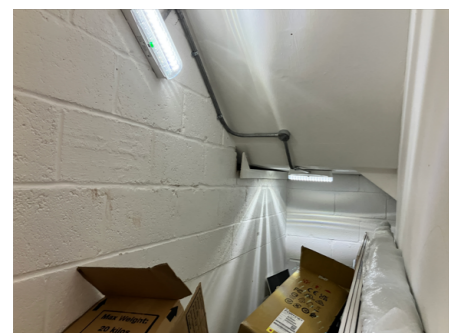
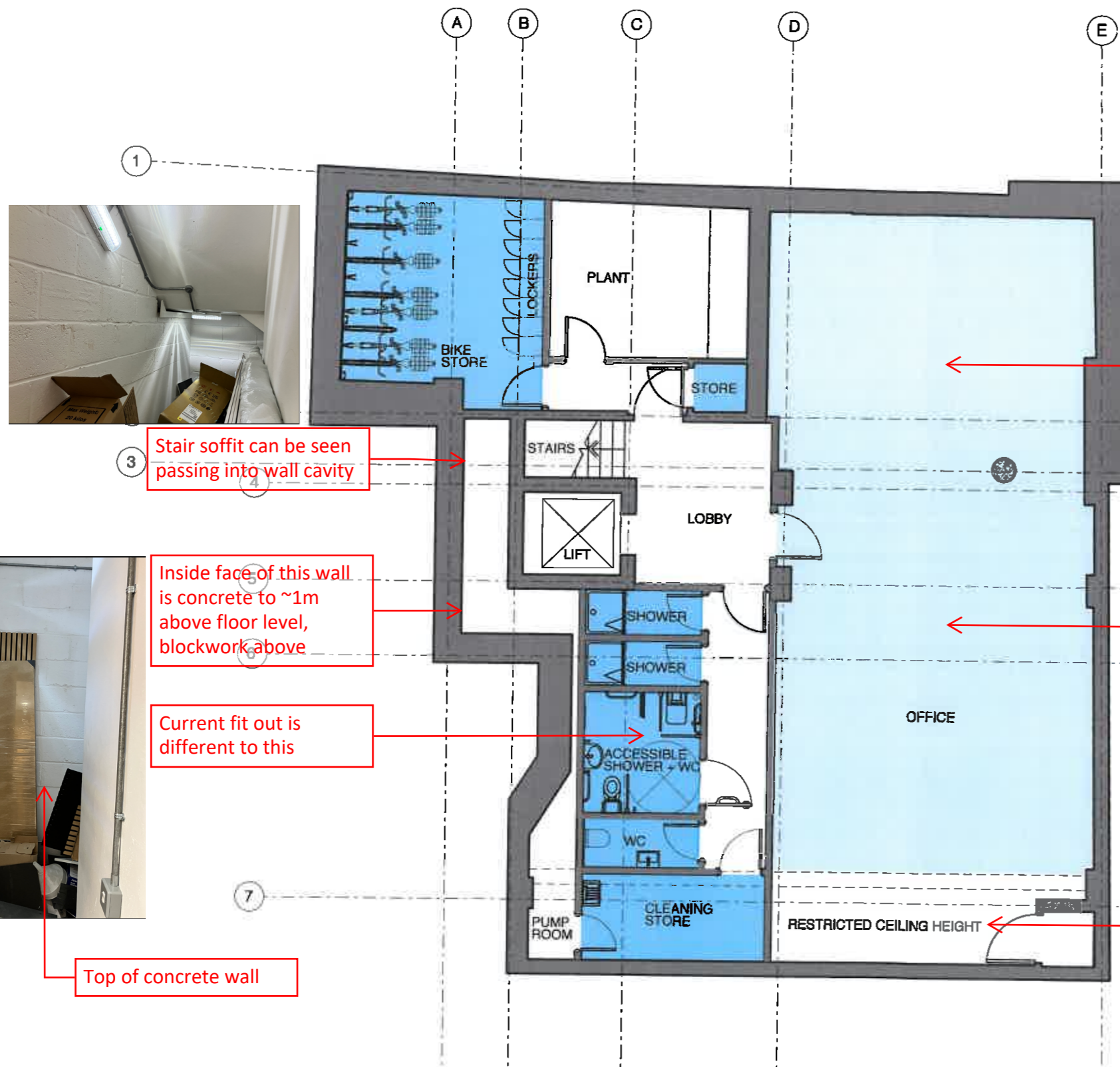


