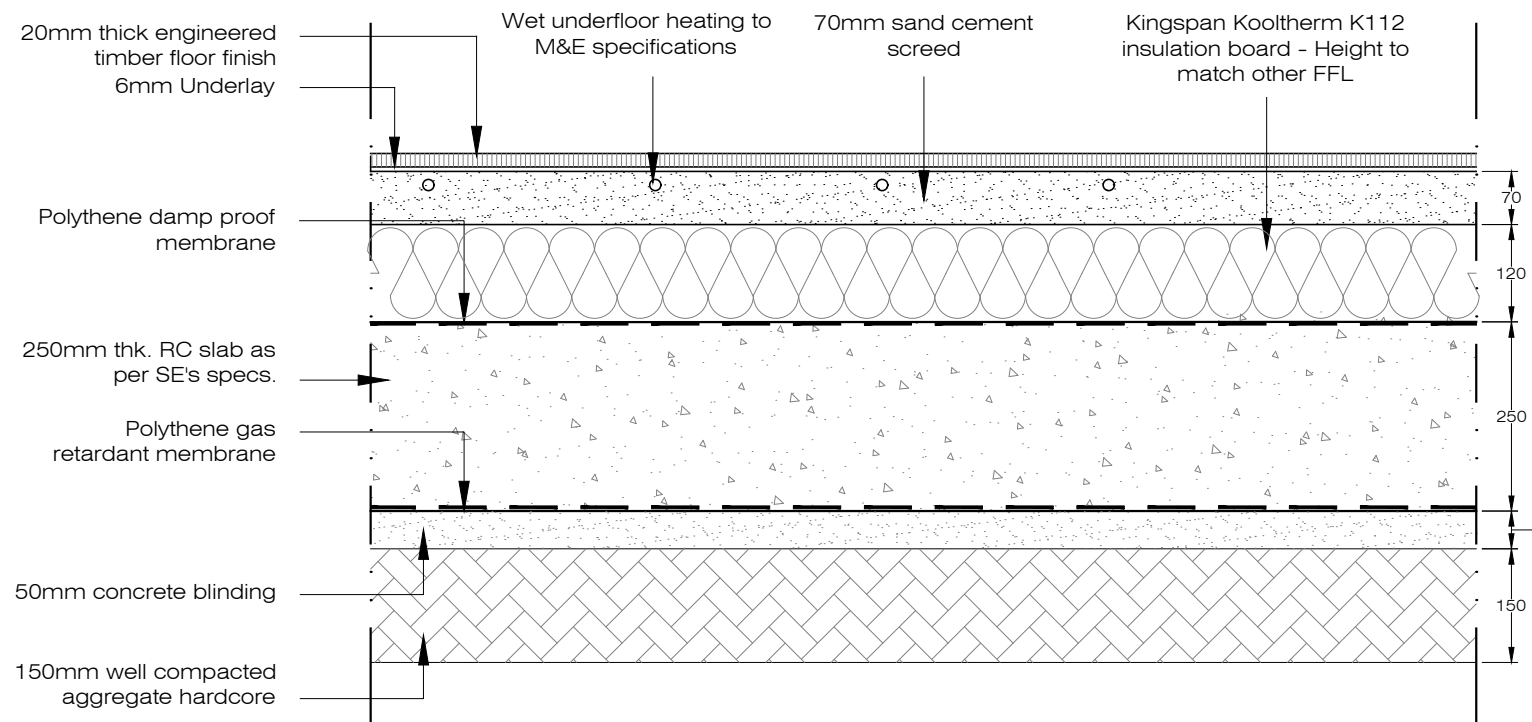
DETAIL
Dormers

Dwg. No. AD-06.2
Project Number 23066

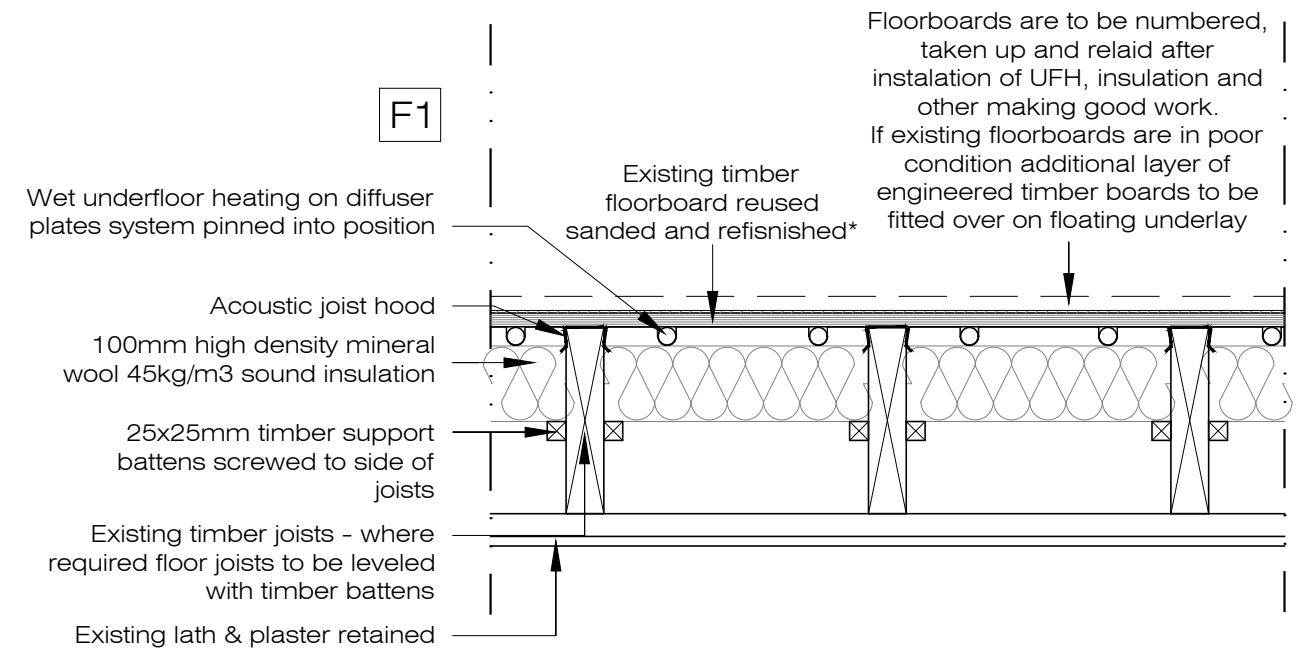
Issue For:
PLANNING



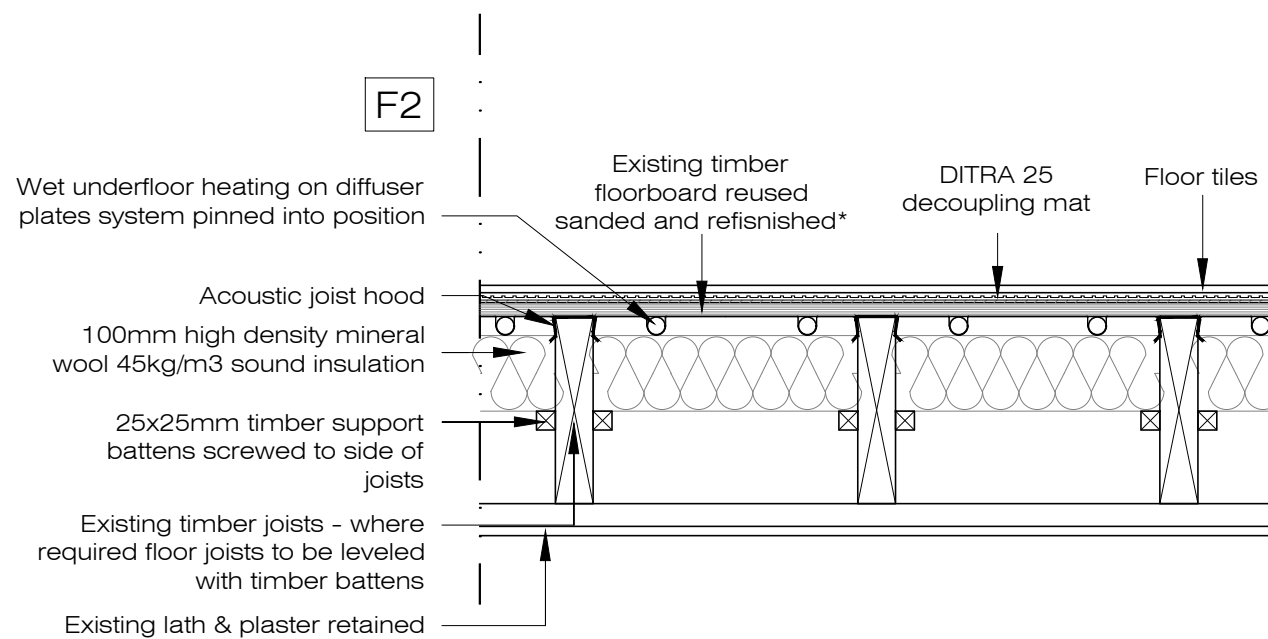
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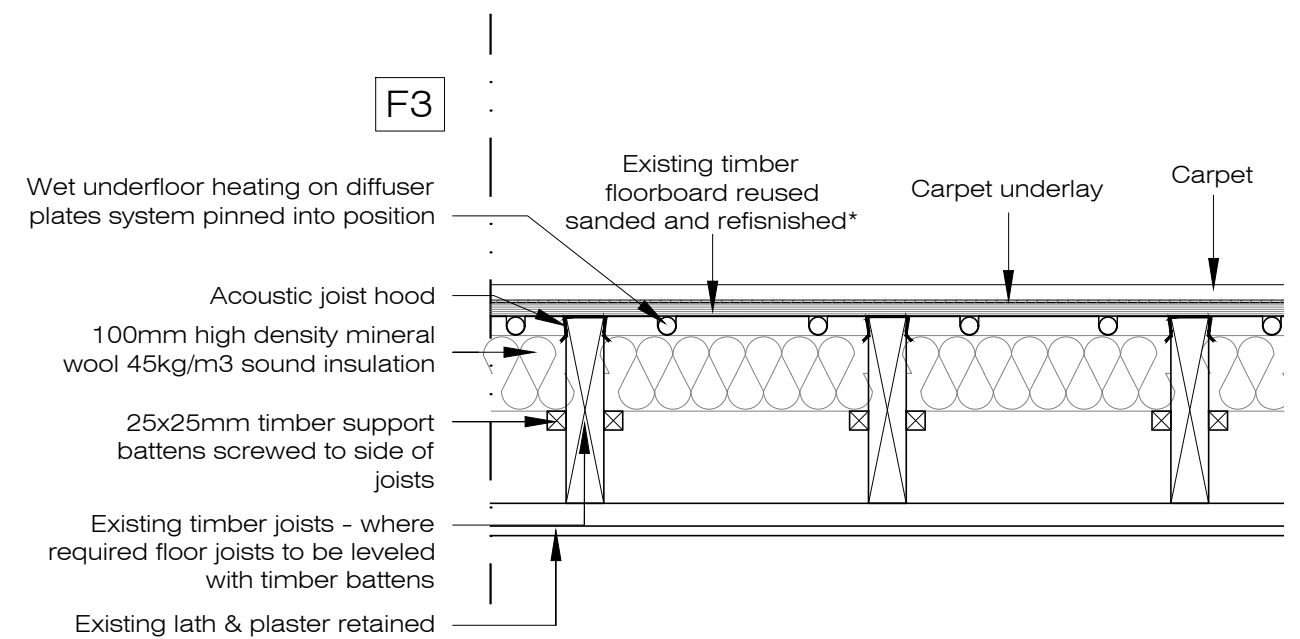
DETAIL AD-08
Ground floor rear extension floor build up 1:10@A3



