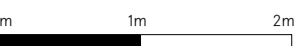


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Notes

Read in conjunction with Existing Plan series A010 and proposed Modification Plan series A10.

All existing building fabric and building features to be protected from damage unless indicated for removal. All removal or demolition works to be undertaken carefully and in full accordance with all associated heritage method statements to prevent unnecessary damage.

Refer to Modification Plan series A10+ Proposed and Existing Internal Elevation series A060+ and A160+ and Panelling drawings A170+ series in relation to works to the existing wall panelling on external walls.

All internal floor finishes, non-original floor boarding and between floor joist insulation to be removed U.N.O.

Existing skirtings and cornice to be carefully uninstalled as necessary for removal of the existing floor finishes and wall panelling, and retained and protected for re-installation. Refer to A170+ series methodology.

All existing MEP services, electrical appliances, sanitary ware fixtures and fittings, lighting and electrical outlets/fittings to be removed U.N.O.






All bathroom wall tiling and non-breathable wall finish treatments to be removed U.N.O.

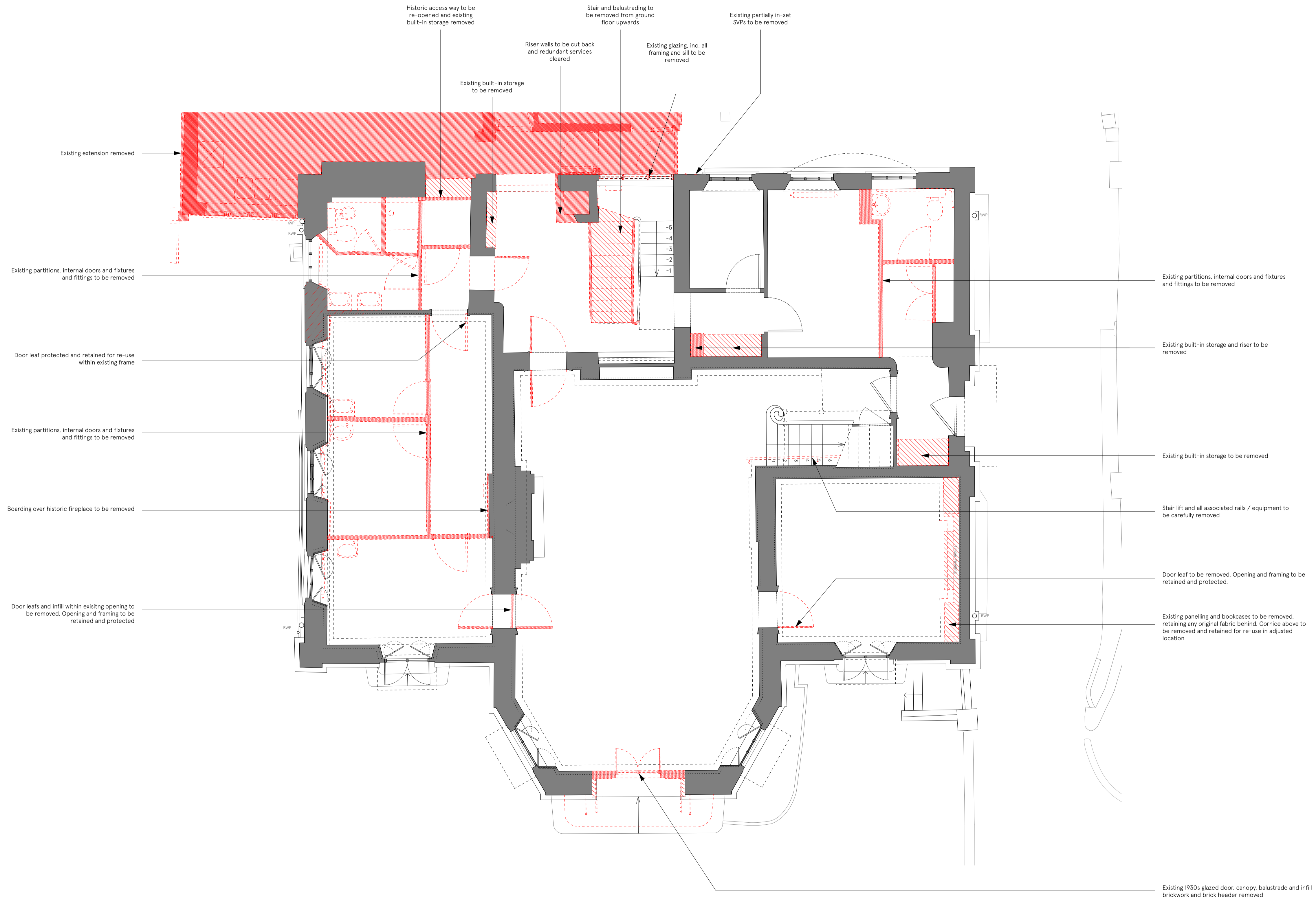
All existing plasterwork to walls and ceilings to be retained and protected U.N.O.