GENERAL NOTES
 - DO NOT SCALE. USE FIGURED DIMENSIONS ONLY
 - CONFIRM ALL DIMENSIONS AND LEVELS ON SITE

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3 Stair soffit can be seen passing into wall cavity



5 Inside face of this wall is concrete to ~1m above floor level, blockwork above

6 Current fit out is different to this

7 Top of concrete wall

Building was refurbished in 2019

Floor to ceiling ~3m

Note restricted height under pavement

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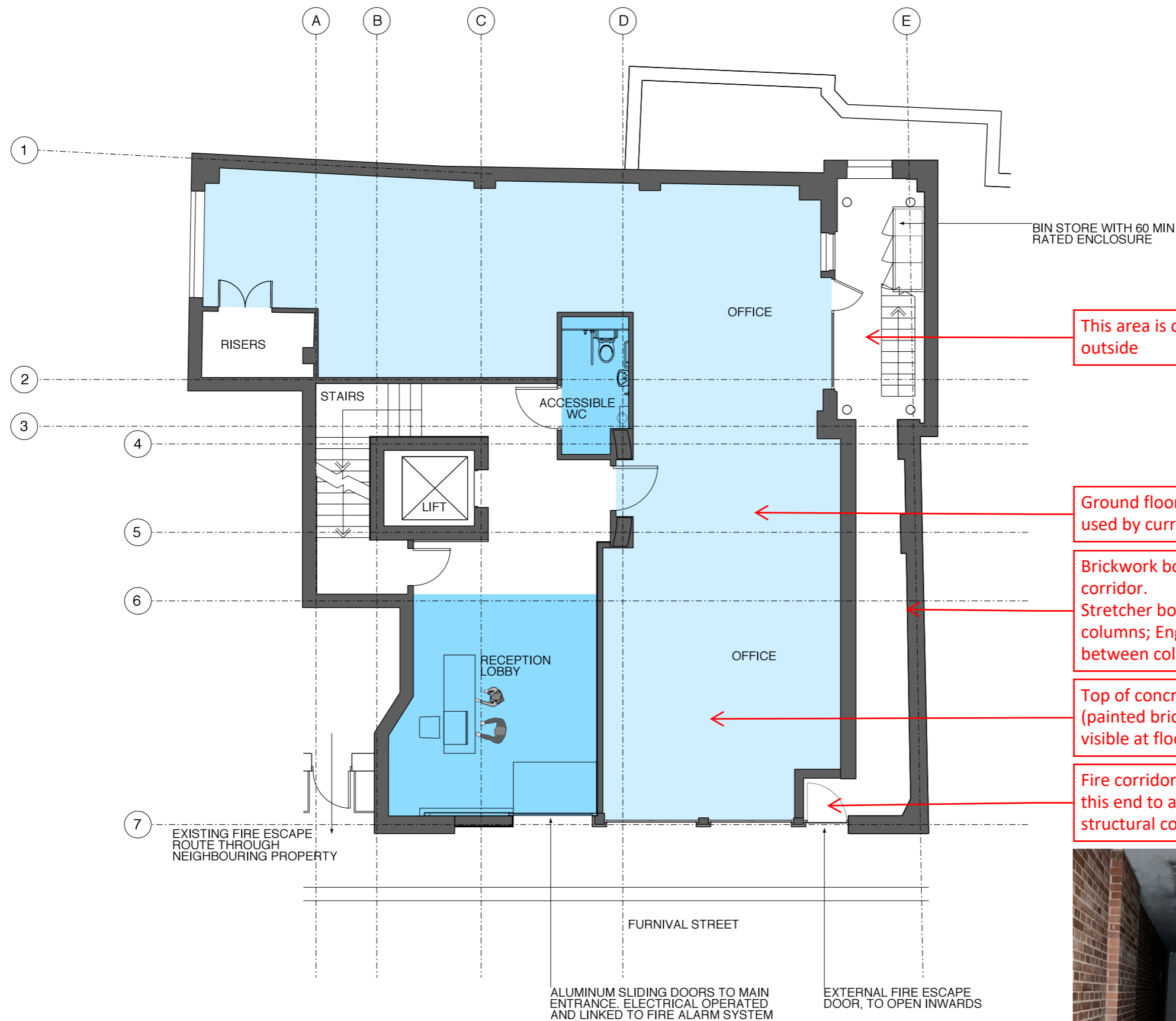
Revision	Date	Notes
F	23.11.16	PLANNING ISSUE
E	10.09.15	GENERAL UPDATE
D	27.07.15	GENERAL UPDATE
C	24.07.15	GENERAL UPDATE
B	11.05.15	GENERAL UPDATE
A	05.06.15	GENERAL UPDATE