DETAIL AD-08
Floor build up F1 1:10@A3



DETAIL AD-08
Floor build up F2 1:10@A3



DETAIL AD-08
Floor build up F3 1:10@A3



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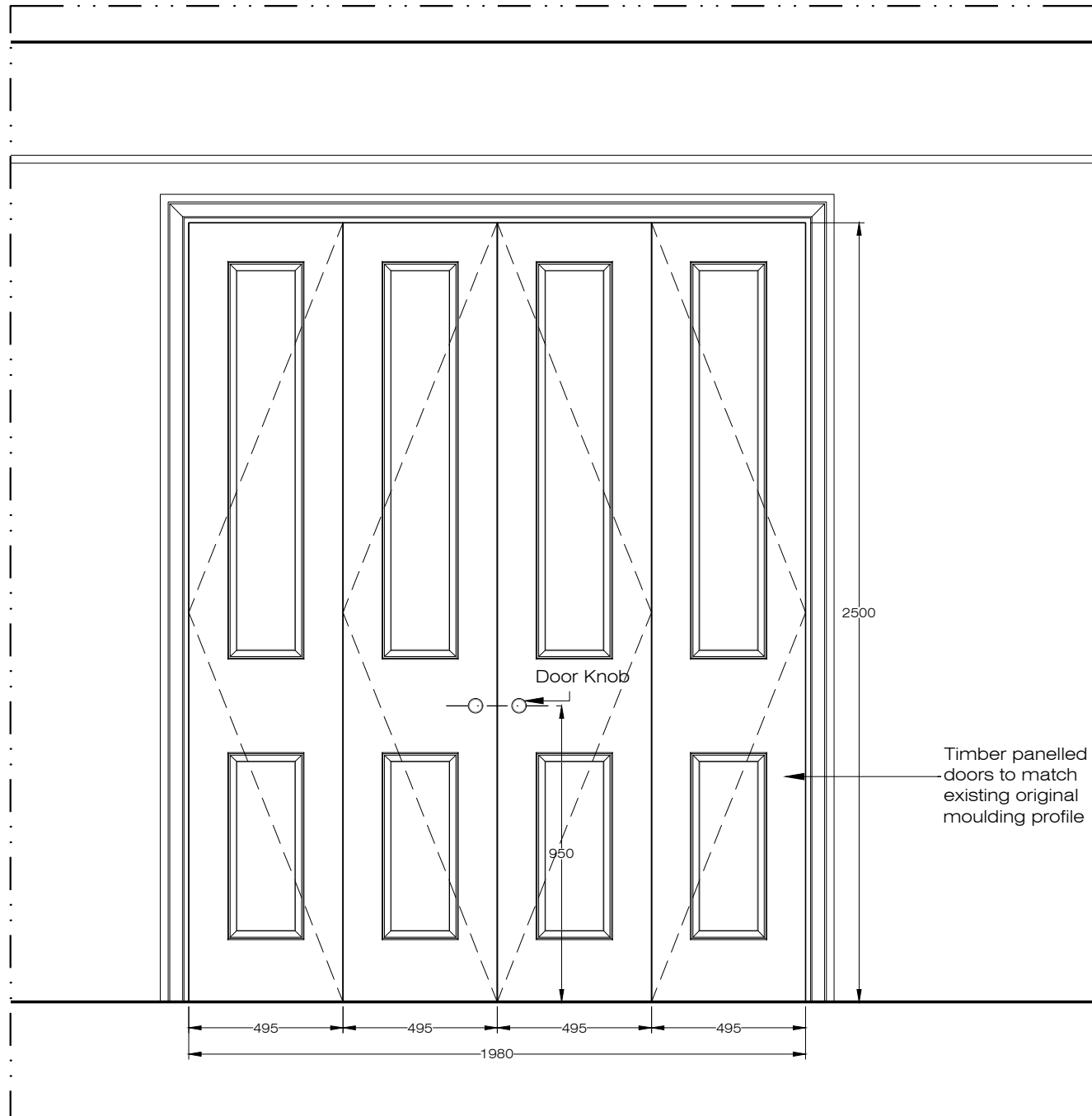
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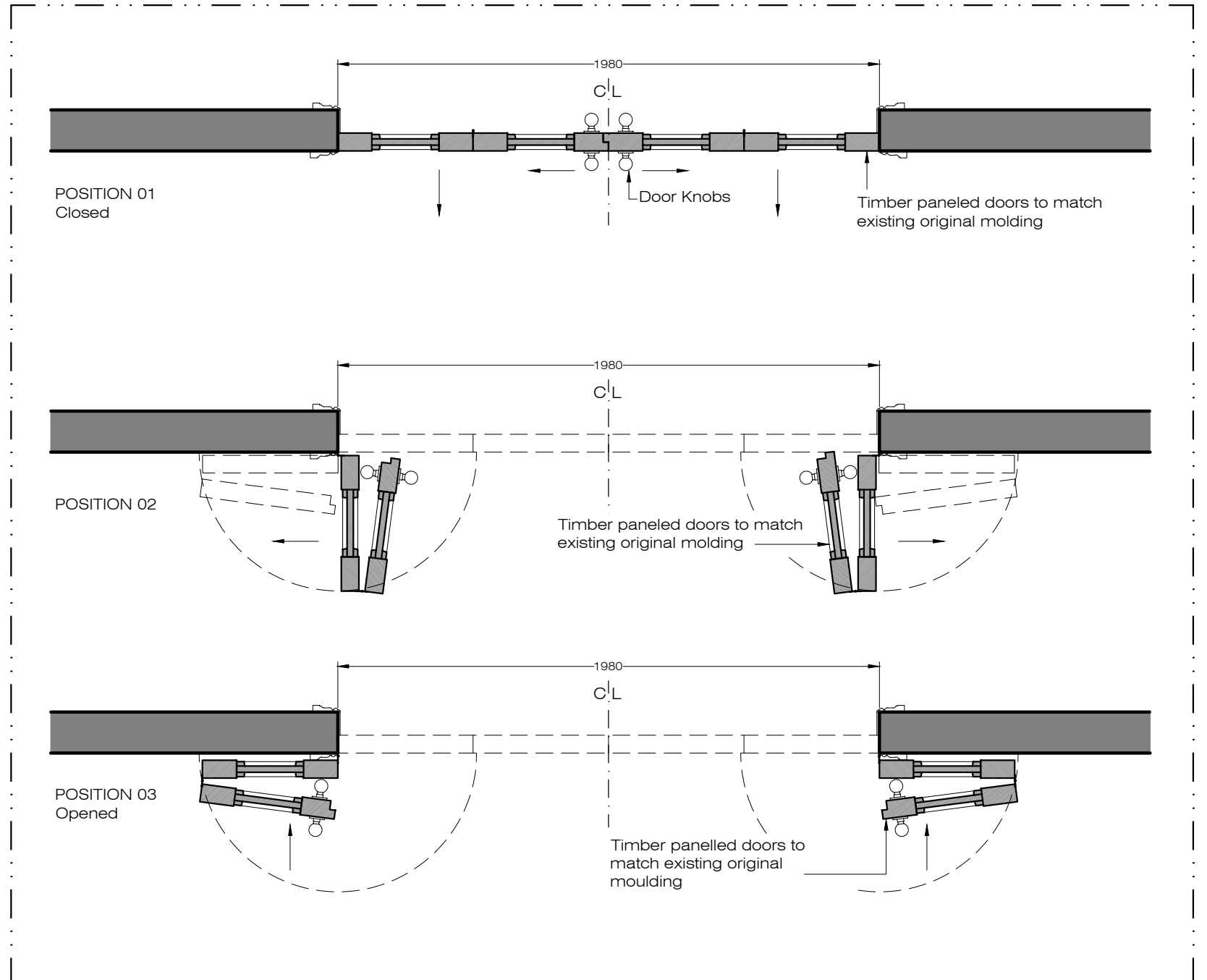
ADDITIONAL NOTE:

Issue key:

Information (I)	Project Address	Issue For:
Planning (P)	9 Provost Rd, NW3 4ST	PLANNING
Tender (T)	Scale 1:10@A3	DETAIL
Construction (C)	Rev. Date 03.09.23	Floor Build-ups
As Built (B)	Drawn TP	Dwg. No. AD-08
	Checked IW	Rev. P-01
		Project Number 23066

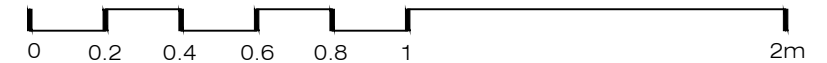


X DETAILED
Door Elevation 1:20@A3



X DETAILED
Door Plans 1:20@A3

Bi-fold doors to fit the existing structural opening.



PLEASE NOTE:

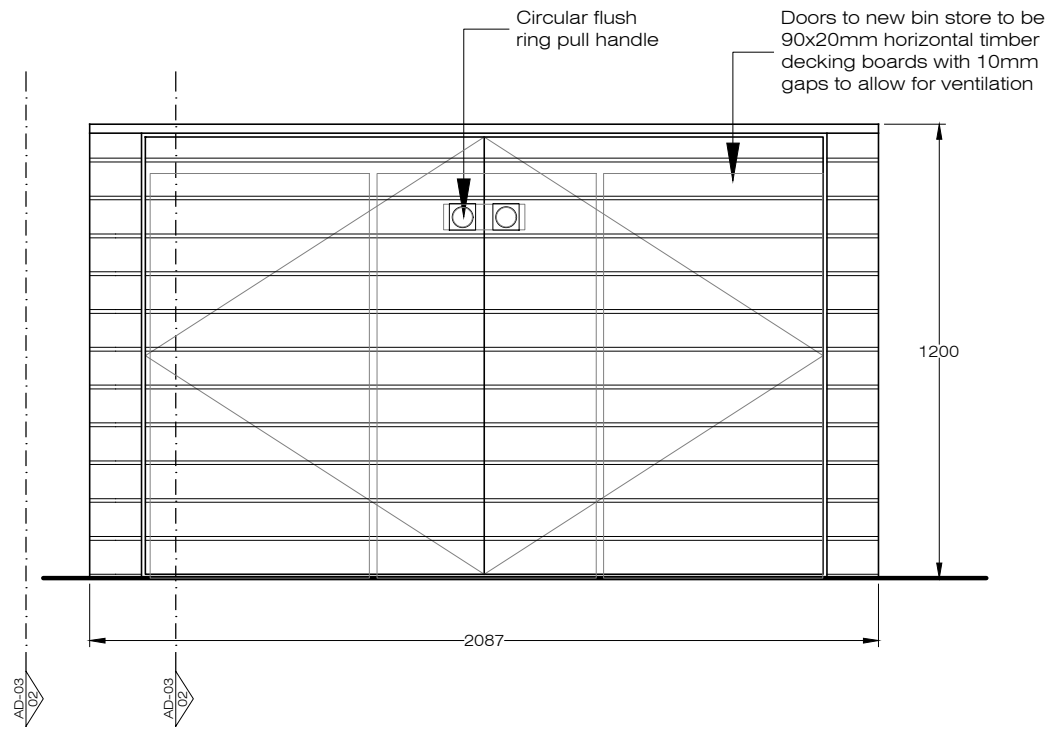
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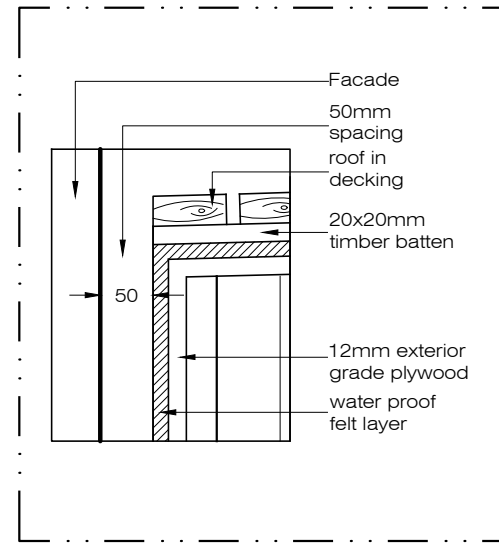
Issue key: Information (I) Planning (P) Tender (T) Construction (C) As Built (B)	Project Address 9 Provost Rd, NW3 4ST		Issue For: PLANNING	
	Scale	1:10@A3	DETAIL	
	Rev. Date	12.12.23	Bi-fold door	
	Drawn	TP	Dwg. No.	AD-10 Rev. P-02
	Checked	IW	Project Number	23066