Limited drainage penetrations through below-floor sleeper walls and footings to be permitted only where necessary, and subject to accordance with the SE's proposed methodology, to prevent compromise of the structural integrity of the historic fabric.

External demolition not included on these drawings.

Key

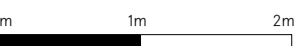
-  Existing Building Fabric
-  Existing structure / building fabric to be removed
-  Existing built-in storage/ furniture/ stairs to be removed
-  Existing fixtures, fittings and features to be removed
-  Coving / ceiling detailing above



| | | |
|---|---|-------|
| Issued for planning | 05/12/23 | Rev 1 |
| Issue/Revision 1 | Date 1 | Rev 1 |
| Hayhurst & Co Architects 26 Fournier Street, London, E1 6QE +44 (0) 20 7247 4028 mail@hayhurstand.co.uk www.hayhurstand.co.uk | | |
| Project: | Refurbishment & Proposed Extension | |
| Address: | Frogmal House, 99 Frogmal, London, NW3 6XR | |
| Subject: | Existing House - Ground Floor Plan - Demolition | |
| Date: | 25.09.2023 | |
| Scale: | 1:50 | |
| Original size: | A1 | |
| Drawing no: | 298 A050 - | |

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Notes

Read in conjunction with Existing Plan series A010 and proposed Modification Plan series A110.

All existing building fabric and building features to be protected from damage unless indicated for removal. All removal or demolition works to be undertaken carefully and in full accordance with all associated heritage method statements to prevent unnecessary damage.

Refer to Modification Plan series A110+, Proposed and Existing Internal Elevation series A060+ and A160+ and Panelling drawings A170+ series in relation to works to the existing wall panelling on external walls.

All internal floor finishes, non-original floor boarding and between floor joist insulation to be removed U.N.O.

Existing skirtings and coricing to be carefully uninstalled as necessary for removal of the existing floor finishes and wall panelling, and retained and protected for re-installation. Refer to A170+ series methodology.

All existing MEP services, electrical appliances, sanitary ware fixtures and fittings, lighting and electrical outlets/fittings to be removed U.N.O.

All bathroom wall tiling and non-breathable wall finish treatments to be removed U.N.O.