PROPOSED BASEMENT PLAN

PLANNING	
Project 40-41 FURNIVAL STREET	
Drawing PROPOSED BASEMENT PLAN	
Scale 1:50 @ A1	Date MAY 2015
Drawing number 1310_029	Revision F

GENERAL NOTES
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This area is open to the outside

Ground floor office not used by current tenant

Brickwork both sides of corridor.
 Stretcher bond at columns; English bond between columns

Top of concrete slab (painted brick red) visible at floor box

Fire corridor. Cranks at this end to avoid structural columns



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Revision	Date	Notes
L	15.01.16	AMENDMENT TO DOOR
K	23.11.15	PLANNING ISSUE
J	10.08.15	GENERAL UPDATE
H	06.08.15	GENERAL UPDATE
G	24.07.15	GENERAL UPDATE
F	17.07.15	GENERAL UPDATE
E	07.07.15	GENERAL UPDATE
D	06.07.15	GENERAL UPDATE
C	03.07.15	GENERAL UPDATE
B	11.06.15	GENERAL UPDATE
A	09.06.15	GENERAL UPDATE

Revision	Date	Notes
PLANNING		
Project 40-41 FURNIVAL STREET		
Drawing PROPOSED GROUND FLOOR PLAN		
Scale 1:50 @ A1	Date MAY 2015	
Drawing number 1310_030	Revision L	

