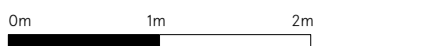


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Notes

General Principles

Existing windows: All existing windows to be refurbished and rehung, and seals, brushes etc. replaced to improve airtightness and reduce drafts. All frames to be redecorated. All glazing panes to be reviewed on site and putty replaced / made good as required. Ironmongery replacement TBC.

Floors: All 20th century flooring, pugging and non-original floorboards to be removed and replaced. Any original floorboards uncovered to be retained for re-use elsewhere within the house (location tbc on site). New flooring installed as indicated on the plans. Original floor levels to be maintained U.N.O.

Underfloor heating: UFH and acoustic insulation to be installed between floor joists through-out. U.N.O. Pipe routing to suit existing joist directions and existing services routing to be re-used where possible. Limited joist notching / through-joist penetrations to be permitted where necessary, subject to accordance with the SE's proposed methodology to prevent compromise of the structural integrity of the historic fabric.

Ceilings: Existing ceiling plaster and detailing to be made good and re-decorated following removal of the existing services and the installation of new. Continuity of covings etc to be re-instated where existing walls / features are being removed. Additional ceiling detailing included as indicated on the plans. All ceiling making good, in-fill, replacement etc to match the existing construction type / detail in the relevant ceiling.

Decoration: All internal wall surfaces to be redecorated with breathable paint U.N.O. Compatible fire retardant treatment to be applied to timber linings as necessary for building control compliance.

Skirtings: Existing skirtings to be re-instated following replacement of the flooring. Any breaks / gaps in skirtings where walls / existing features are being modified to be in-filled with new skirting to match. Skirtings re-decorated through-out.

Existing plastered walls: Existing plasterwork to be retained and made good generally where lime-based and where not coated with impermeable finishes. All impermeable finishes and plaster to be removed prior to the application of new finishes.

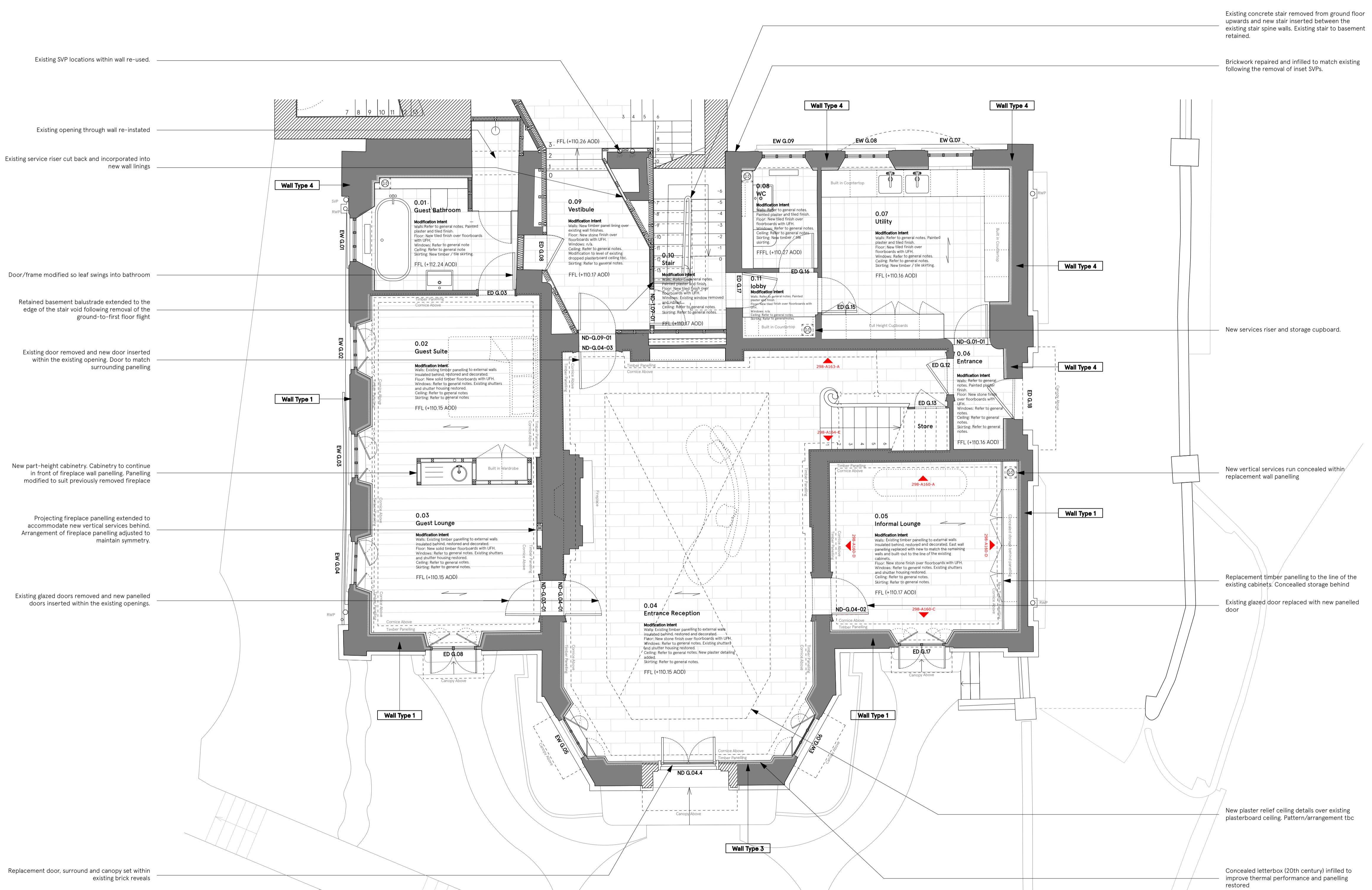
Existing timber panelling - generally: Panelling to be made good and re-decorated following removal of existing services and installation of new.