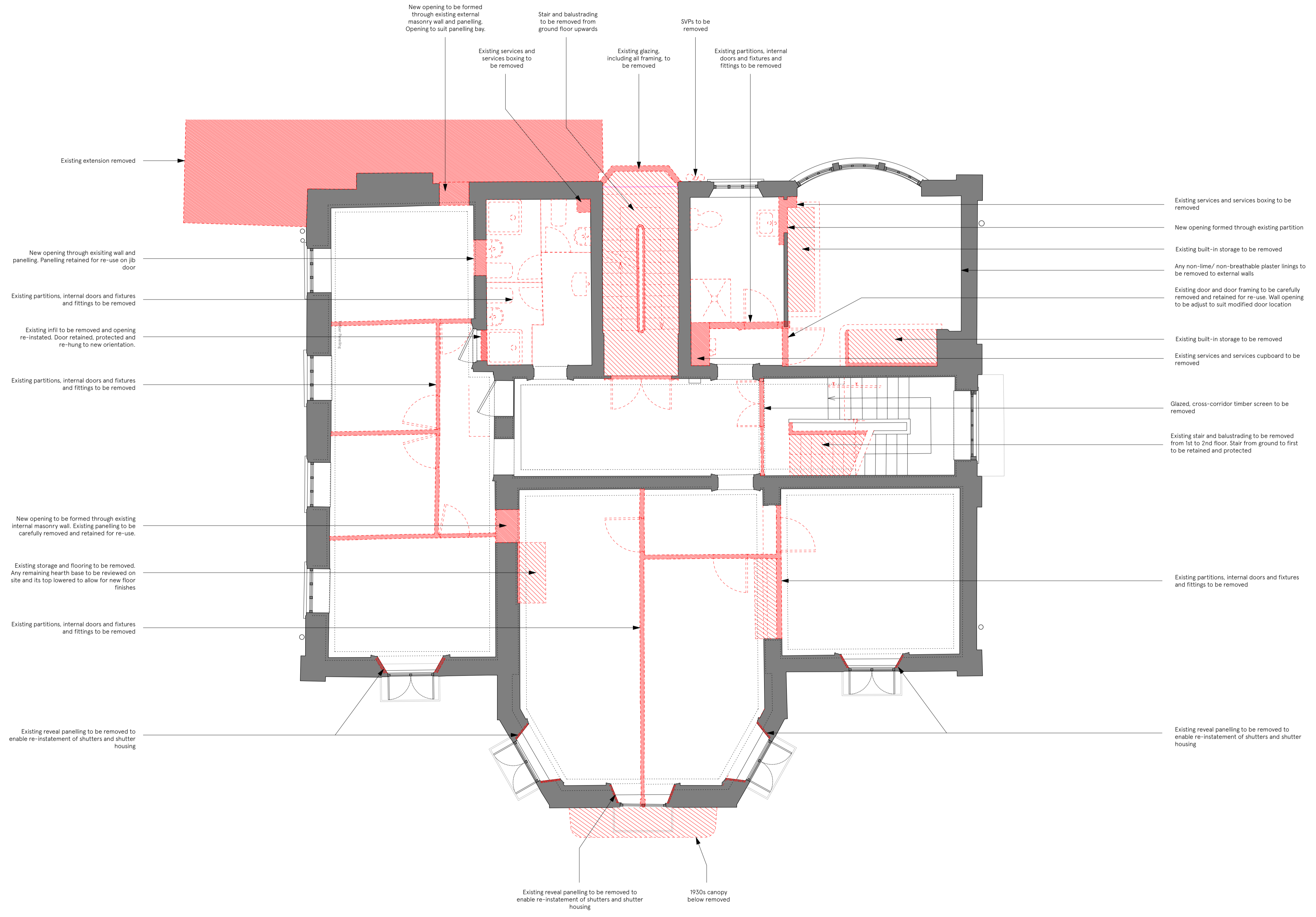
All existing plasterwork to walls and ceilings to be retained and protected U.N.O.

Limited drainage penetrations through below-floor sleeper walls and footings to be permitted only where necessary, and subject to accordance with the SE's proposed methodology, to prevent compromise of the structural integrity of the historic fabric.

External demolition not included on these drawings.

Key

- Existing Building Fabric
- Existing structure / building fabric to be removed
- Existing built-in storage/ furniture/ stairs to be removed
- Existing fixtures, fittings and features to be removed
- Coving / ceiling detailing above



New opening to be formed through existing external masonry wall and panelling. Opening to suit panelling bay.

Existing services and services boxing to be removed

Stair and balustrading to be removed from ground floor upwards

Existing glazing, including all framing, to be removed

SVPs to be removed

Existing partitions, internal doors and fixtures and fittings to be removed

Existing extension removed

New opening through existing wall and panelling. Panelling retained for re-use on job door

Existing partitions, internal doors and fixtures and fittings to be removed

Existing infill to be removed and opening re-instated. Door retained, protected and re-hung to new orientation.

Existing partitions, internal doors and fixtures and fittings to be removed

New opening to be formed through existing internal masonry wall. Existing panelling to be carefully removed and retained for re-use.