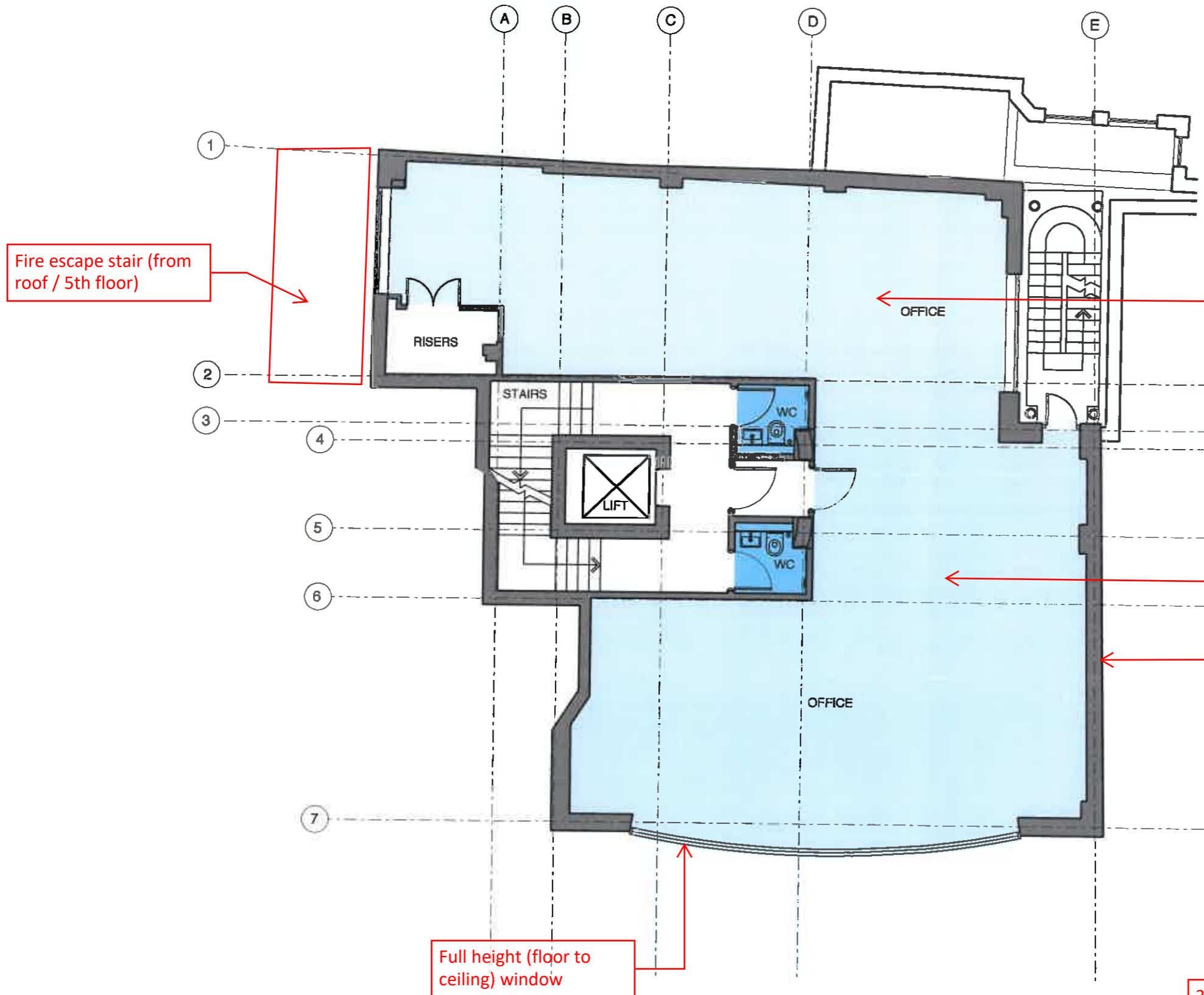


PROPOSED GROUND FLOOR PLAN

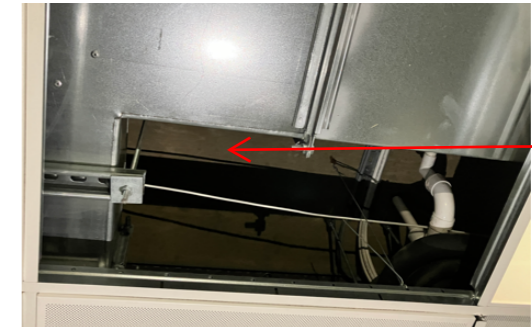
GENERAL NOTES

- DO NOT SCALE. USE FIGURED DIMENSIONS ONLY
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Smooth (probably in situ) slab soffit visible at missing ceiling tile



Slab soffit

First floor office not used by current tenant

Appears to be a set back at first floor. Not shown on these plans



Full height (floor to ceiling) window

39FS

Set back

40FS

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Revision	Date	Notes
G	28.11.15	PLANNING ISSUE
F	10.08.15	GENERAL UPDATE
E	30.07.15	GENERAL UPDATE
D	24.07.15	GENERAL UPDATE
C	17.07.15	GENERAL UPDATE
B	11.06.15	GENERAL UPDATE
A	06.06.15	GENERAL UPDATE

