

Statutory Declaration

I, **Mary Fitzpatrick**, of [REDACTED] do
SOLEMNLY and **SINCERELY DECLARE** as follows:-

1. I am the owner of 4 Railey Mews, London, NW5 2PA. The property is a 2-storey, 3-bedroom mews house in a primarily residential mews street.
2. I have owned the property since June 1999. The property is currently rented and occupied by tenants.
3. The flat roof of the property is accessed via steps up through a hatched rooflight and is used as a roof terrace providing amenity space ancillary to the residential use of the building.
4. In June 2018 I had metal railings erected around the perimeter of the roof, set back slightly from the front elevation of Raily Mews, as shown on drawing RAI 20 (Appendix A). The railings were erected to ensure the safety of anyone accessing the roof terrace.
5. The railings were provided by Hornsey Metalworks, of 410 Hornsey Road, N19 4EB. They were erected on around 11 June 2018 and were painted with several coats of black paint over the following few days.
6. Appendix B includes photographs of the (unpainted) railings on the day that they were erected; a time-stamped photograph dated 13 June 2018 at 14:38, showing the railings in-situ and painted black; and a photograph showing railings today.
7. The railings have remained exactly as constructed from June 2018 to the present day.
8. On the basis of the foregoing, I confirm that the railings on the roof of 4 Raily Mews were constructed prior to 13th June 2018 and that they are

lawful, on the basis that the operational development took place more than four years and that the time for enforcement action has expired.

I understand that this statement will be used to support an application for a Certificate of Lawfulness and that Section 194 of the 1990 Town and Country Planning Act provides that it is an offence to furnish false or misleading information.

AND I MAKE THIS SOLEMN DECLARATION conscientiously believing the same to be true and by virtue of the provisions of the Statutory Declarations Act 1835.

DECLARED by the said

Mary Fitzpatrick)

Signature of Declarant) 

This 4th day of DECEMBER 2023

Before me 

ELTON & Co.

SOLICITORS

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London NW1 8PH

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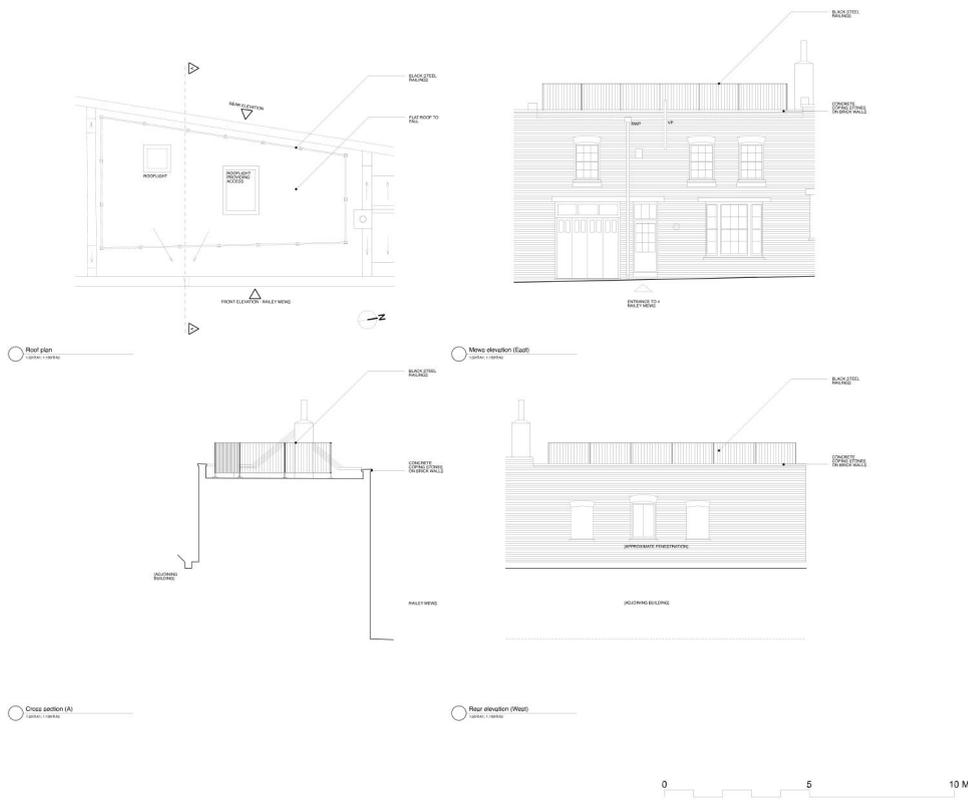
DX: 119326 Kentish Town

MICHAEL ELTON LL.B.

Solicitor

Commissioner for Oaths/Solicitor empowered to administer oaths

APPENDIX A
DRAWING RAI 20

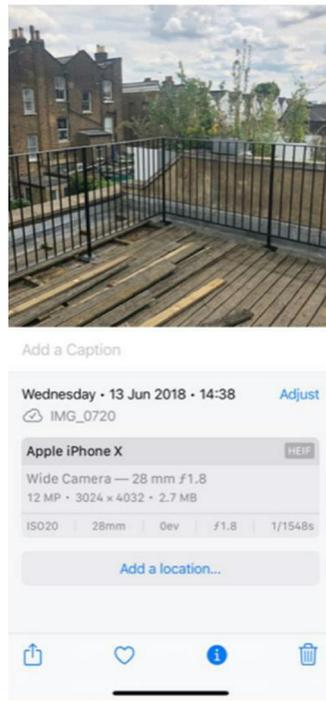


1. 1/1000 Scale drawings
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT: [Name]
 DATE: [Date]
 4 Raley Mews, London NW5 2PA
 Roof plan, elevation and section
 Roof construction
The Architects
 020 7460 1050
 020 7460 1051
 www.thearchitects.co.uk
 PROJECT: [Name]
 DATE: [Date]
 SCALE: 1:500/1:100
 DRAWING NO: [Number]
 1:500/1:100 RAI 20

APPENDIX B
SITE PHOTOGRAPHS



Photos 1 & 2 – Unpainted Railings on Day of Construction, June 2018



Photos 3 & 4 – Painted Railings photographed on 13 June 2018



[Photo 5 – Current Photograph of Railings \(taken 31 October 2023\)](#)