Existing storage and flooring to be removed. Any remaining hearth base to be reviewed on site and its top lowered to allow for new floor finishes

Existing partitions, internal doors and fixtures and fittings to be removed

Existing reveal panelling to be removed to enable re-installation of shutters and shutter housing

Existing services and services boxing to be removed

New opening formed through existing partition

Existing built-in storage to be removed

Any non-lime/ non-breathable plaster linings to be removed to external walls

Existing door and door framing to be carefully removed and retained for re-use. Wall opening to be adjusted to suit modified door location

Existing built-in storage to be removed

Existing services and services cupboard to be removed

Glazed, cross-corridor timber screen to be removed

Existing stair and balustrading to be removed from 1st to 2nd floor. Stair from ground to first to be retained and protected

Existing partitions, internal doors and fixtures and fittings to be removed

Existing reveal panelling to be removed to enable re-installation of shutters and shutter housing

Existing reveal panelling to be removed to enable re-installation of shutters and shutter housing

1930s canopy below removed

Existing services and services boxing to be removed

New opening formed through existing partition

Existing built-in storage to be removed

Any non-lime/ non-breathable plaster linings to be removed to external walls

Existing door and door framing to be carefully removed and retained for re-use. Wall opening to be adjusted to suit modified door location

Existing built-in storage to be removed

Existing services and services cupboard to be removed

Glazed, cross-corridor timber screen to be removed

Existing stair and balustrading to be removed from 1st to 2nd floor. Stair from ground to first to be retained and protected

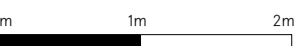
Existing partitions, internal doors and fixtures and fittings to be removed

Existing reveal panelling to be removed to enable re-installation of shutters and shutter housing

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| Issued for planning | 05/12/23 |
| Issue/Revision 1 | Date 1 Rev 1 |
| Hayhurst & Co Architects 26 Fournier Street, London, E1 6QE +44 (0) 20 7247 4028 mail@hayhurstand.co.uk www.hayhurstand.co.uk | |
| Project: | Refurbishment & Proposed Extension |
| Address: | Frogmal House, 99 Frogmal, London, NW5 6XR |
| Subject: | Existing House - First Floor Plan - Demolition |
| Date: | 25.09.2023 |
| Scale: | 1:50 |
| Original size: | A1 |
| Drawing no: | 298 A051 |

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Notes

Read in conjunction with Existing Plan series A010 and proposed Modification Plan series A10.

All existing building fabric and building features to be protected from damage unless indicated for removal. All removal or demolition works to be undertaken carefully and in full accordance with all associated heritage method statements to prevent unnecessary damage.

Refer to Modification Plan series A10+, Proposed and Existing Internal Elevation series A060+ and A160+ and Panelling drawings A170+ series in relation to works to the existing wall panelling on external walls.

All internal floor finishes, non-original floor boarding and between floor joist insulation to be removed U.N.O.

Existing skirtings and cornice to be carefully uninstalled as necessary for removal of the existing floor finishes and wall panelling, and retained and protected for re-installation. Refer to A170+ series methodology.

All existing MEP services, electrical appliances, sanitary ware fixtures and fittings, lighting and electrical outlets/fittings to be removed U.N.O.




All bathroom wall tiling and non-breathable wall finish treatments to be removed U.N.O.