Status: **PLANNING**

Project: **40-41 FURNIVAL STREET**

Drawing: **PROPOSED FIRST FLOOR PLAN**

Scale: 1:50 @ A1 Date: MAY 2015

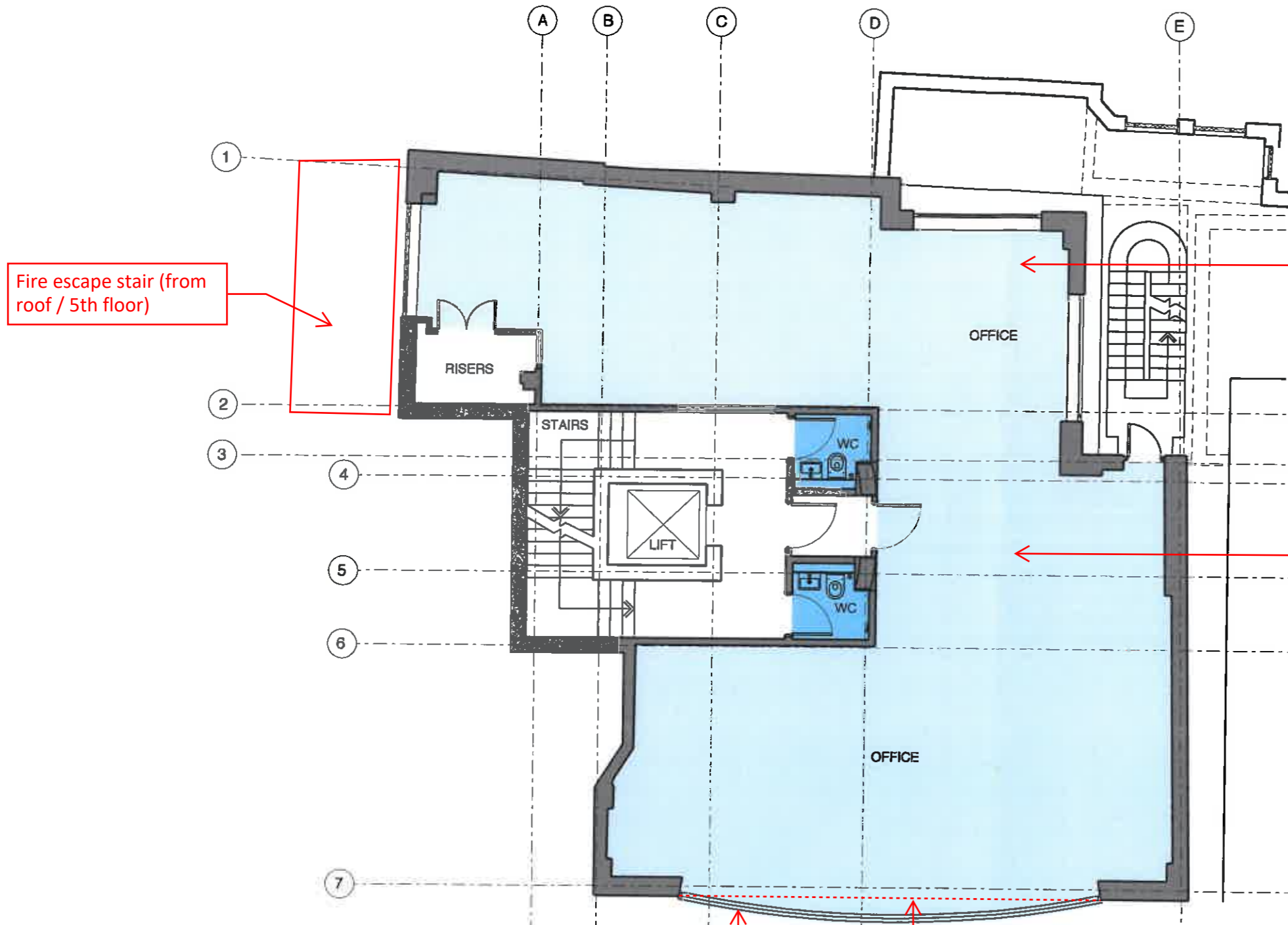
Drawing number: 1310_031 Revision: G

PROPOSED FIRST FLOOR PLAN

GENERAL NOTES

- DO NOT SCALE. USE FIGURED DIMENSIONS ONLY
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Top of concrete slab
 (painted brick red)
 visible at floor box