Existing timber panelling-external walls: New breathable insulation to be installed in the existing void between the timber panelling and the internal face of the external brick wall.

Existing brickwork, pointing and flashing generally: condition to be reviewed at later stage and remediation works agreed as necessary.

Key

- Existing Building Fabric
- New Building envelope fabric
- Coving / ceiling detailing above
- Loose furniture (indicative only)
- Existing Joist Direction



Existing SVP locations within wall re-used.

Existing opening through wall re-instated

Existing service riser cut back and incorporated into new wall linings

Door/frame modified so leaf swings into bathroom

Retained basement balustrade extended to the edge of the stair void following removal of the ground-to-first floor flight

Existing door removed and new door inserted within the existing opening. Door to match surrounding panelling

New part-height cabinetry. Cabinetry to continue in front of fireplace wall panelling. Panelling modified to suit previously removed fireplace

Projecting fireplace panelling extended to accommodate new vertical services behind. Arrangement of fireplace panelling adjusted to maintain symmetry.

Existing glazed doors removed and new panelled doors inserted within the existing openings.

Replacement door, surround and canopy set within existing brick reveals

Existing concrete stair removed from ground floor upwards and new stair inserted between the existing stair spine walls. Existing stair to basement retained.

Brickwork repaired and infilled to match existing following the removal of inset SVPs.

New services riser and storage cupboard.

New vertical services run concealed within replacement wall panelling

Replacement timber panelling to the line of the existing cabinets. Concealed storage behind

Existing glazed door replaced with new panelled door

New plaster relief ceiling details over existing plasterboard ceiling. Pattern/arrangement tbc

Concealed letterbox (20th century) infilled to improve thermal performance and panelling restored

Issued for planning 05/12/23
Issue/Revision 1 Date 1 Rev 1

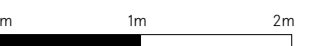
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Project: Refurbishment & Proposed Extension
Address: Frogmal House, 99 Frogmal, London, NW3 6XR
Subject: Existing House - Proposed Listed Building Modifications - Ground Floor

Date: 25.09.2023
Scale: 1:50

Original size: A1
Drawing no: 298 A120

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Notes

General Principles

Existing windows: All existing windows to be refurbished and rehung, and seals, brushes etc. replaced to improve airtightness and reduce drafts. All frames to be redecorated. All glazing panes to be reviewed on site and putty replaced / made good as required. Ironmongery replacement TBC.