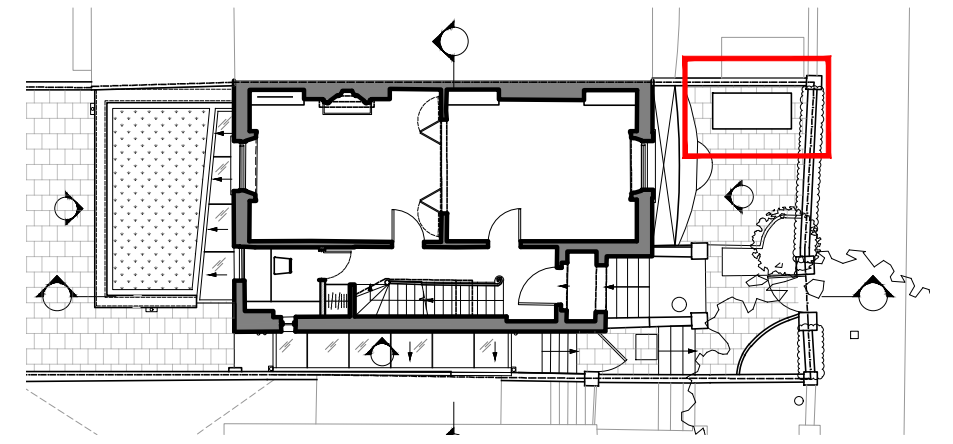
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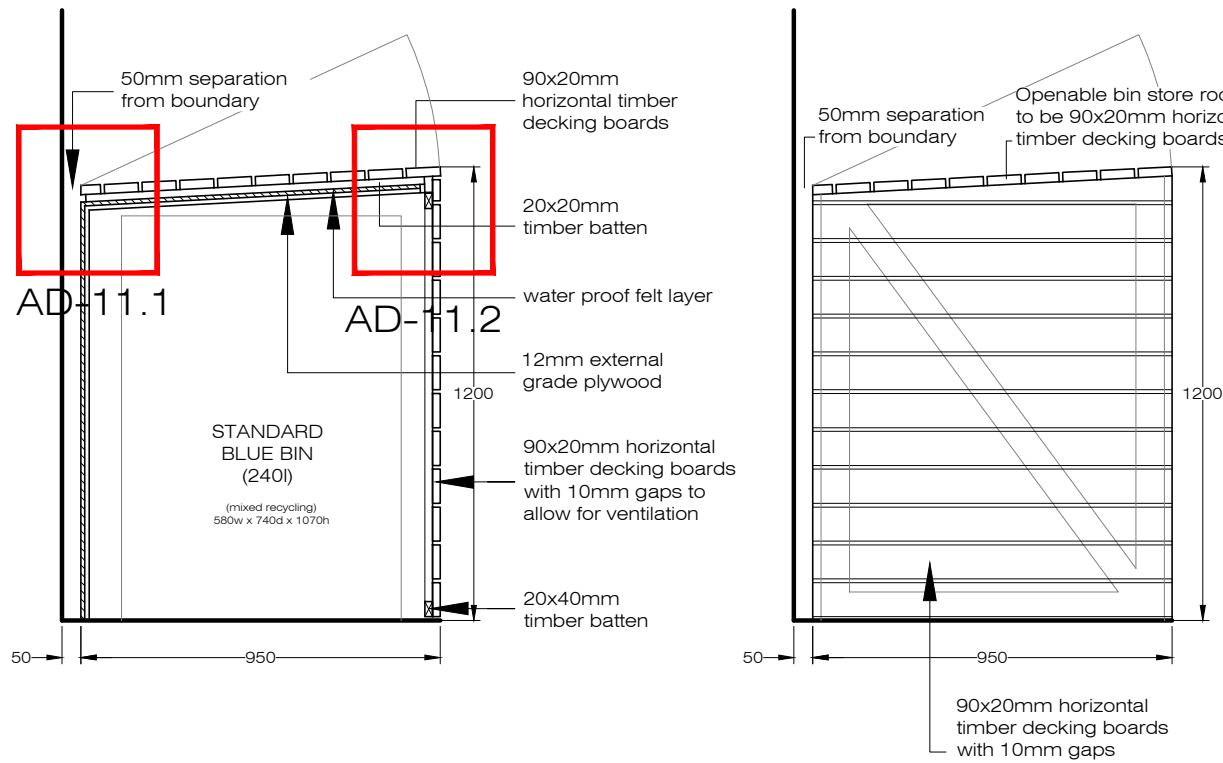
X DETAILED Front elevation 1:20@A3



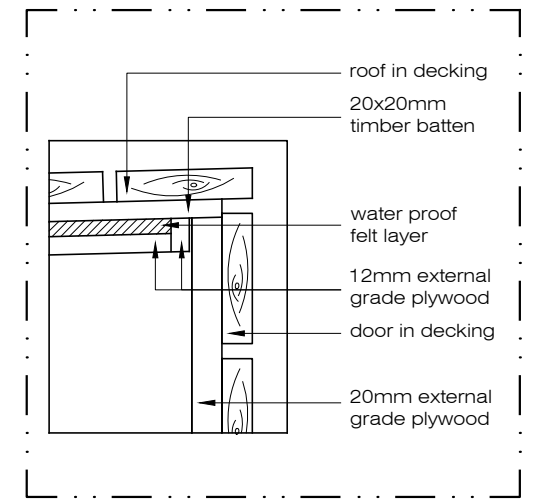
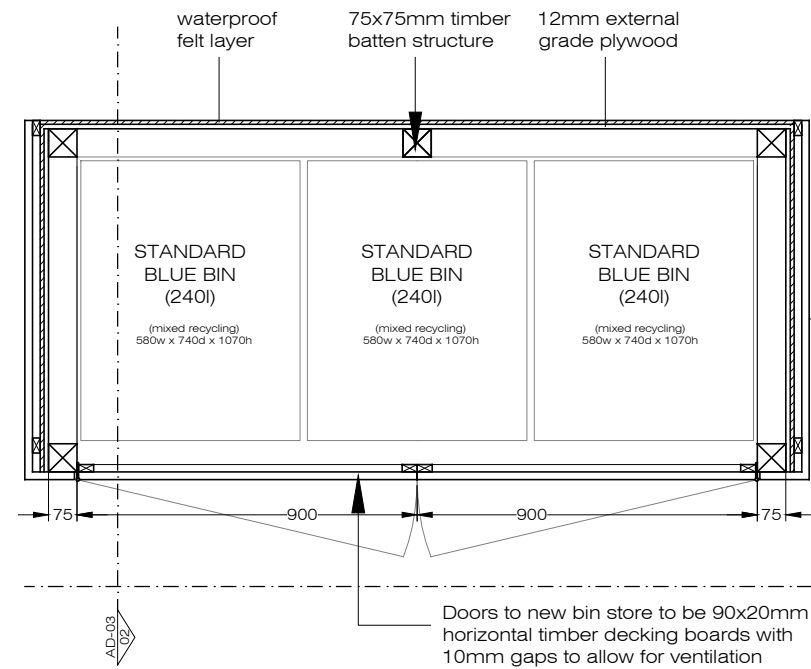
X DETAIL AD-11.1 1:5@A3



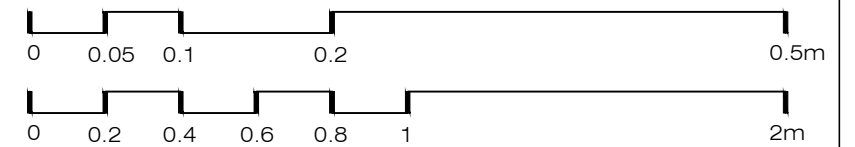
X KEY PLAN



X DETAILED Section, Side Elevation and Plan 1:20@A3



X DETAIL AD-11.2 1:5@A3

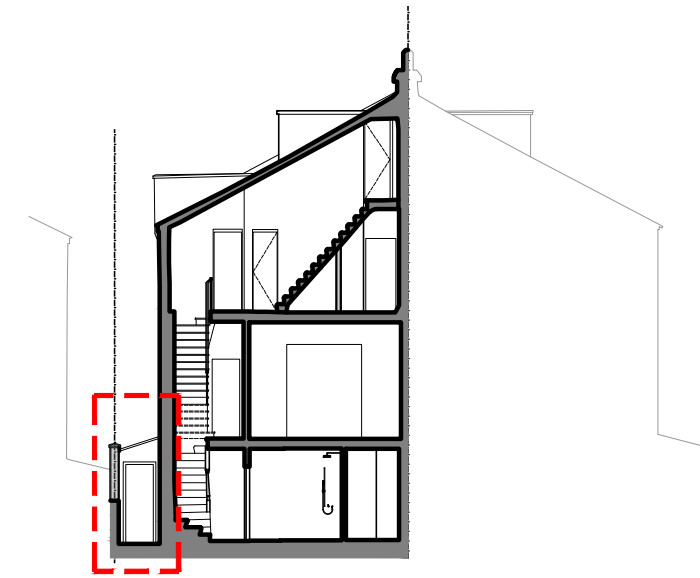
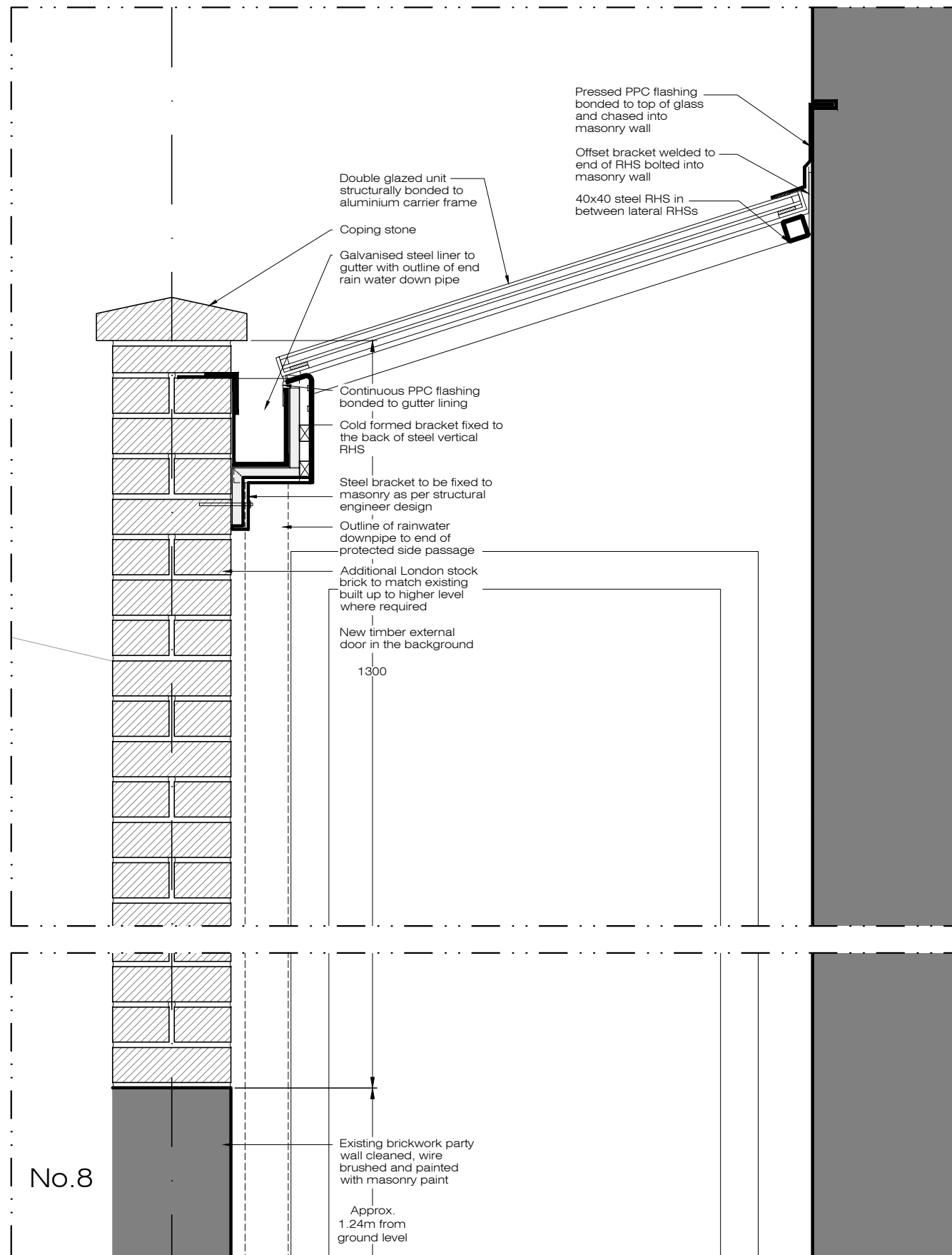


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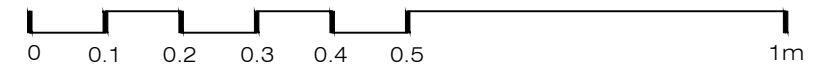
ADDITIONAL NOTE:

Issue key:	Project Address	Issue For:
Information (I)	9 Provost Rd, NW3 4ST	PLANNING
Planning (P)	Scale 1:10@A3	DETAIL
Tender (T)	Rev. Date 03.09.23	Bin Enclosure
Construction (C)	Drawn TP	Dwg. No. AD-11 Rev. P-01
As Built (B)	Checked IW	Project Number 23066