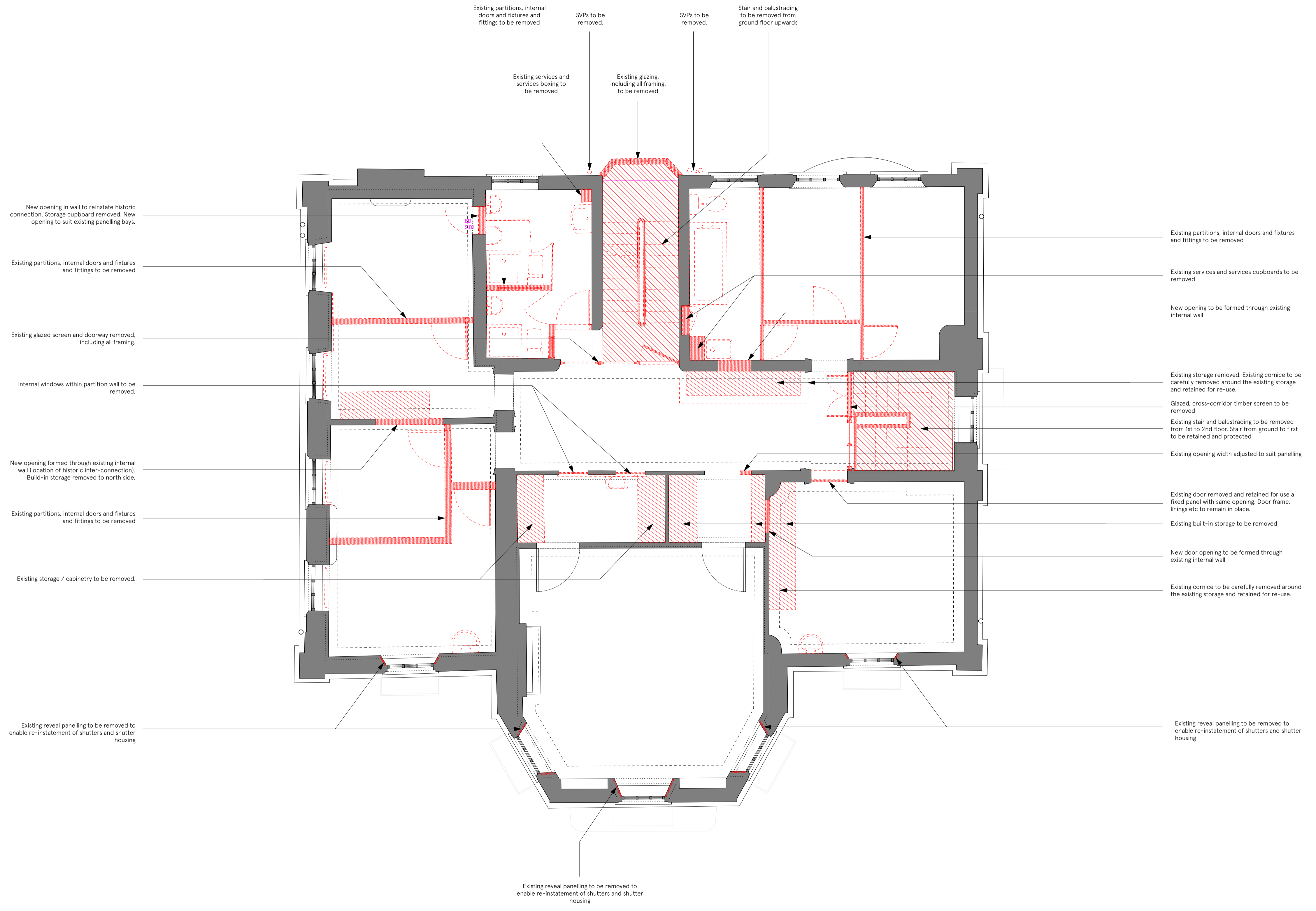
All existing plasterwork to walls and ceilings to be retained and protected U.N.O.

Limited drainage penetrations through below-floor sleeper walls and footings to be permitted only where necessary, and subject to accordance with the SE's proposed methodology, to prevent compromise of the structural integrity of the historic fabric.

External demolition not included on these drawings.

Key

-  Existing Building Fabric
-  Existing structure / building fabric to be removed
-  Existing built-in storage/ furniture/ stairs to be removed
-  Existing fixtures, fittings and features to be removed
-  Coving / ceiling detailing above



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Issue/Revision 1 Date 1 Rev 1

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www.hayhurstand.co.uk

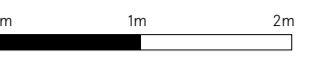
Project: Refurbishment & Proposed Extension
Address: Frognaal House, 99 Frognaal, London, NW5 6XR
Subject: Existing House - Second Floor Plan - Demolition

Date: 25.09.2023
Scale: 1:50
Original size: A1

Drawing no: 298 A052 -

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Notes

Read in conjunction with Existing Plan series A010 and proposed Modification Plan series A110.

All existing building fabric and building features to be protected from damage unless indicated for removal. All removal or demolition works to be undertaken carefully and in full accordance with all associated heritage method statements to prevent unnecessary damage.