Floors: All 20th century flooring, pugging and non-original floorboards to be removed and replaced. Any original floorboards uncovered to be retained for re-use elsewhere within the house (location tbc on site). New flooring installed as indicated on the plans. Original floor levels to be maintained U.N.O.

Underfloor heating: UFH and acoustic insulation to be installed between floor joists through-out. U.N.O. Pipe routing to suit existing joist directions and existing services routing to be re-used where possible. Limited joist notching / through-joist penetrations to be permitted where necessary, subject to accordance with the SE's proposed methodology to prevent compromise of the structural integrity of the historic fabric.

Ceilings: Existing ceiling plaster and detailing to be made good and re-decorated following removal of the existing services and the installation of new. Continuity of covings etc to be re-instated where existing walls / features are being removed. Additional ceiling detailing included as indicated on the plans. All ceiling making good, in-fill, replacement etc to match the existing construction type / detail in the relevant ceiling.

Decoration: All internal wall surfaces to be redecorated with breathable paint U.N.O. Compatible fire retardant treatment to be applied to timber linings as necessary for building control compliance.

Skirtings: Existing skirtings to be re-instated following replacement of the flooring. Any breaks / gaps in skirtings where walls / existing features are being modified to be in-filled with new skirting to match. Skirtings re-decorated through-out.

Existing plastered walls: Existing plasterwork to be retained and made good generally where lime-based and where not coated with impermeable finishes. All impermeable finishes and plaster to be removed prior to the application of new finishes.

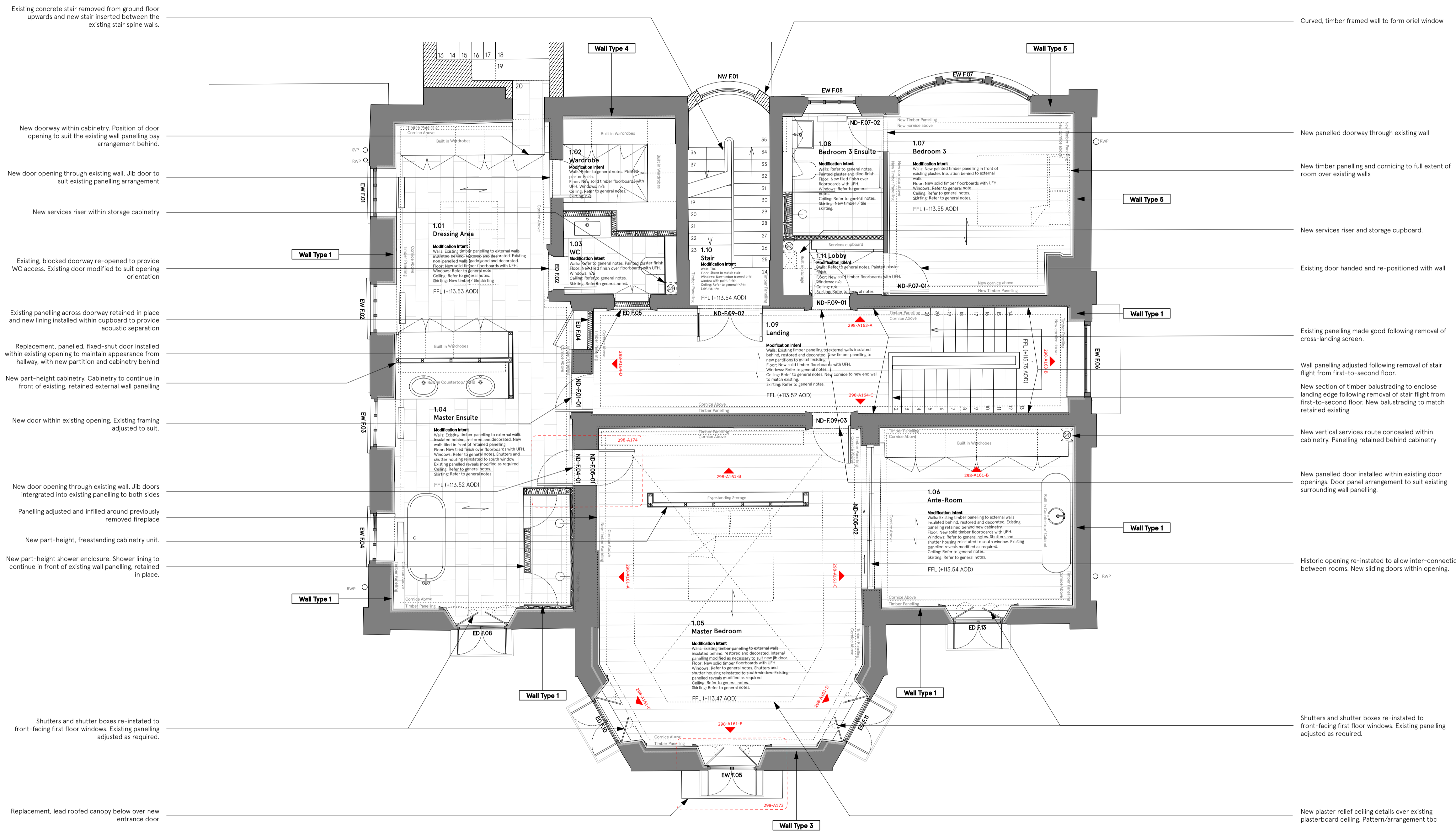
Existing timber panelling - generally: Panelling to be made good and re-decorated following removal of existing services and installation of new.