X KEY SECTION AA

X DETAILED
Side passage way Lean to roof section 1:10@A3



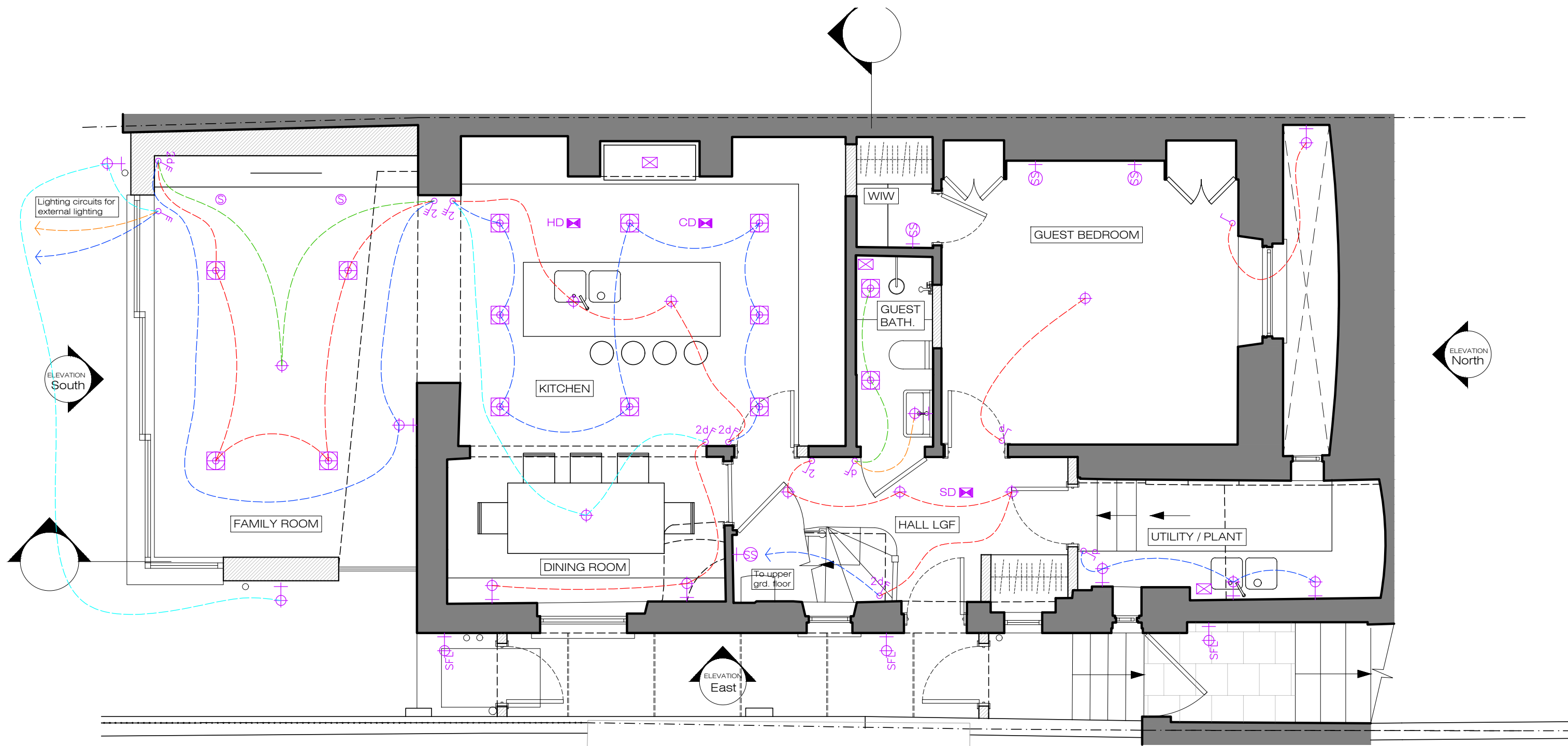
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ADDITIONAL NOTE:

Issue key:	Project Address	Issue For:
Information (I)	9 Provost Rd, NW3 4ST	PLANNING
Planning (P)	Scale 1:10@A3	DETAIL
Tender (T)	Rev. Date 03.09.23	Side passageway lean-to roof
Construction (C)	Drawn TP	Dwg. No. AD-12 Rev. P-01
As Built (B)	Checked IW	Project Number 23066



ELECTRICAL KEY

	Single switch		Mech. ventilation
	Dimmer switch		Door bell
	2-way switch		Smoke detector
	Double switch		Heat detector
	Door contact switch		Carbon Monoxide detector
	Recessed spotlight		Security Light
	Wall mounted light		Power point
	Self-switched wall mounted light		Speaker on the ceiling
	Pendant/Surface mounted light		

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Issue key:

Information (I)	
Planning (P)	
Tender (T)	
Construction (C)	
As Built (B)	

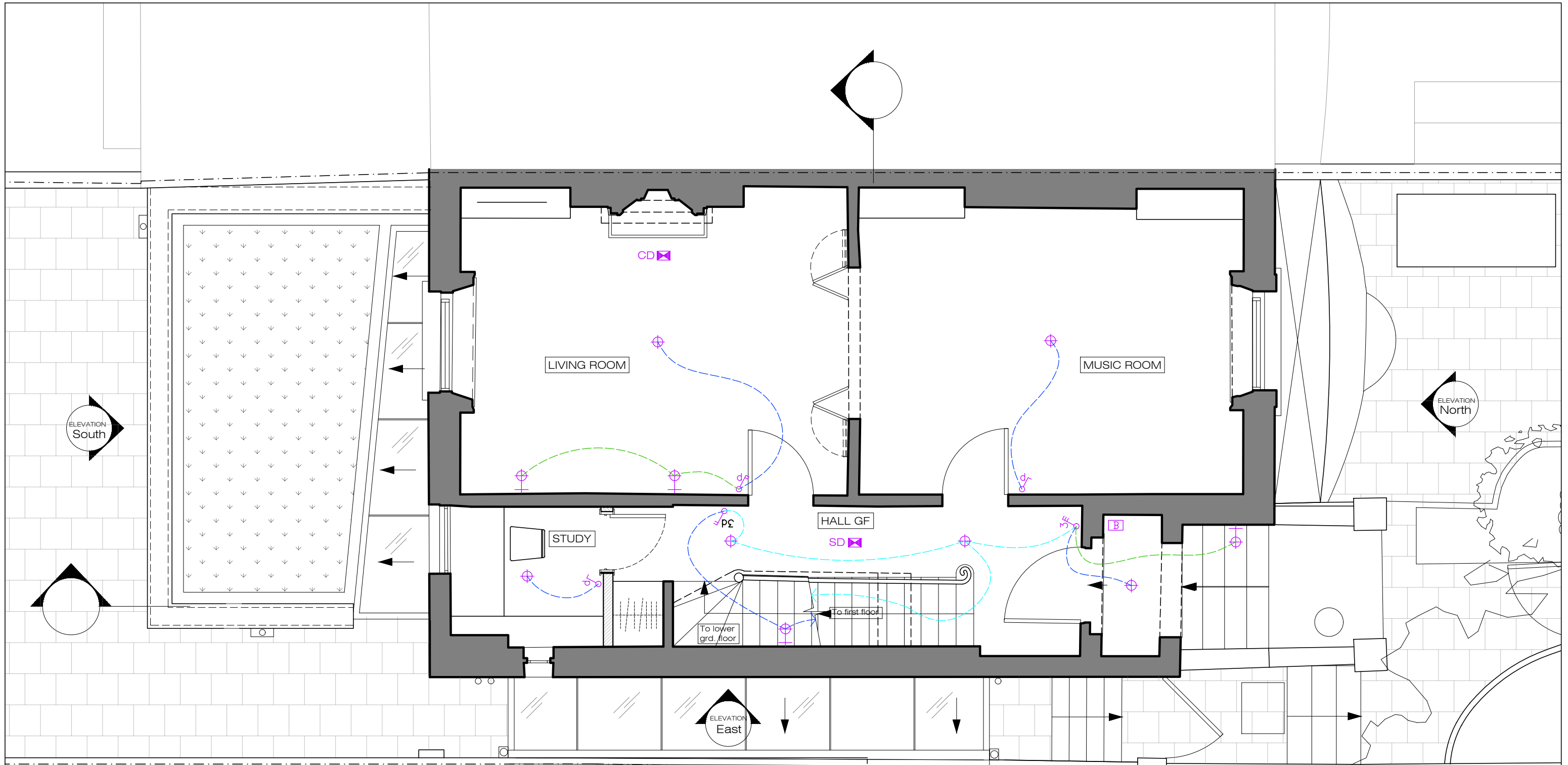
Project Address
9 Provost Road, NW3 4ST

Issue For:
PLANNING

Scale	1:50@A3	ELECTRICAL LAYOUTS	
Rev. Date	12.12.23	Lower ground floor plan	
Drawn	FM	Dwg. No.	EL-01
Checked	IW	Rev.	P-00
Project Number		23066	

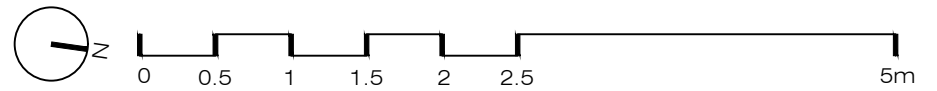


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ELECTRICAL KEY

	Single switch		Mech. ventilation
	Dimmer switch		Door bell
	2-way switch		Smoke detector
	Double switch		Heat detector
	Door contact switch		Carbon Monoxide detector
	Recessed spotlight		Security Light
	Wall mounted light		Power point
	Self-switched wall mounted light		Speaker on the ceiling
	Pendant/Surface mounted light		



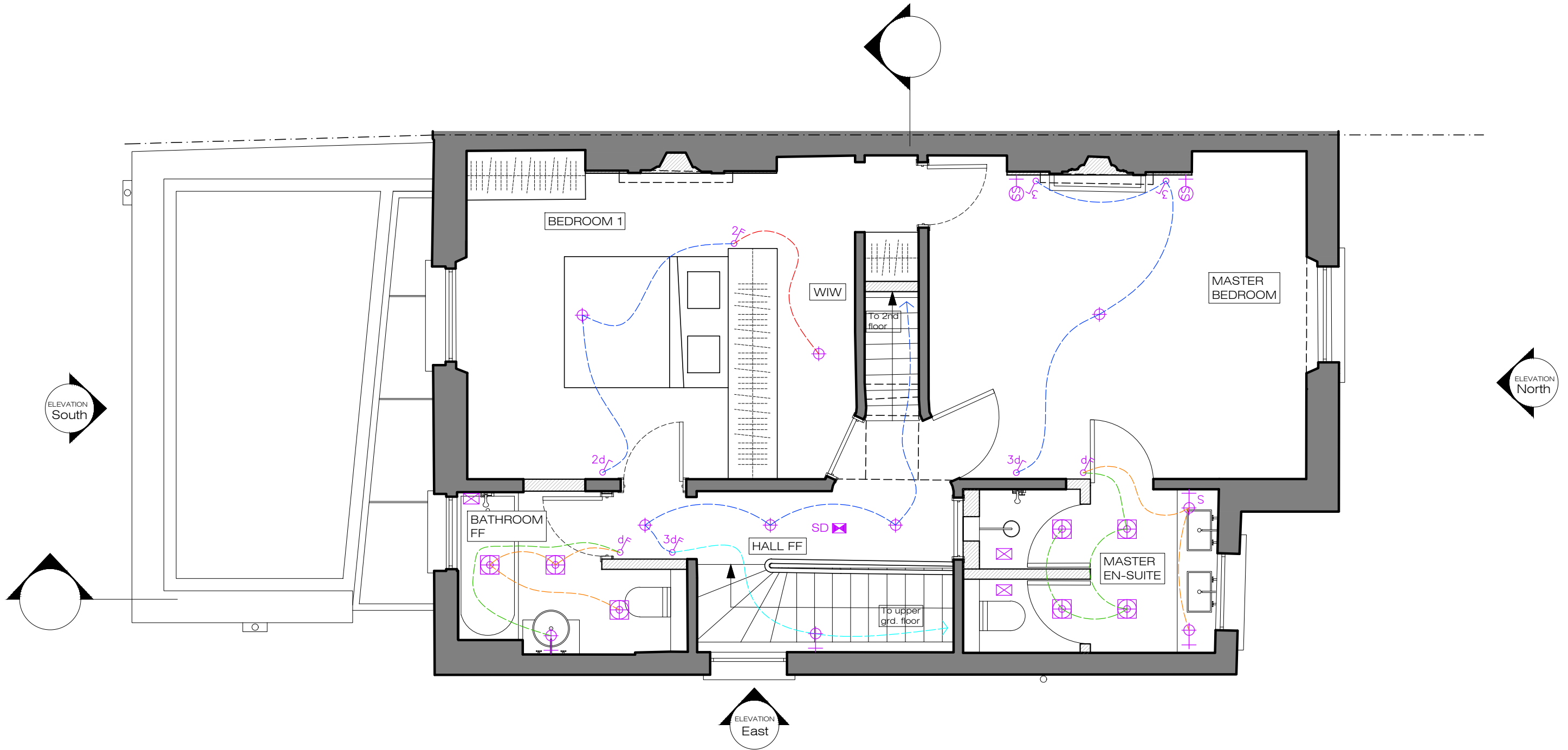
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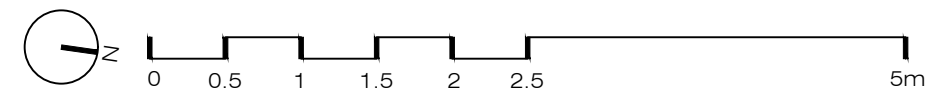
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	Scale	1:50@A3	ELECTRICAL LAYOUTS	
	Rev. Date	12.12.23	Ground floor plan	
	Drawn	FM	Dwg. No.	EL-02 Rev. P-00
	Checked	IW	Project Number	23066



ELECTRICAL KEY

	Single switch		Mech. ventilation
	Dimmer switch		Door bell
	2-way switch		Smoke detector
	Double switch		Heat detector
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ADDITIONAL NOTE:

Issue key:

Information (I)
Planning (P)
Tender (T)
Construction (C)
As Built (B)