Second floor office not
 used by current tenant

Full height (floor to
 ceiling) window

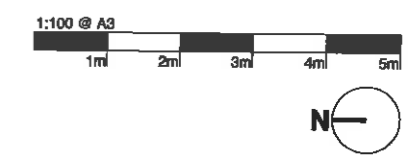
Downstand beam
 suggested by shape of
 ceiling visible from the
 street



Floor level above?

Ceiling under
 downstand beam?

25 May 2015



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Revision	Date	Note
G	23.11.15	PLANNING ISSUE
F	10.08.15	GENERAL UPDATE
E	29.07.15	GENERAL UPDATE
D	28.07.15	GENERAL UPDATE
C	17.07.15	GENERAL UPDATE
B	11.08.15	GENERAL UPDATE
A	09.06.15	GENERAL UPDATE

Status
PLANNING

Project
40-41 FURNIVAL STREET

Drawing
PROPOSED SECOND FLOOR PLAN

Scale
 1:50 @ A1

Date
 MAY 2015

Drawing number
 1310_032

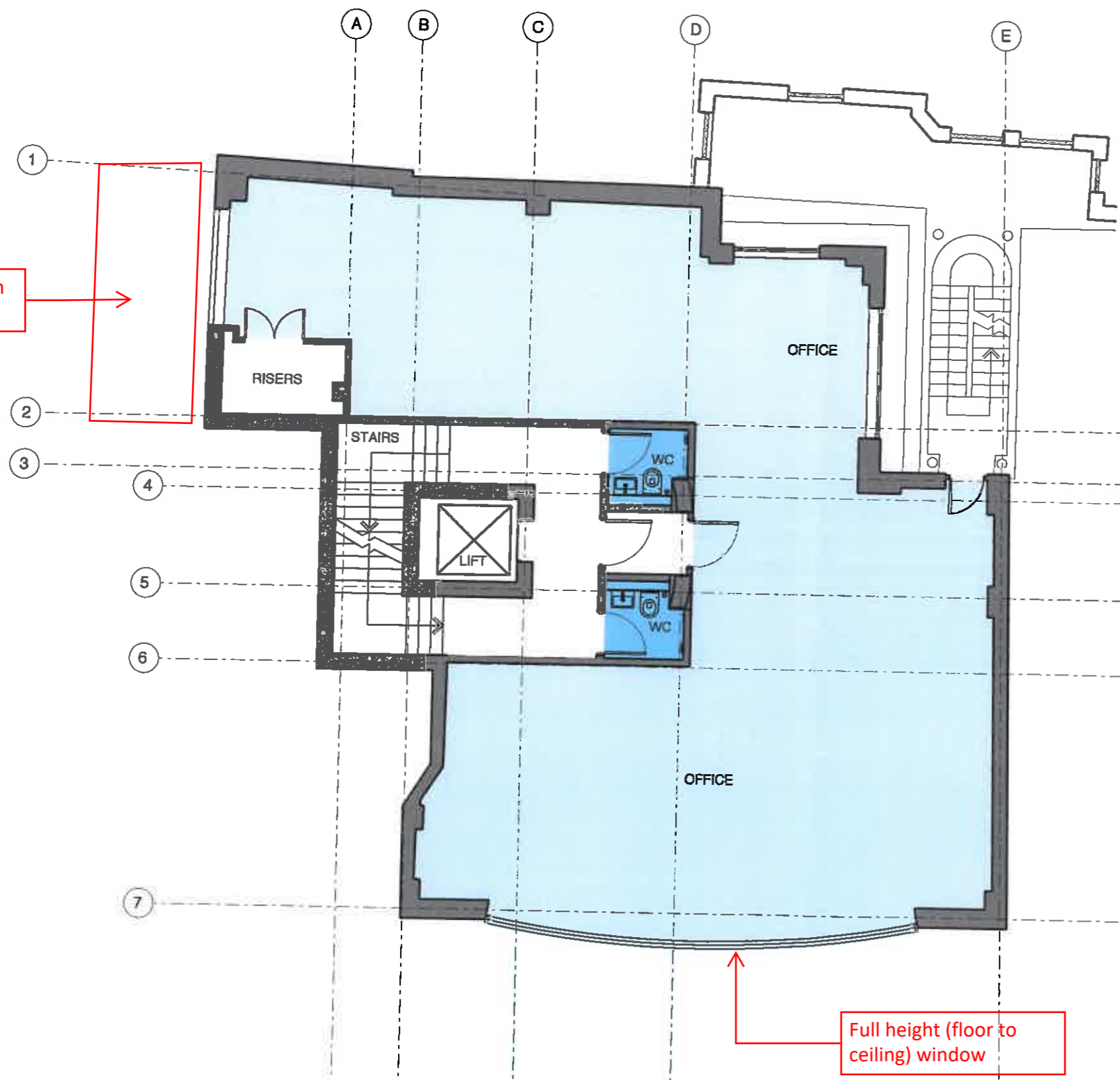
Revision
 G

PROPOSED SECOND FLOOR PLAN

GENERAL NOTES
 - DO NOT SCALE. USE FIGURED DIMENSIONS ONLY
 - CONFIRM ALL DIMENSIONS AND LEVELS ON SITE

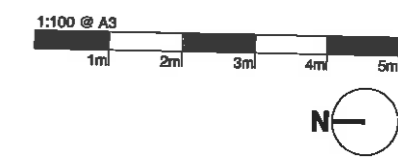
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Fire escape stair (from roof / 5th floor)



PROPOSED THIRD FLOOR PLAN

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Revision	Date	Note
G	23.11.15	PLANNING ISSUE
F	10.08.15	GENERAL UPDATE
E	28.07.15	GENERAL UPDATE
D	24.07.15	GENERAL UPDATE
C	17.07.15	GENERAL UPDATE
B	11.08.16	GENERAL UPDATE
A	08.08.15	GENERAL UPDATE