Existing timber panelling-external walls: New breathable insulation to be installed in the existing void between the timber panelling and the internal face of the external brick wall.

Existing brickwork, pointing and plastering generally: condition to be reviewed at later stage and remediation works agreed as necessary.

Key

- Existing Building Fabric
- New Building envelope fabric
- Coving / ceiling detailing above
- Loose furniture (indicative only)
- Existing Joist Direction



Existing concrete stair removed from ground floor upwards and new stair inserted between the existing stair spine walls.

New doorway within cabinetry. Position of door opening to suit the existing wall panelling bay arrangement behind.

New door opening through existing wall. Jib door to suit existing panelling arrangement

New services riser within storage cabinetry

Existing, blocked doorway re-opened to provide WC access. Existing door modified to suit opening orientation

Existing panelling across doorway retained in place and new lining installed within cupboard to provide acoustic separation

Replacement, panelled, fixed-shut door installed within existing opening to maintain appearance from hallway, with new partition and cabinetry behind

New part-height cabinetry. Cabinetry to continue in front of existing, retained external wall panelling

New door within existing opening. Existing framing adjusted to suit.

New door opening through existing wall. Jib doors integrated into existing panelling to both sides

Panelling adjusted and in-filled around previously removed fireplace

New part-height, freestanding cabinetry unit.

New part-height shower enclosure. Shower lining to continue in front of existing wall panelling, retained in place.

Shutters and shutter boxes re-instated to front-facing first floor windows. Existing panelling adjusted as required.

Replacement, lead roofed canopy below over new entrance door

Curved, timber framed wall to form oriel window

New panelled doorway through existing wall

New timber panelling and cornice to full extent of room over existing walls

New services riser and storage cupboard.

Existing door handed and re-positioned with wall

Existing panelling made good following removal of cross-landing screen.

Wall panelling adjusted following removal of stair flight from first-to-second floor.

New section of timber balustrading to enclose landing edge following removal of stair flight from first-to-second floor. New balustrading to match retained existing

New vertical services route concealed within cabinetry. Panelling retained behind cabinetry

New panelled door installed within existing door openings. Door panel arrangement to suit existing surrounding wall panelling.

Historic opening re-instated to allow inter-connection between rooms. New sliding doors within opening.

Shutters and shutter boxes re-instated to front-facing first floor windows. Existing panelling adjusted as required.