Project Address
9 Provost Road, NW3 4ST

Issue For:
PLANNING

Scale 1:50@A3

ELECTRICAL LAYOUTS

Rev. Date 12.12.23

First floor plan

Drawn FM

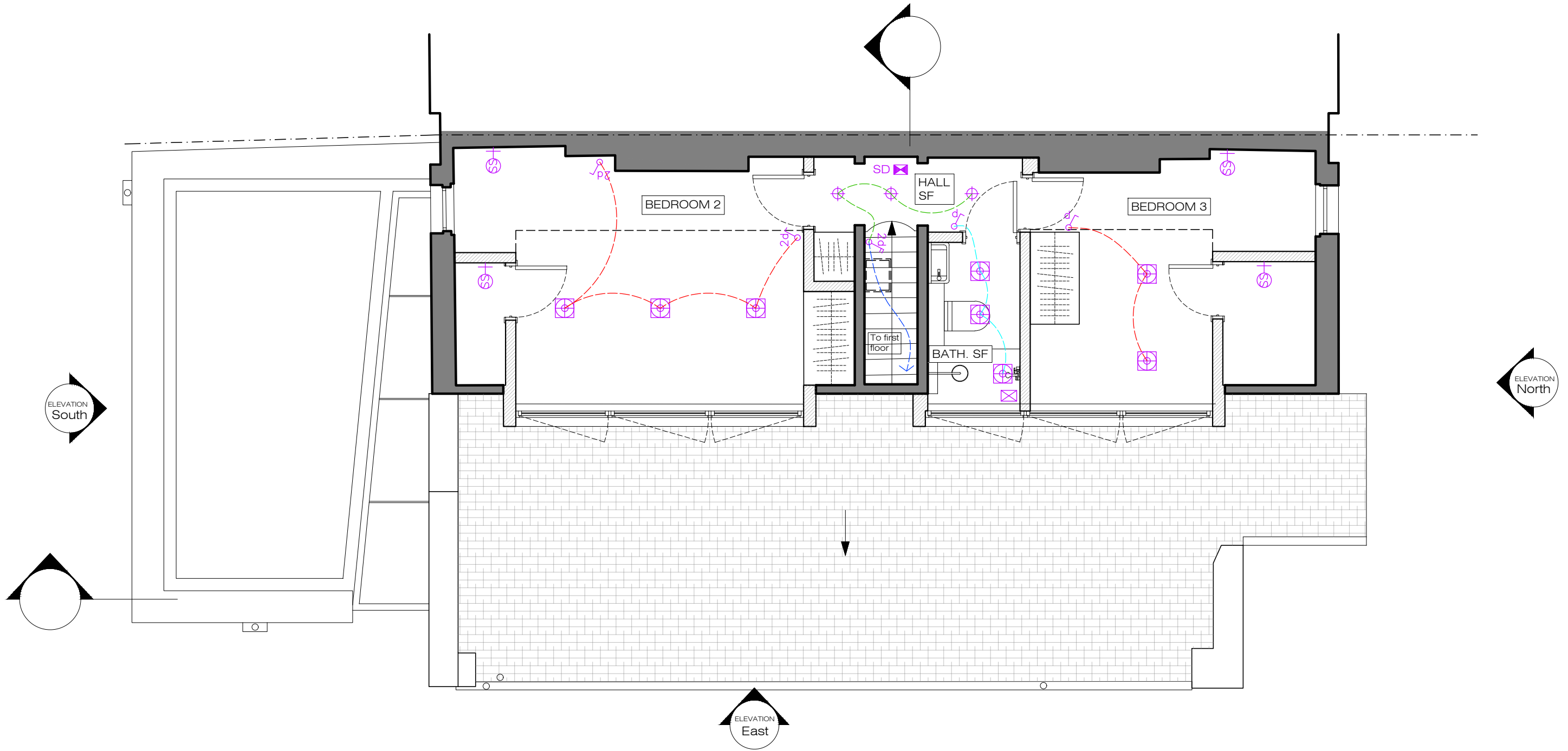
Dwg. No. EL-03

Rev. P-00

Checked IW

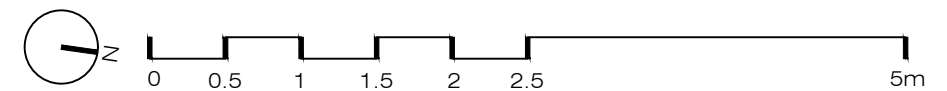
Project Number

23066



ELECTRICAL KEY

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	Dimmer switch		Door bell
	2-way switch		Smoke detector
	Double switch		Heat detector
	Door contact switch		Carbon Monoxide detector
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ADDITIONAL NOTE:

Issue key:

Information (I)
Planning (P)
Tender (T)
Construction (C)
As Built (B)

Project Address
9 Provost Road, NW3 4ST

Issue For:
PLANNING

Scale 1:50@A3

ELECTRICAL LAYOUTS

Rev. Date 12.12.23

Second floor plan

Drawn FM

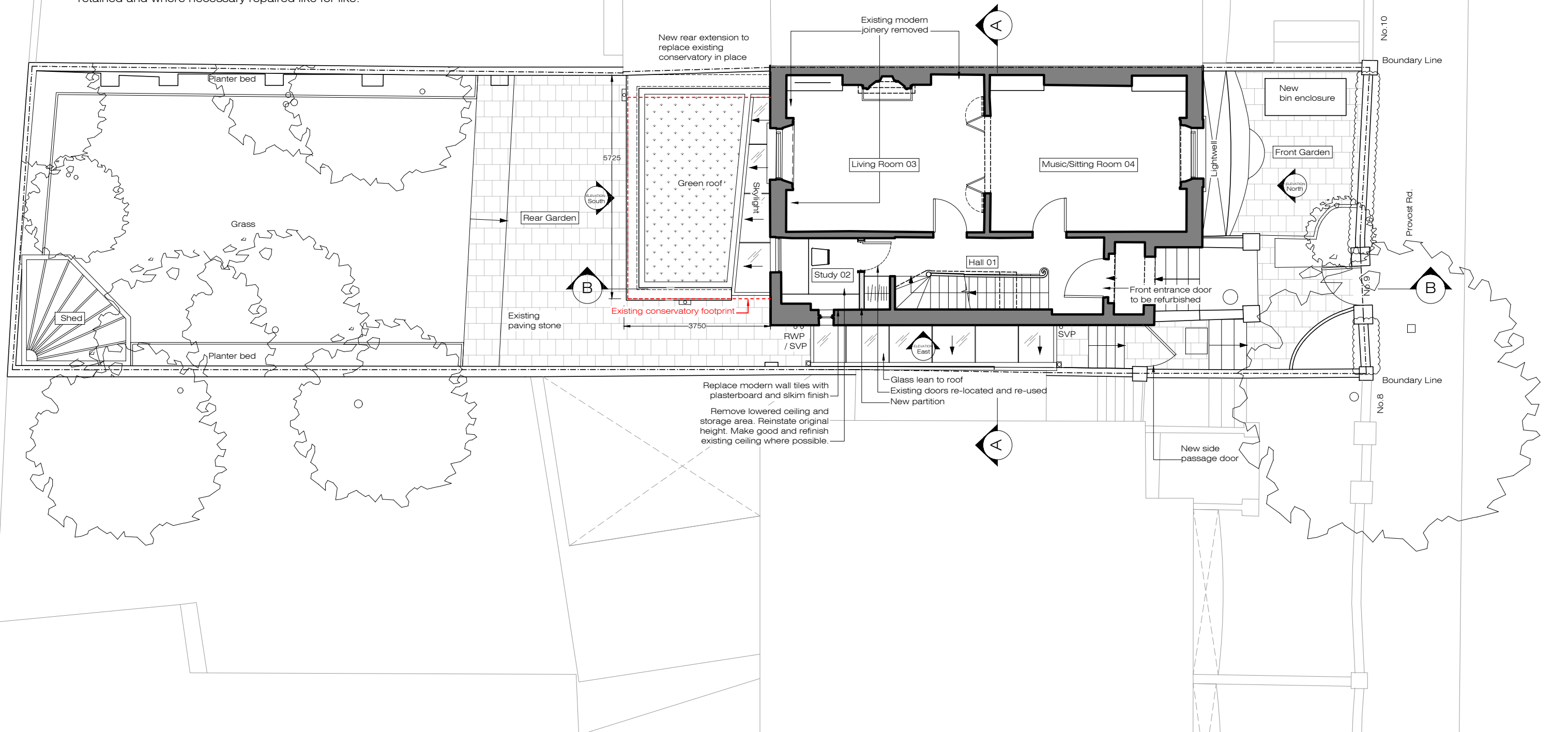
Dwg. No. EL-04 Rev. P-00

Checked IW

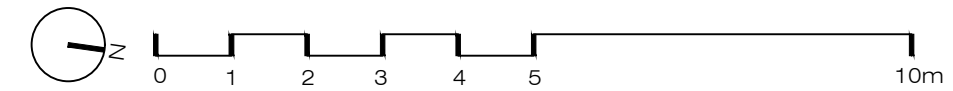
Project Number 23066

General notes:

- All internal doors to be refurbished and re-used. New doors are to match existing detailing. Refer to door details.
- All existing double-glazed windows to rear and side elevation to be replaced only with double-glazed painted timber windows to match like for like the existing windows unless noted otherwise. New windows will include structural glazing bars and will match the thickness of the existing windows.
- For proposed work to existing floors and floor build-ups types refer to drawing AD-06, to be read in conjunction with this floor plan. For floor type F5 refer to drawing AD-01.
- Where lime plaster/lath and lime plaster is present it be retained and where necessary repaired like for like.