Refer to Modification Plan series A110+, Proposed and Existing Internal Elevation series A060+ and A160+ and Panelling drawings A170+ series in relation to works to the existing wall panelling on external walls.

All internal floor finishes, non-original floor boarding and between floor joist insulation to be removed U.N.O.

Existing skirtings and cornice to be carefully uninstalled as necessary for removal of the existing floor finishes and wall panelling, and retained and protected for re-installation. Refer to A170+ series methodology.

All existing MEP services, electrical appliances, sanitary ware fixtures and fittings, lighting and electrical outlets/fittings to be removed U.N.O.

All bathroom wall tiling and non-breathable wall finish treatments to be removed U.N.O.

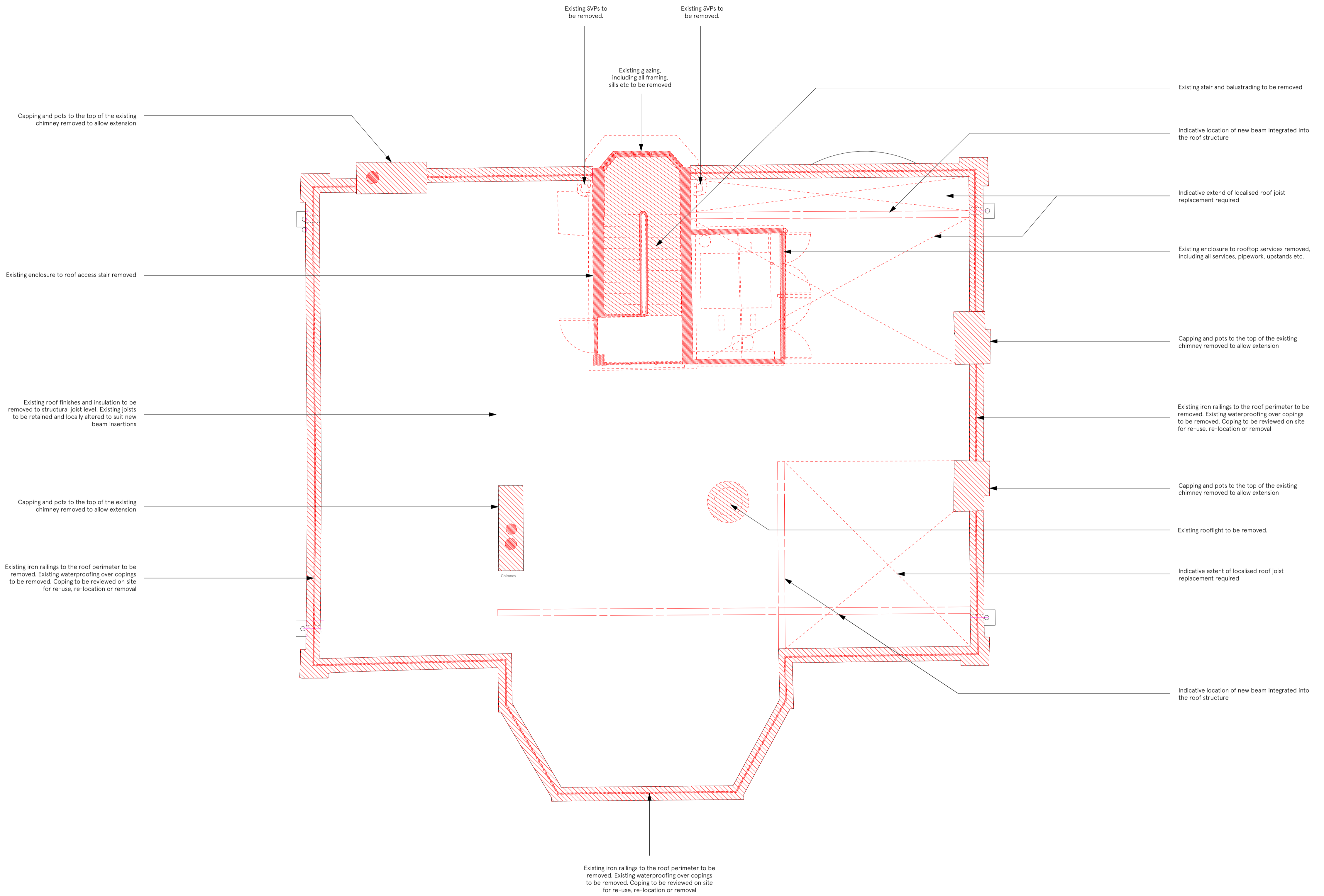
All existing plasterwork to walls and ceilings to be retained and protected U.N.O.