New plaster relief ceiling details over existing plasterboard ceiling. Pattern/arrangement tbc

Issued for planning 05/12/23
Issue/Revision 1 Date 1 Rev 1

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Project: Refurbishment & Proposed Extension
Address: Froggnal House, 99 Froggnal, London, NW3 6XR
Subject: Existing House - Proposed Listed Building Modifications - First Floor

Date: 25.09.2023
Scale: 1:50
Original size: A1

Drawing no: 298 A121

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0m 5m 20m



Notes

General Principles

Existing windows: All existing windows to be refurbished and rehung, and seals, brushes etc. replaced to improve airtightness and reduce drafts. All frames to be redecorated. All glazing panes to be reviewed on site and putty replaced / made good as required. Ironmongery replacement TBC.

Floors: All 20th century flooring, pugging and non-original floorboards to be removed and replaced. Any original floorboards uncovered to be retained for re-use elsewhere within the house (location tbc on site). New flooring installed as indicated on the plans. Original floor levels to be maintained U.N.O.

Underfloor heating: UFH and acoustic insulation to be installed between floor joists through-out. U.N.O. Pipe routing to suit existing joist directions and existing services routing to be re-used where possible. Limited joist notching / through-joist penetrations to be permitted where necessary, subject to accordance with the SE's proposed methodology to prevent compromise of the structural integrity of the historic fabric.

Ceilings: Existing ceiling plaster and detailing to be made good and re-decorated following removal of the existing services and the installation of new. Continuity of covings etc to be re-instated where existing walls / features are being removed. Additional ceiling detailing included as indicated on the plans. All ceiling making good, infill, replacement etc to match the existing construction type / detail in the relevant ceiling.

Decoration: All internal wall surfaces to be redecorated with breathable paint U.N.O. Compatible fire retardant treatment to be applied to timber linings as necessary for building control compliance.

Skirtings: Existing skirtings to be re-instated following replacement of the flooring. Any breaks / gaps in skirtings where walls / existing features are being modified to be infilled with new skirting to match. Skirtings re-decorated through-out.

Existing plastered walls: Existing plasterwork to be retained and made good generally where lime-based and where not coated with impermeable finishes. All impermeable finishes and plaster to be removed prior to the application of new finishes.

Existing timber panelling - generally: Panelling to be made good and re-decorated following removal of existing services and installation of new.