X PROPOSED
Site and Upper Ground Floor Plan 1:100@A3



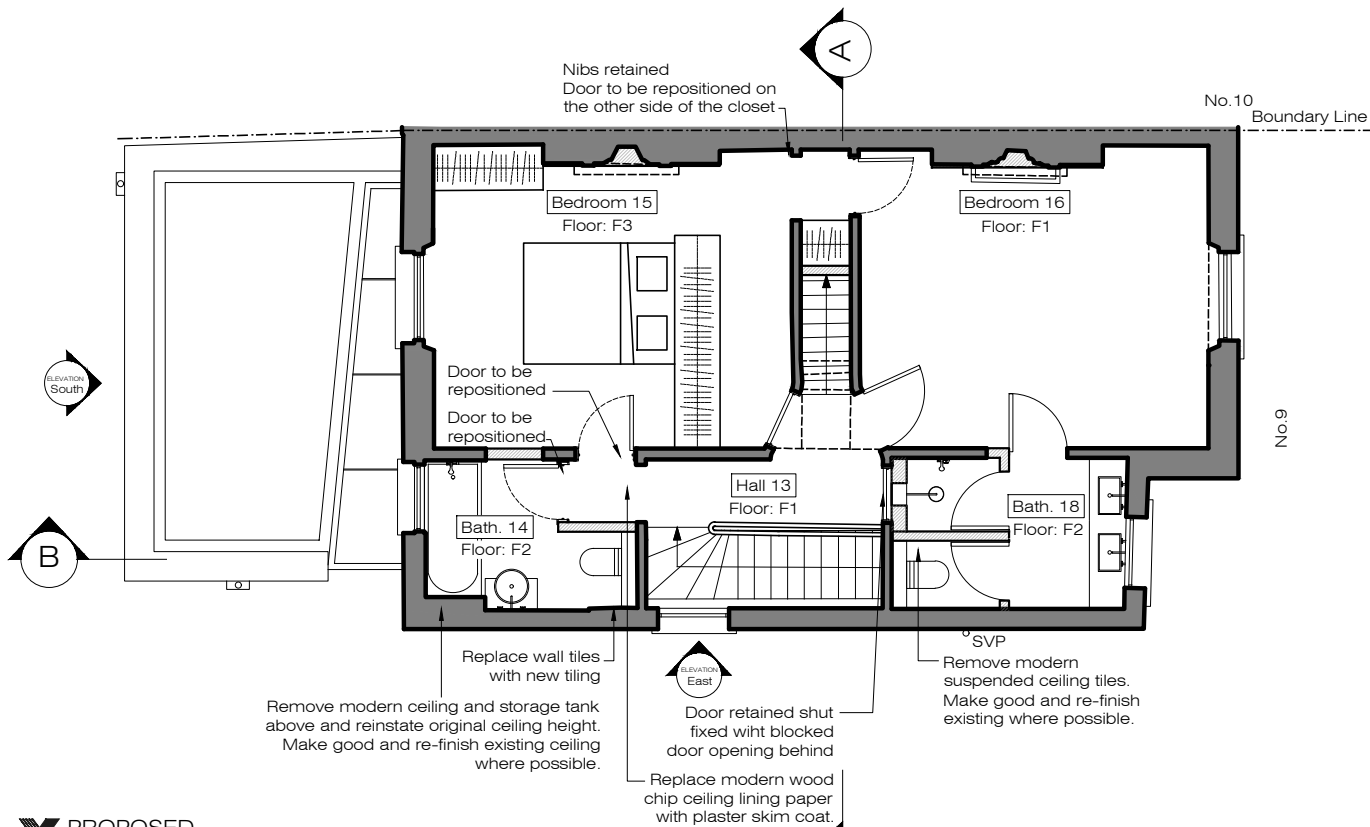
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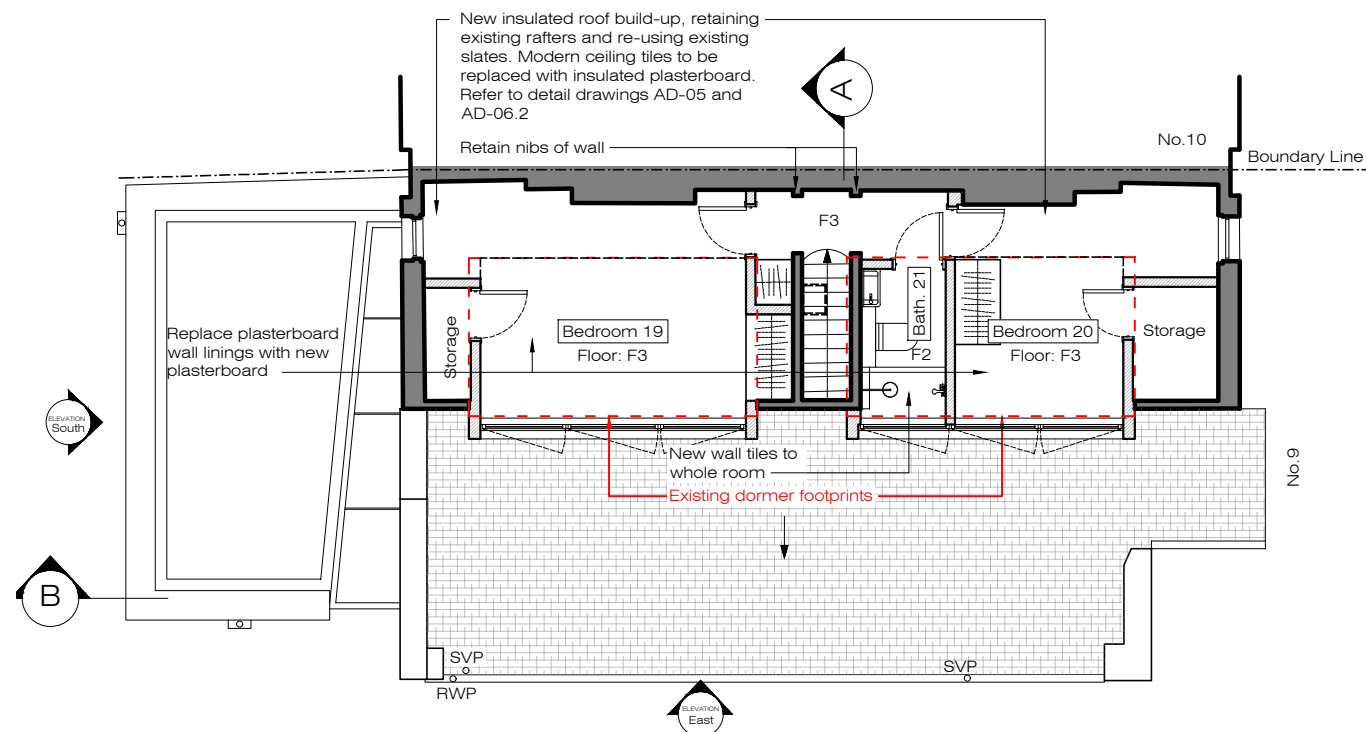
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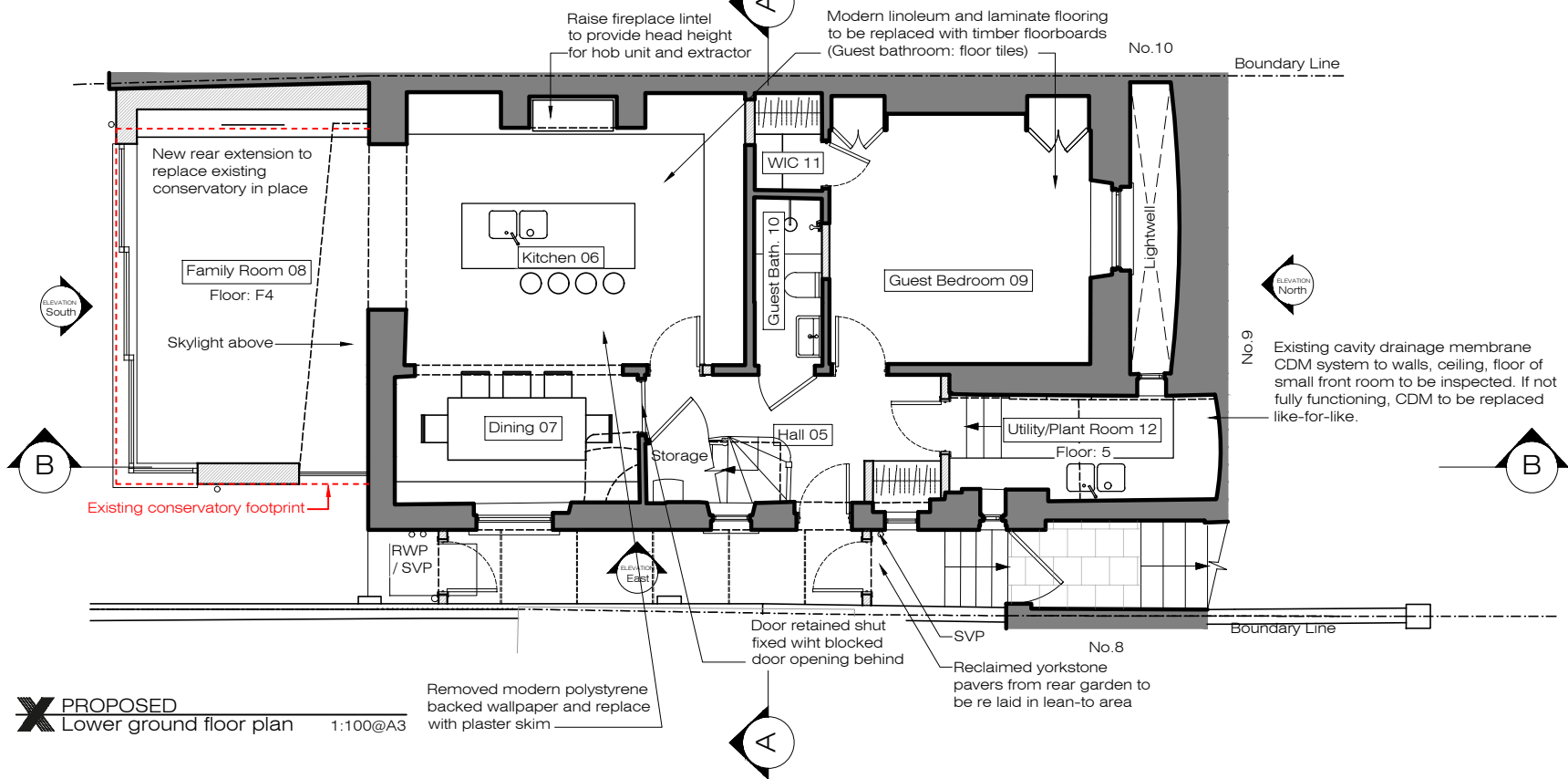
Issue key: Information (I) Planning (P) Tender (T) Construction (C) As Built (B)	Project Address 9 Provost Rd, NW3 4ST		Issue For: PLANNING
	Scale	1:100@A3	PROPOSED
	Rev. Date	12.12.23	Site and Upper Ground Floor Plan
	Drawn	TP	Dwg. No. PA-01 Rev. P-02
	Checked	IW	Project Number 23066



X PROPOSED
First floor plan 1:100@A3

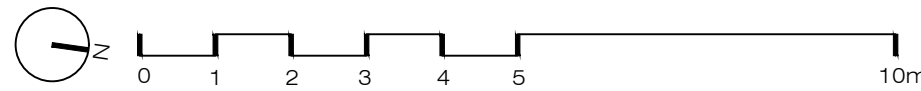


X PROPOSED
Second floor plan 1:100@A3



X PROPOSED
Lower ground floor plan 1:100@A3

- General notes:
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 - Where lime plaster/lath and lime plaster is present it be retained and where necessary repaired like for like.



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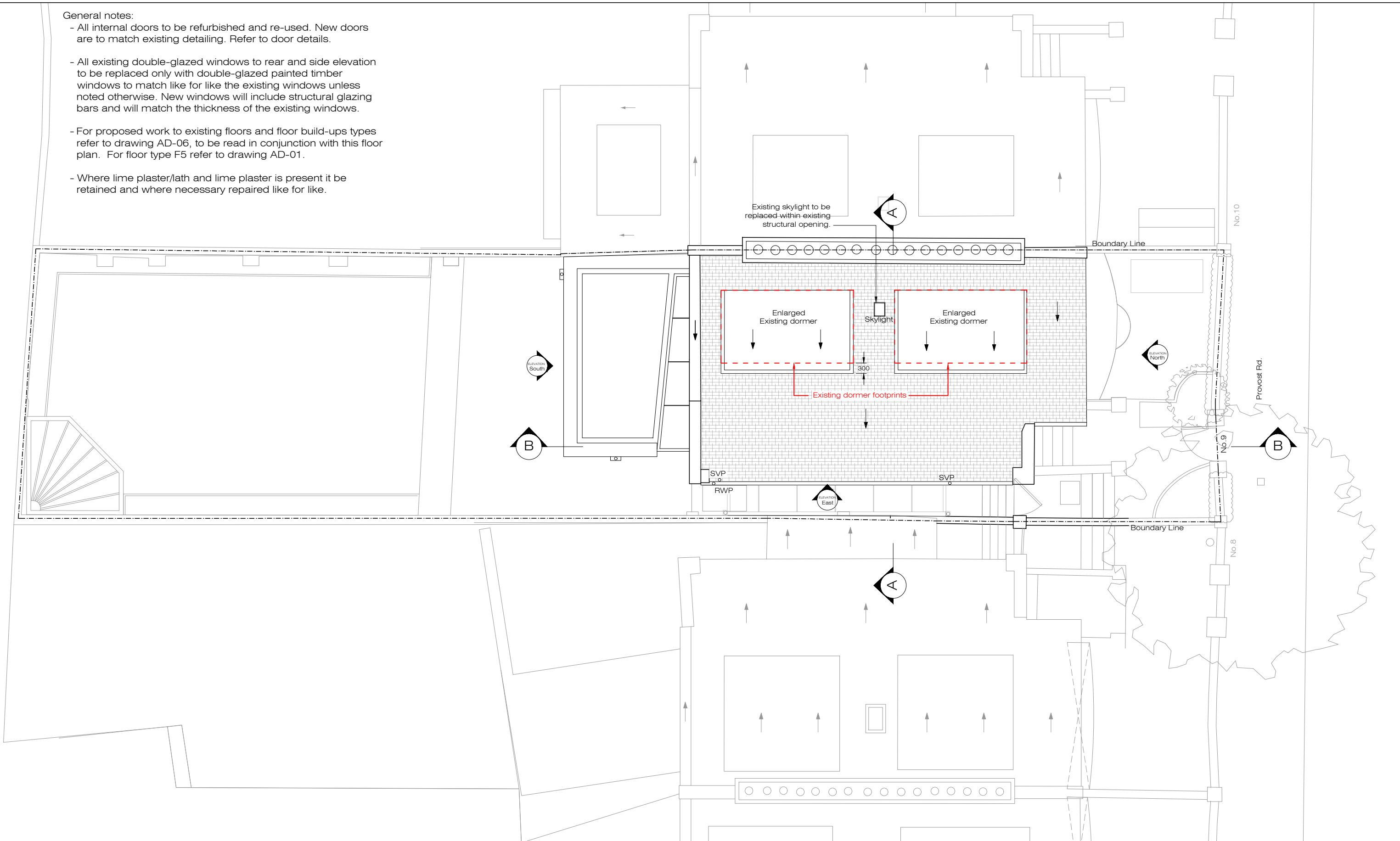
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ADDITIONAL NOTE:

Issue key:	Project Address	Issue For:
Information (I)	9 Provost Rd, NW3 4ST	PLANNING
Planning (P)	Scale 1:100@A3	PROPOSED
Tender (T)	Rev. Date 12.12.23	Floor Plans
Construction (C)	Drawn TP	Dwg. No. PA-02 Rev. P-02
As Built (B)	Checked IW	Project Number 23066

General notes:

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X PROPOSED
Roof plan
1:100@A3