Limited drainage penetrations through below-floor sleeper walls and footings to be permitted only where necessary, and subject to accordance with the SE's proposed methodology, to prevent compromise of the structural integrity of the historic fabric.

External demolition not included on these drawings.

Key

- Existing Building Fabric
- Existing structure / building fabric to be removed
- Existing built-in storage/ furniture/ stairs to be removed
- Existing fixtures, fittings and features to be removed
- Coving / ceiling detailing above



Capping and pots to the top of the existing chimney removed to allow extension

Existing SVPs to be removed.

Existing glazing, including all framing, sills etc to be removed

Existing stair and balustrading to be removed

Indicative location of new beam integrated into the roof structure

Indicative extend of localised roof joist replacement required

Existing enclosure to rooftop services removed, including all services, pipework, upstands etc.

Existing enclosure to roof access stair removed

Capping and pots to the top of the existing chimney removed to allow extension

Existing roof finishes and insulation to be removed to structural joist level. Existing joists to be retained and locally altered to suit new beam insertions

Existing iron railings to the roof perimeter to be removed. Existing waterproofing over copings to be removed. Coping to be reviewed on site for re-use, re-location or removal

Capping and pots to the top of the existing chimney removed to allow extension

Capping and pots to the top of the existing chimney removed to allow extension

Existing iron railings to the roof perimeter to be removed. Existing waterproofing over copings to be removed. Coping to be reviewed on site for re-use, re-location or removal

Existing rooflight to be removed.

Indicative extent of localised roof joist replacement required

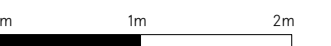
Indicative location of new beam integrated into the roof structure

Existing iron railings to the roof perimeter to be removed. Existing waterproofing over copings to be removed. Coping to be reviewed on site for re-use, re-location or removal

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| Issued for planning | 05/12/23 |
| Issue/Revision 1 | Date 1 Rev 1 |
| Hayhurst & Co Architects 26 Fournier Street, London, E1 6QE +44 (0) 20 7247 4028 mail@hayhurstand.co.uk www.hayhurstand.co.uk | |
| Project: | Refurbishment & Proposed Extension |
| Address: | Frogmal House, 99 Frogmal, London, NW5 6XR |
| Subject: | Existing House - Roof Plan - Demolition |
| Date: | 25.09.2023 |
| Scale: | 1:50 |
| Original size: | A1 |
| Drawing no: | 298 A053 |

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Notes

Read in conjunction with Existing Plan series A101 and proposed Modification Plan series A110.

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Refer to Modification Plan series A110+ Proposed and Existing Internal Elevation series A060+ and A160+ and Panelling drawings A170+ series in relation to works to the existing wall panelling on external walls.

All internal floor finishes, non-original floor boarding and between floor joist insulation to be removed U.N.O.

Existing skirtings and coricing to be carefully uninstalled as necessary for removal of the existing floor finishes and wall panelling, and retained and protected for re-installation. Refer to A170+ series methodology.

All existing MEP services, electrical appliances, sanitary ware fixtures and fittings, lighting and electrical outlets/fittings to be removed U.N.O.

All bathroom wall tiling and non-breathable wall finish treatments to be removed U.N.O.