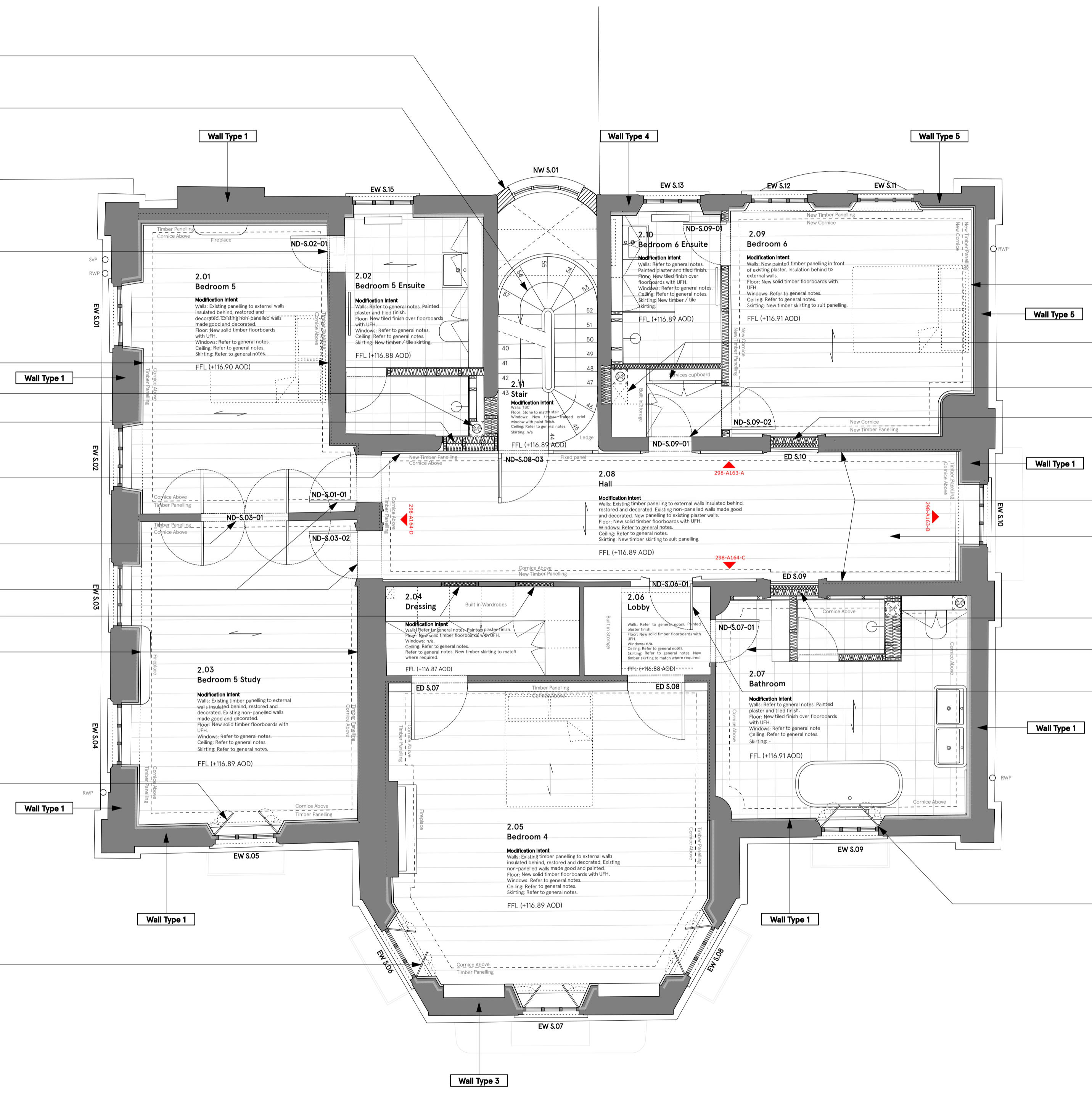
Existing timber panelling-external walls: New breathable insulation to be installed in the existing void between the timber panelling and the internal face of the external brick wall.

Existing brickwork, pointing and plaster generally: condition to be reviewed at later stage and remediation works agreed as necessary.

Key

- Existing Building Fabric
- New Building envelope fabric
- Coving / ceiling detailing above
- Loose furniture (indicative only)
- Existing Joist Direction

- Curved, timber framed wall to form oriel window
- Existing concrete stair removed from ground floor upwards and new stair inserted between the existing stair spine walls.
- Historic doorway re-instated within existing panelling. Jib door to bedroom side
- Timber panelling made good following removal of existing wall and continuity of skirting, coving etc re-instated.
- Service riser within plumber's wall
- Existing walls extended with timber framed partition infill. Face finishes to align with and match existing.
- New timber wall panelling in front of existing and new walls.
- New opening through existing blockwork wall with panelling to both sides. Jib doors integrated into each panelling leaf.
- New doors within existing openings. Existing framing adjusted to suit.
- Existing internal windows infilled and concealed by new timber panelling.
- Timber panelling made good following removal of existing wall and continuity of skirting, coving etc re-instated.
- Shutters and shutter boxes incorporated into panelled window reveals
- Shutters and shutter boxes incorporated into panelled window reveals



- New timber panelling and cornice to full extent of room over existing walls
- New services riser and storage cupboard.
- New doorway formed through existing wall. Existing walls made good around opening.
- New wall panelling infill within existing opening. Opening infilled with timber stud behind panelling. Finishes to bedroom side to continue over infill.
- Existing plastered walls: Existing plasterwork to be retained and made good generally where lime-based and where not coated with impermeable finishes. All impermeable finishes and plaster to be removed prior to the application of new finishes.
- Existing timber panelling - generally: Panelling to be made good and re-decorated following removal of existing services and installation of new.
- Existing timber panelling-external walls: New breathable insulation to be installed in the existing void between the timber panelling and the internal face of the external brick wall.
- Existing brickwork, pointing and plaster generally: condition to be reviewed at later stage and remediation works agreed as necessary.
- New wall panelling infill within existing opening. Opening infilled with timber stud wall behind. Finishes to bathroom side to continue over infill.
- New doorway formed through existing wall. Existing walls made good around opening.
- New door leaf within existing opening. Opening modified to align with new doorway opposite and framing adjust to suit new hall wall panelling.
- Shutters incorporated into window reveals