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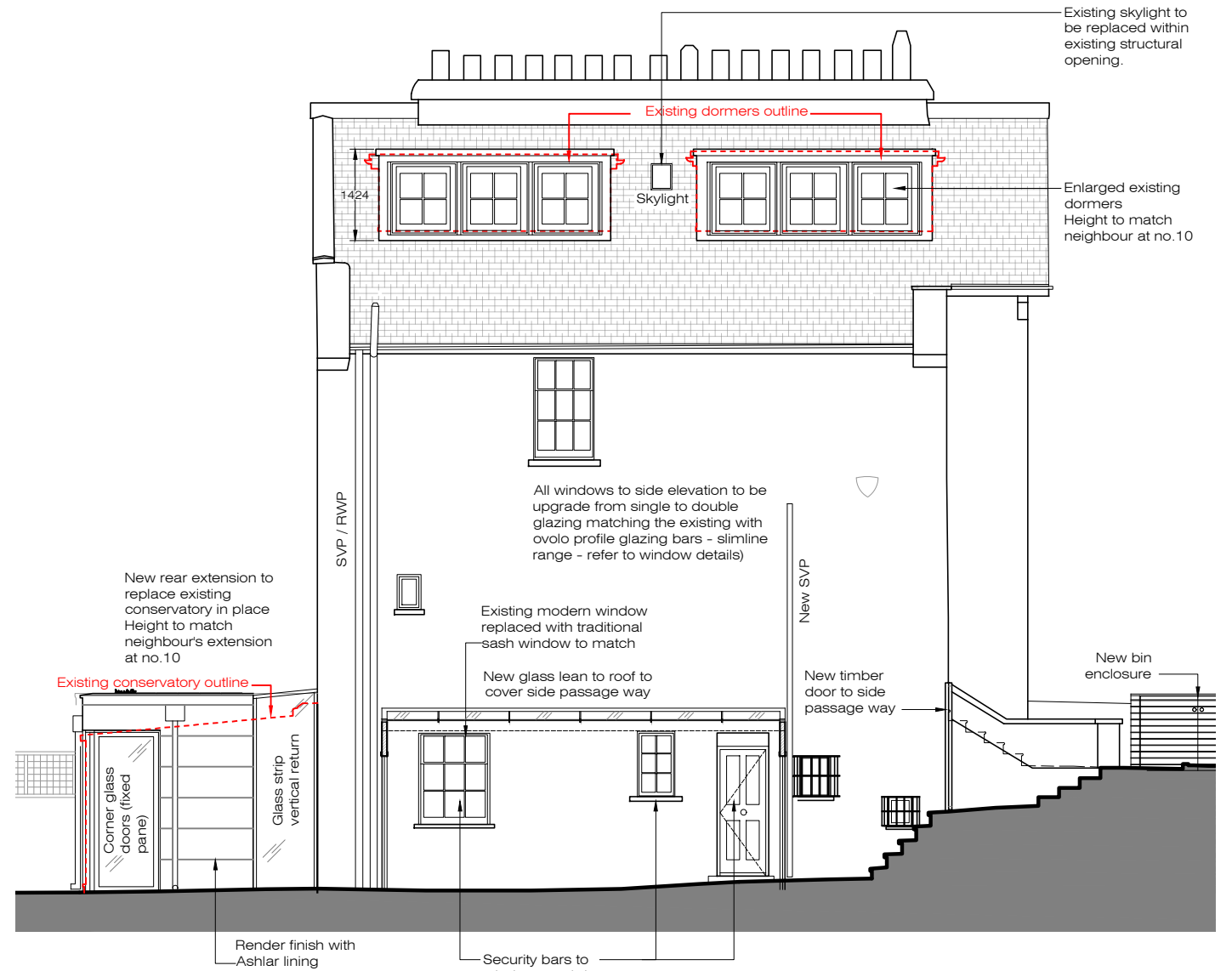
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Issue key: Information (I) Planning (P) Tender (T) Construction (C) As Built (B)	Project Address 9 Provost Rd, NW3 4ST		Issue For: PLANNING	
	Scale	1:100@A3	PROPOSED	
	Rev. Date	12.12.23	Roof Plan	
	Drawn	TP	Dwg. No.	PA-03 Rev. P-02
	Checked	IW	Project Number	23066



X PROPOSED
North Elevation (Front) 1:100@A3

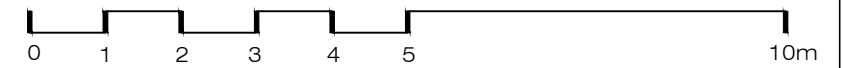


X PROPOSED
East Elevation (Side) 1:100@A3



X PROPOSED
North Elevation (Front) - Street view 1:100@A3

- General notes:
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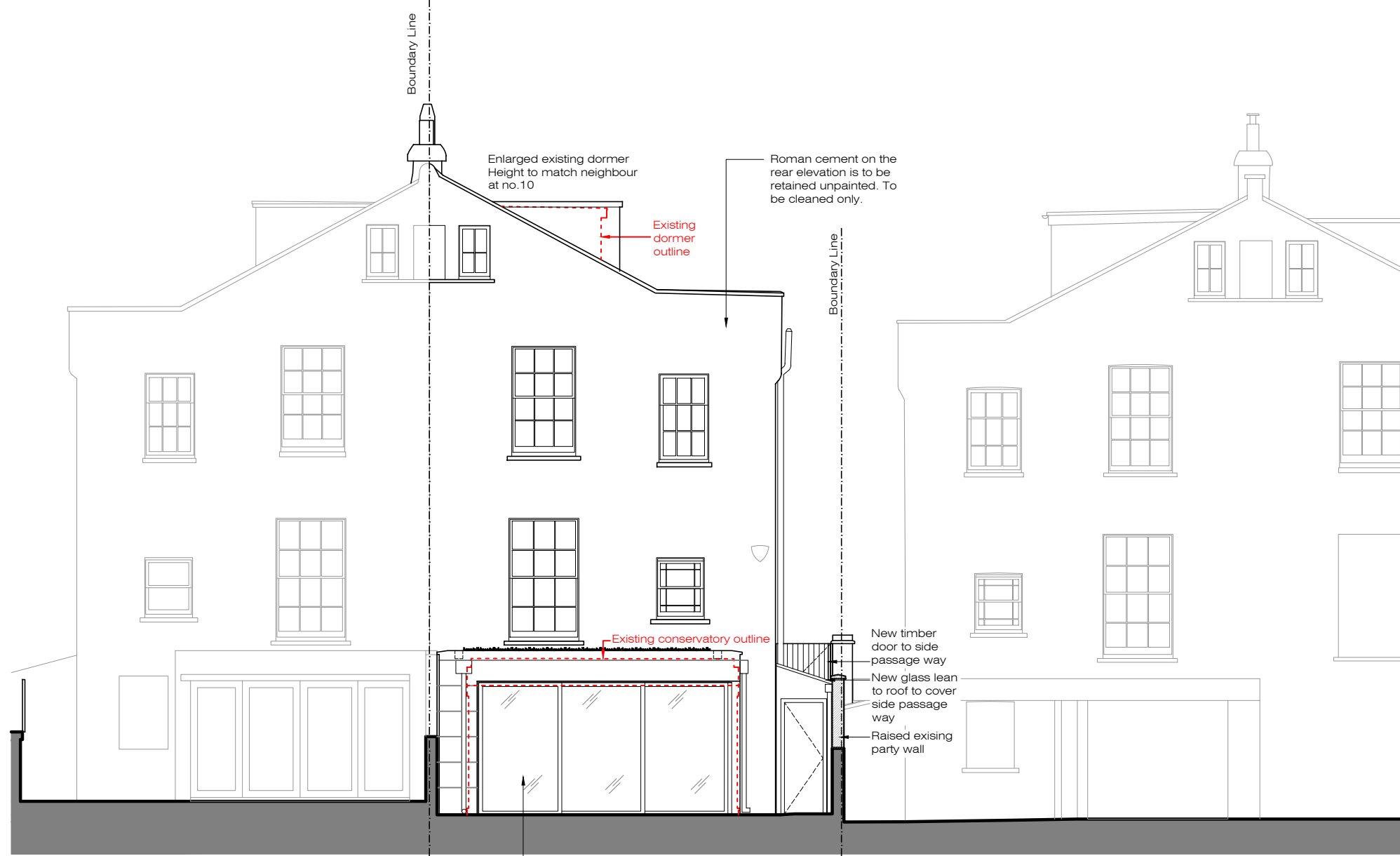


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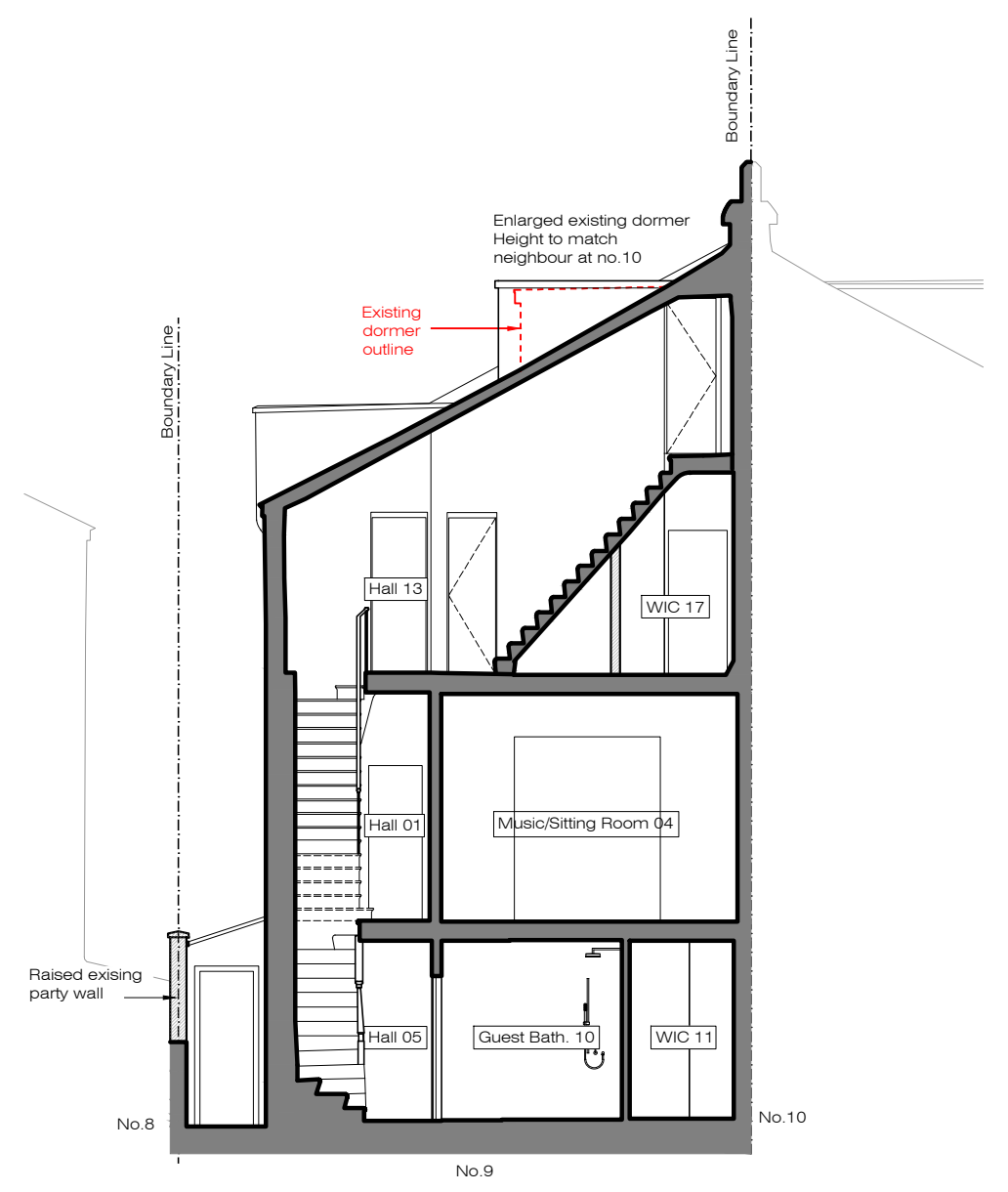
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Issue key:	Project Address	Issue For:
Information (I)	9 Provost Rd, NW3 4ST	PLANNING
Planning (P)	Scale 1:100@A3	PROPOSED
Tender (T)	Rev. Date 12.12.23	Elevations
Construction (C)	Drawn TP	Dwg. No. PA-04
As Built (B)	Checked IW	Rev. P-02
	Project Number	23066



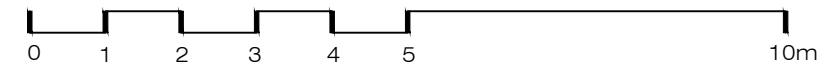
X PROPOSED
South Elevation (Back) 1:100@A3

New rear extension to replace existing conservatory in place.
Height to match neighbour's extension at no.10
-
Sliding doors 3 panes with corner return