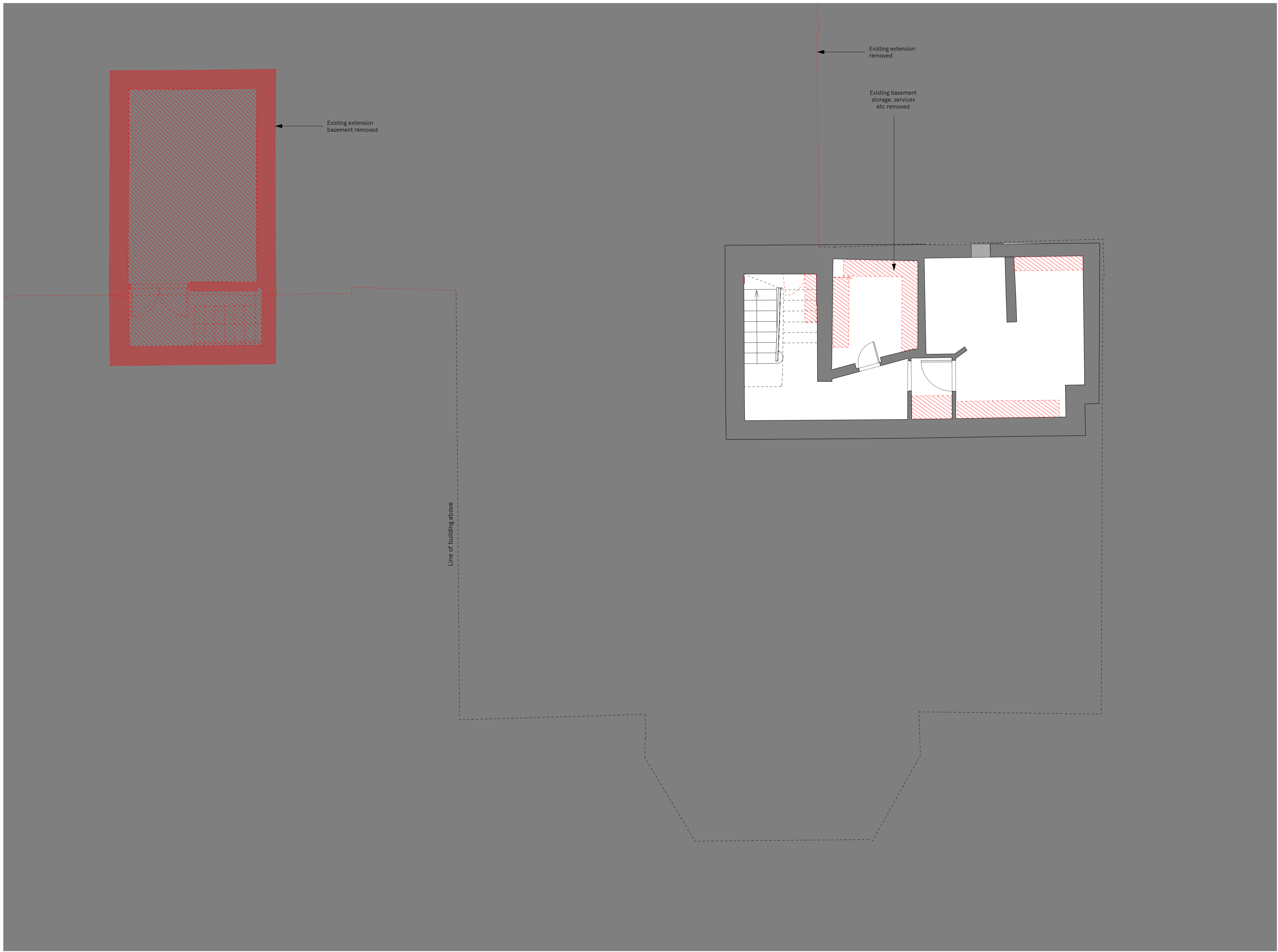
All existing plasterwork to walls and ceilings to be retained and protected U.N.O.

Limited drainage penetrations through below-floor sleeper walls and footings to be permitted only where necessary, and subject to accordance with the SE's proposed methodology, to prevent compromise of the structural integrity of the historic fabric.

External demolition not included on these drawings.

Key

- Existing Building Fabric
- Existing structure / building fabric to be removed
- Existing built-in storage/ furniture/ stairs to be removed
- Existing fixtures, fittings and features to be removed
- Coving / ceiling detailing above



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| Project: | Refurbishment & Proposed Extension | |
| Address: | Frogmal House, 99 Frogmal, London, NW5 6XR | |
| Subject: | Existing House - Basement Plan - Demolition | |
| Date: | 25.09.2023 | |
| Scale: | 1:50 | |
| Original size: | A1 | |
| Drawing no: | 298 A054 - | |