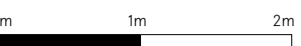
Issued for planning 01/12/23
Issue/Revision 1 Date 1 Rev 1

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Project: Refurbishment & Proposed Extension
Address: Frogmal House, 99 Frogmal, London, NW3 6XR
Subject: Existing House - Proposed Listed Building Modifications - Second Floor
Date: 25.09.2023
Scale: 1:50
Original size: A1
Drawing no: 298 A122

PLANNING ISSUE

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Notes

General Principals

Existing windows: All existing windows to be refurbished and rehung, and seals, brushes etc. replaced to improve airtightness and reduce drafts. All frames to be redecorated. All glazing panes to be reviewed on site and putty replaced / made good as required. Ironmongery replacement TBC.

Floors: All 20th century flooring, pugging and non-original floorboards to be removed and replaced. Any original floorboards uncovered to be retained for re-use elsewhere within the house (location tbc on site). New flooring installed as indicated on the plans. Original floor levels to be maintained U.N.O.

Underfloor heating: UFH and acoustic insulation to be installed between floor joists through-out. U.N.O. Pipe routing to suit existing joist directions and existing services routing to be re-used where possible. Limited joist notching / through-joist penetrations to be permitted where necessary, subject to accordance with the SE's proposed methodology to prevent compromise of the structural integrity of the historic fabric.

Ceilings: Existing ceiling plaster and detailing to be made good and re-decorated following removal of the existing services and the installation of new. Continuity of covings etc to be re-instated where existing walls / features are being removed. Additional ceiling detailing included as indicated on the plans. All ceiling making good, infill, replacement etc to match the existing construction type / detail in the relevant ceiling.

Decoration: All internal wall surfaces to be redecorated with breathable paint U.N.O. Compatible fire retardant treatment to be applied to timber linings as necessary for building control compliance.

Skirtings: Existing skirtings to be re-instated following replacement of the flooring. Any breaks / gaps in skirtings where walls / existing features are being modified to be in-filled with new skirting to match. Skirtings re-decorated through-out.

Existing plastered walls: Existing plasterwork to be retained and made good generally where lime-based and where not coated with impermeable finishes. All impermeable finishes and plaster to be removed prior to the application of new finishes.