X PROPOSED
Section AA 1:100@A3

- General notes:
- All internal doors to be refurbished and re-used. New doors are to match existing detailing. Refer to door details.
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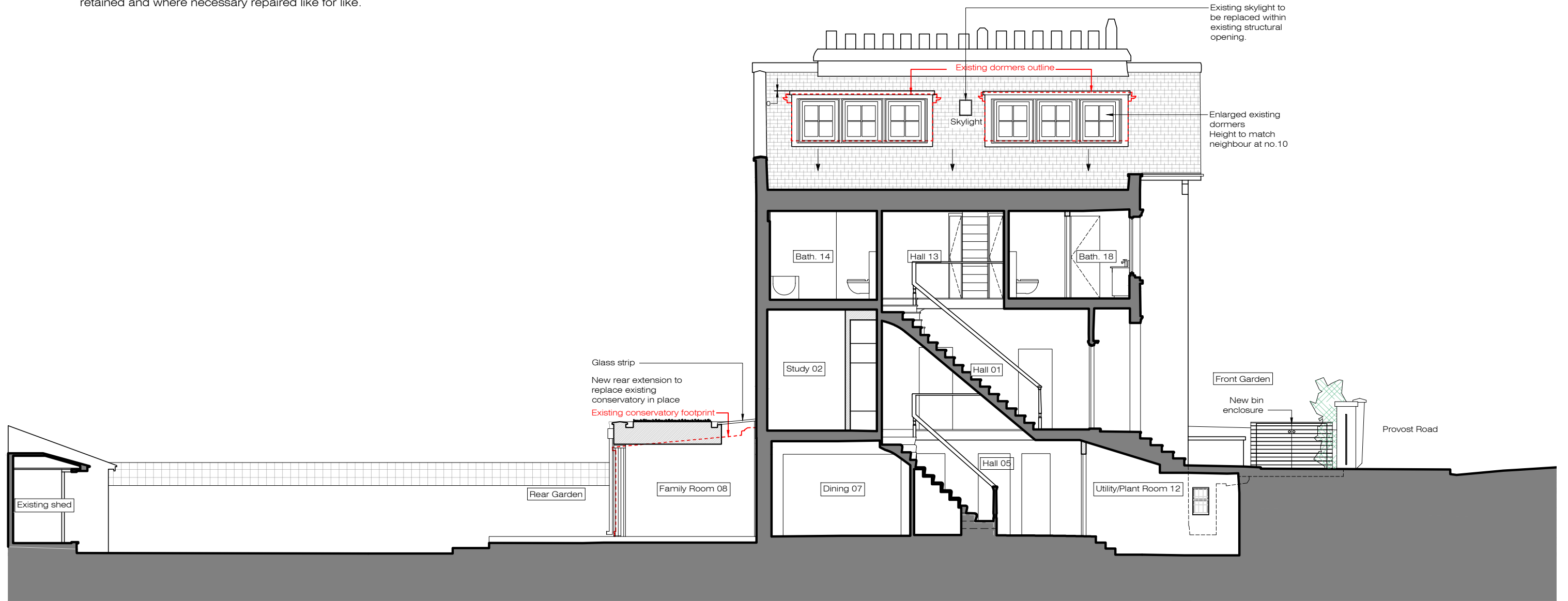
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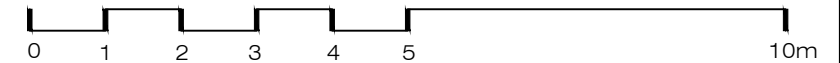
Issue key:	Project Address	Issue For:
Information (I)	9 Provost Rd, NW3 4ST	PLANNING
Planning (P)	Scale 1:100@A3	PROPOSED
Tender (T)	Rev. Date 12.12.23	Elevation & Section
Construction (C)	Drawn TP	Dwg. No. PA-05 Rev. P-02
As Built (B)	Checked IW	Project Number 23066

General notes:

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X PROPOSED Section BB 1:100@A3



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Issue key:

- Information (I)
- Planning (P)
- Tender (T)
- Construction (C)
- As Built (B)

Project Address
9 Provost Rd, NW3 4ST

Scale 1:100@A3 PROPOSED

Rev. Date 12.12.23 Section

Drawn TP Dwg. No. PA-06 Rev. P-02

Checked IW Project Number 23066

Issue For:
PLANNING

9 Provost Street, NW3 4ST

DEVISE.

9 Provost Street, NW3 4ST

Sequence of Works

Contents

Introduction2

Sequence of Works - Wall Openings3

Sequence of Works - Loft Structure4

Author	Approved by	Revision	Date
Michael Carr MEng	Graham Starling CEng MIStructE	T1	15/12/2023

One

Introduction

Devise Engineers have been asked to prepare a structural design for 9 Provost Street. The existing property is a semi-detached house likely built in the Victorian Era. The external walls are solid masonry, while the floor and roof structures are formed from timber joist construction. The internal walls to the property are formed from solid masonry at lower ground and ground floor level, and timber stud at first and second floor level.

9 Provost Street is a Grade II listed structure.

The scope of the works to the build includes a new rear extension, minor internal remodelling with the changes in the locations of door opening and extending the existing dormers to the loft structure.



Figure 1: Front Elevation of Property

Two

Sequence of Works - Wall Openings

The two existing door openings at first floor level are to be repositioned as shown in Figure 2. Small exploratory works openings have already been made within the walls, see Appendix 1, which shows no diagonal timber bracing is present within the wall at the proposed locations. The work will only require the moving of vertical timber studs and horizontal timber noggins.

The openings will be created in the following sequence:

- Carefully strip back lath and plaster from walls to the line of the proposed opening.
- Carefully remove the timber stud at the head by unscrewing cutting through the nails
- Move and re-use existing timber stud to location of new opening locations.
- Skew nail into headplate and sole plate.
- Follow the same process listed above to move any noggins.
- Reinstall lath and plaster to architect details.
- Apply finishes to wall as per architects' specification.

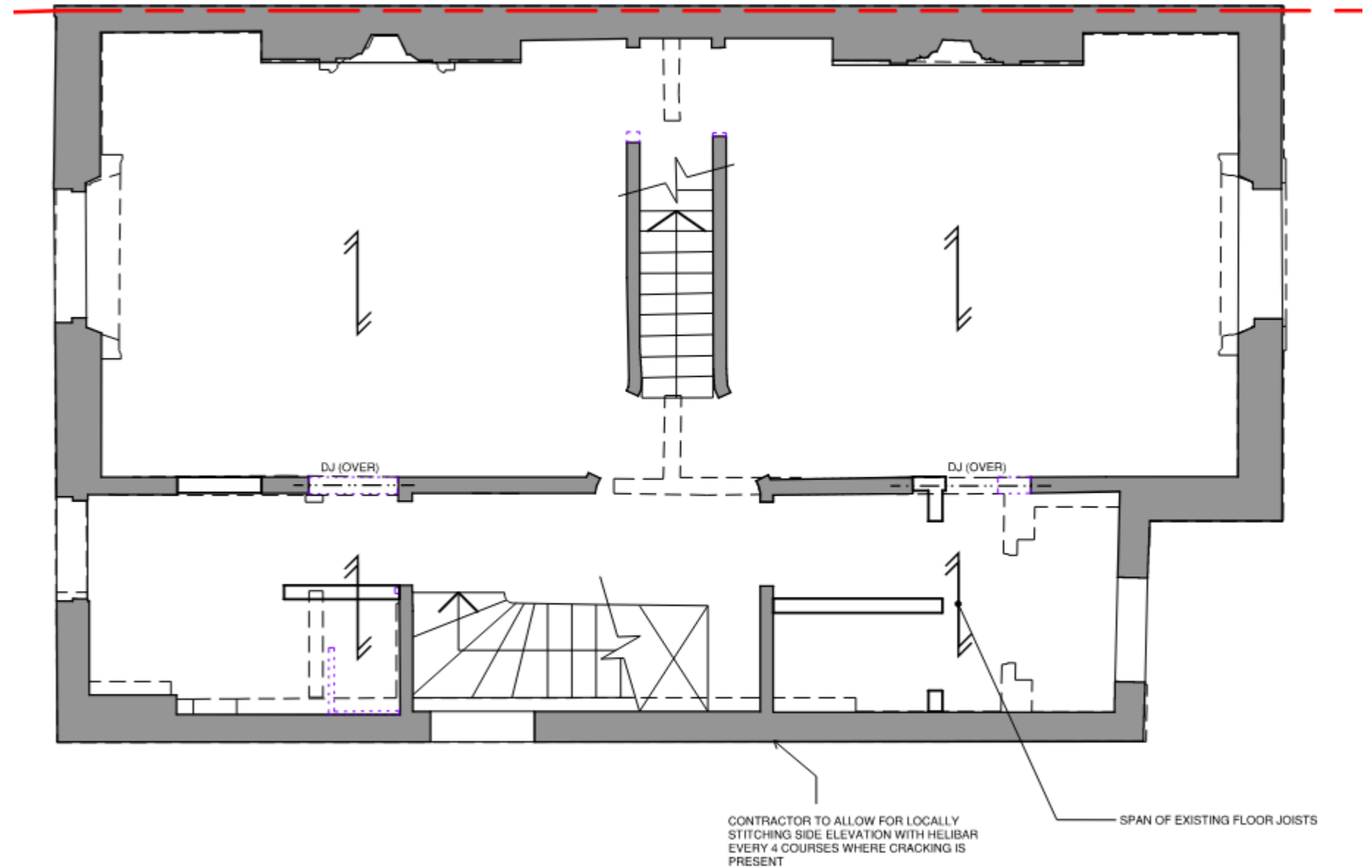


Figure 2: Locations of proposed door openings at first floor level.

Three

Sequence of Works - Loft Structure

The two existing dormers are to be extended to increase the size of the second-floor plan. Only the existing flat roof structure and dormer walls will be affected by the works.

The openings will be created in the following sequence:

- The existing dormer flat roof to be temporarily propped 500mm away from dormer window opening.
- Finishes to existing dwarf dormer wall to be carefully stripped back to the line of the edge of the proposed dormer.
- Remove the existing windows.
- Carefully remove the timber studs forming the dwarf wall by unscrewing or cutting through the nails, with a view to reuse provided they are in good condition.
- Existing dormer cheeks above pitched roof level to be removed.
- New doubled up timber rafters to be installed to support dormer cheeks, to prevent loading of existing floor structure. Install new dormer cheeks off new doubled up joists.
- Locally strip back existing flat roof structure to expose existing flat roof joists.
- Existing timber flat roof joists to be lengthened via splice connection, this will entail lapping the joists for a metre length and bolting together with M12 bolts at 300mm centres to location of new dormer.
- Install trebled up joist to span over new dormer glazing.
- Build dwarf dormer wall under glazing, using reused timber as far as practicable.
- Install glazing.
- Finishes to roof structure and internals wall to be undertaken to architects' specification.

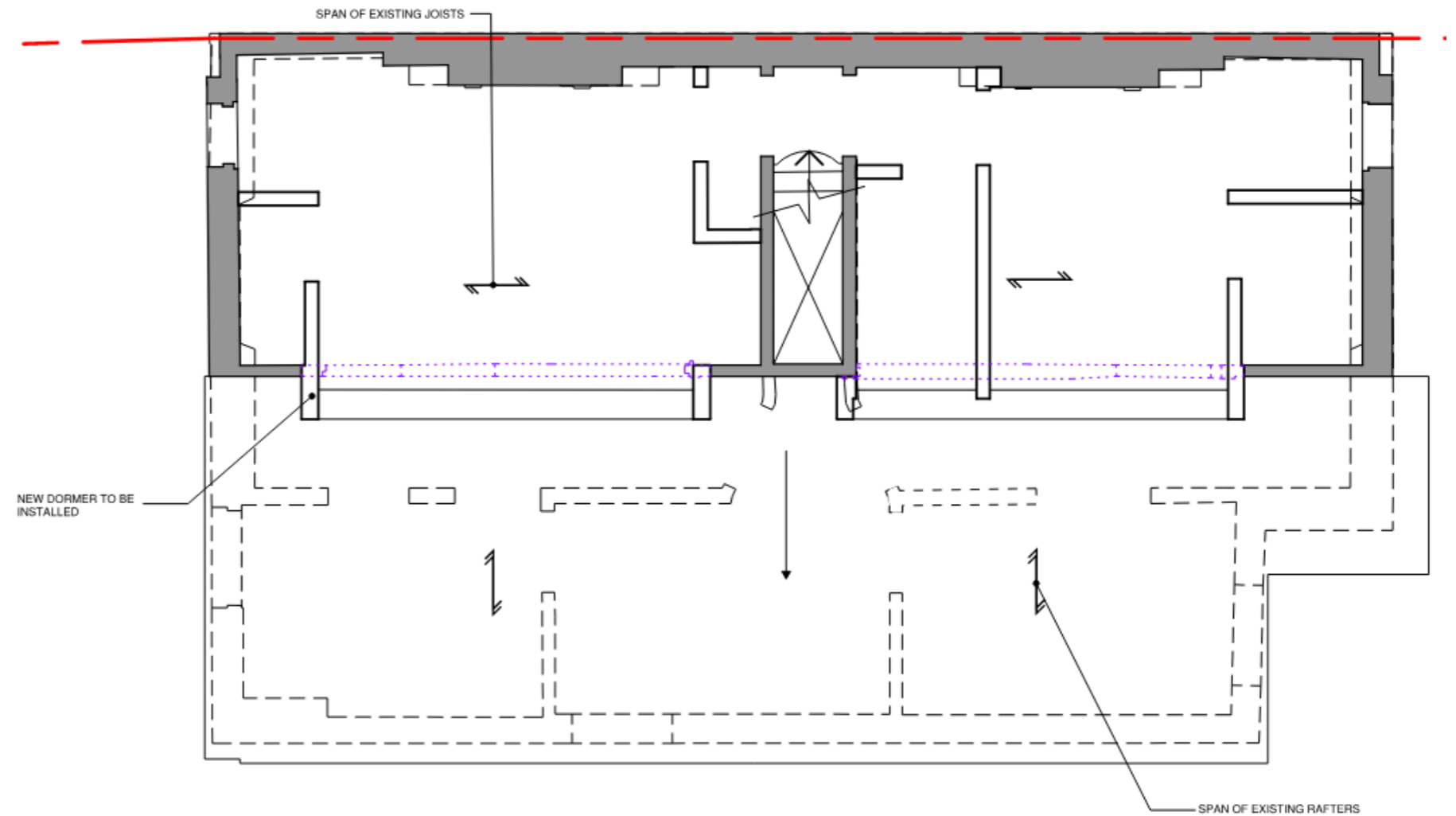


Figure 3 - Proposed works to existing dormers.

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Appendix 1



Photographs of openings in walls where proposed door openings are to be located.