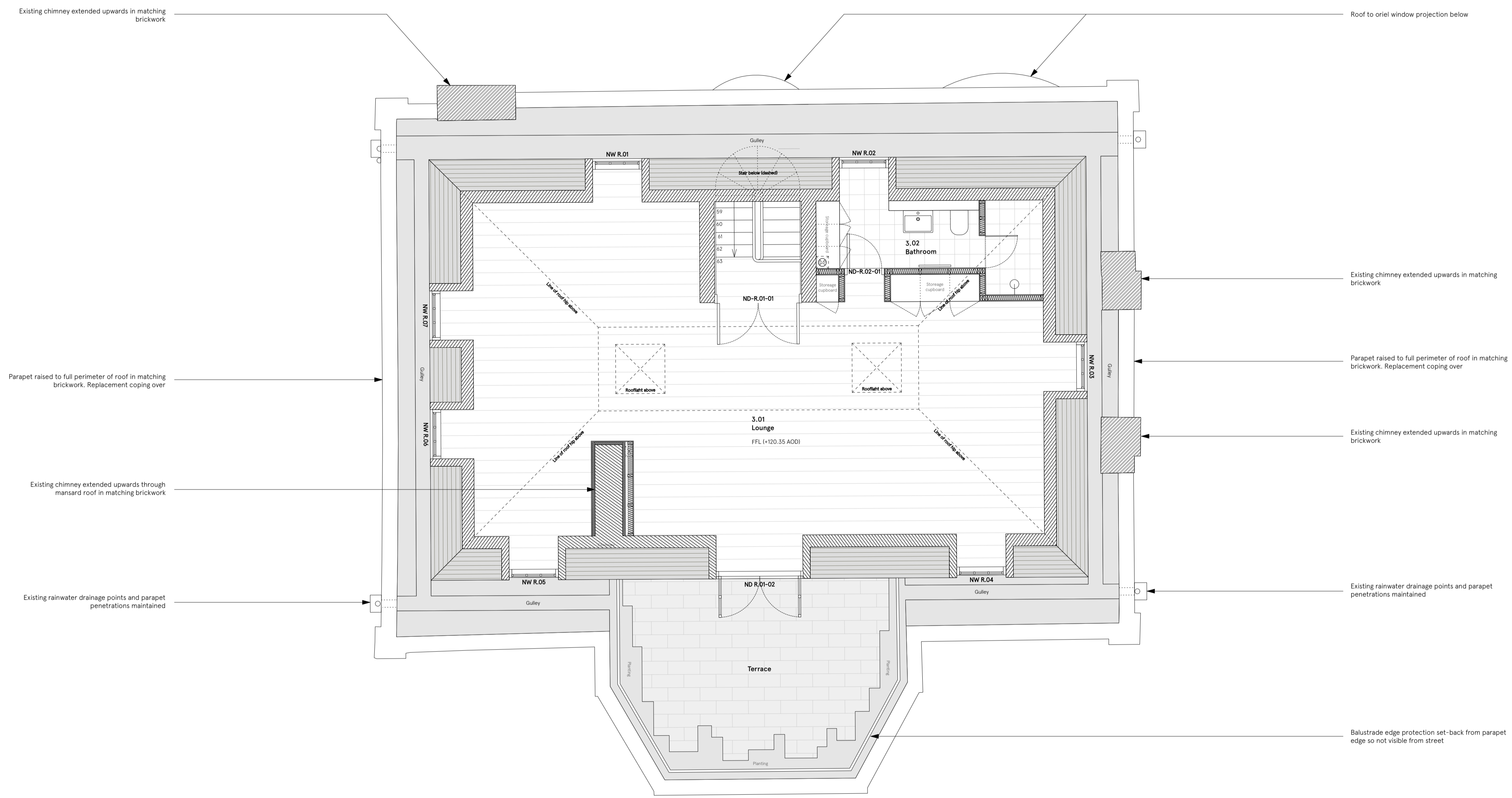
Existing timber panelling - generally: Panelling to be made good and re-decorated following removal of existing services and installation of new.

Existing timber panelling-external walls: New breathable insulation to be installed in the existing void between the timber panelling and the internal face of the external brick wall.

Existing brickwork, pointing and flashing generally: condition to be reviewed at later stage and remediation works agreed as necessary.

Key

- Existing Building Fabric
- New Building envelope fabric
- Coving / ceiling detailing above
- Loose furniture (indicative only)
- Existing Joist Direction



Existing chimney extended upwards in matching brickwork

Roof to oriel window projection below

Existing chimney extended upwards in matching brickwork

Parapet raised to full perimeter of roof in matching brickwork. Replacement coping over

Parapet raised to full perimeter of roof in matching brickwork. Replacement coping over

Existing chimney extended upwards in matching brickwork

Existing chimney extended upwards through mansard roof in matching brickwork

Existing rainwater drainage points and parapet penetrations maintained

Existing rainwater drainage points and parapet penetrations maintained

Balustrade edge protection set-back from parapet edge so not visible from street

Issued for planning 01/12/23
Issue/Revision 1 Date 1 Rev 1

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Project: Refurbishment & Proposed Extension
Address: Froggnal House, 99 Froggnal, London, NW3 6XR
Subject: Existing House - Proposed Listed Building Modifications - Mansard Floor Plan
Date: 25.09.2023
Scale: 1:50
Original size: A1

Drawing no: 298 A123 -