Status
PLANNING

Project
 40-41 FURNIVAL STREET

Drawing
 PROPOSED THIRD FLOOR PLAN

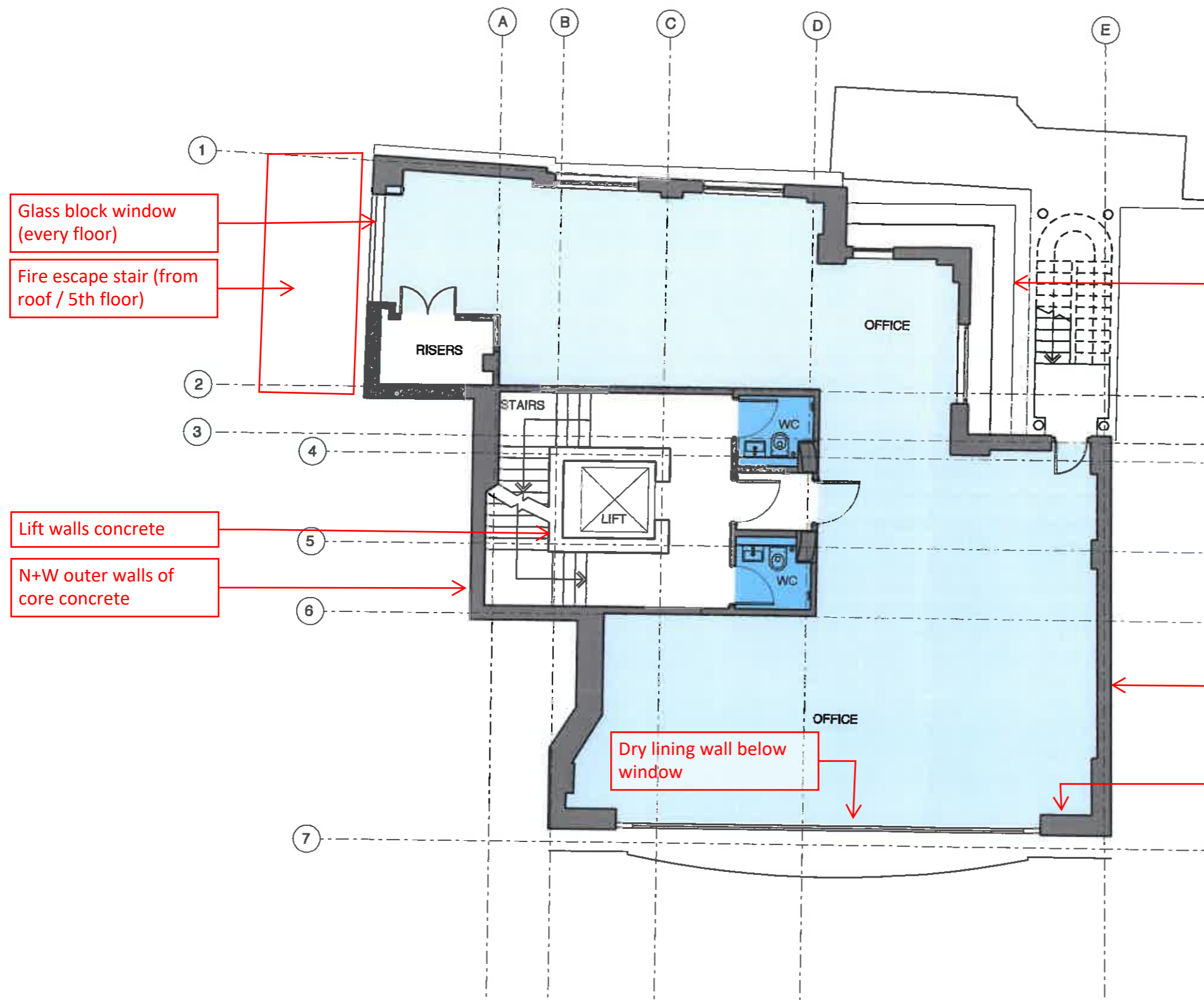
Scale 1:50 @ A1	Date MAY 2015
Drawing number 1310_033	Revision G

15 / 01240

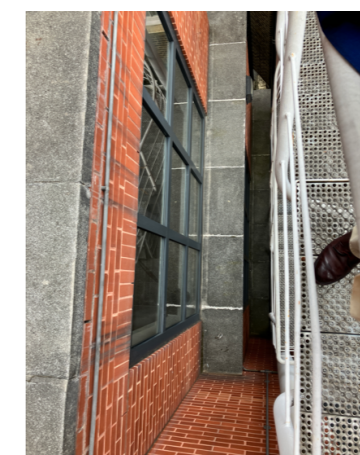
GENERAL NOTES

- DO NOT SCALE. USE FIGURED DIMENSIONS ONLY
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This corner is set back at 2nd 3rd and 4th floors



Wall outer skin is brickwork. Inner skin block? No crack or soft joint at concrete columns

Concrete columns visible inside



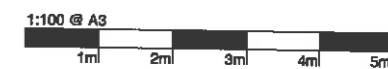
Lift walls concrete
 N+W outer walls of core concrete

Glass block window (every floor)
 Fire escape stair (from roof / 5th floor)

Dry lining wall below window

PROPOSED FOURTH FLOOR PLAN

25 NOV 2015



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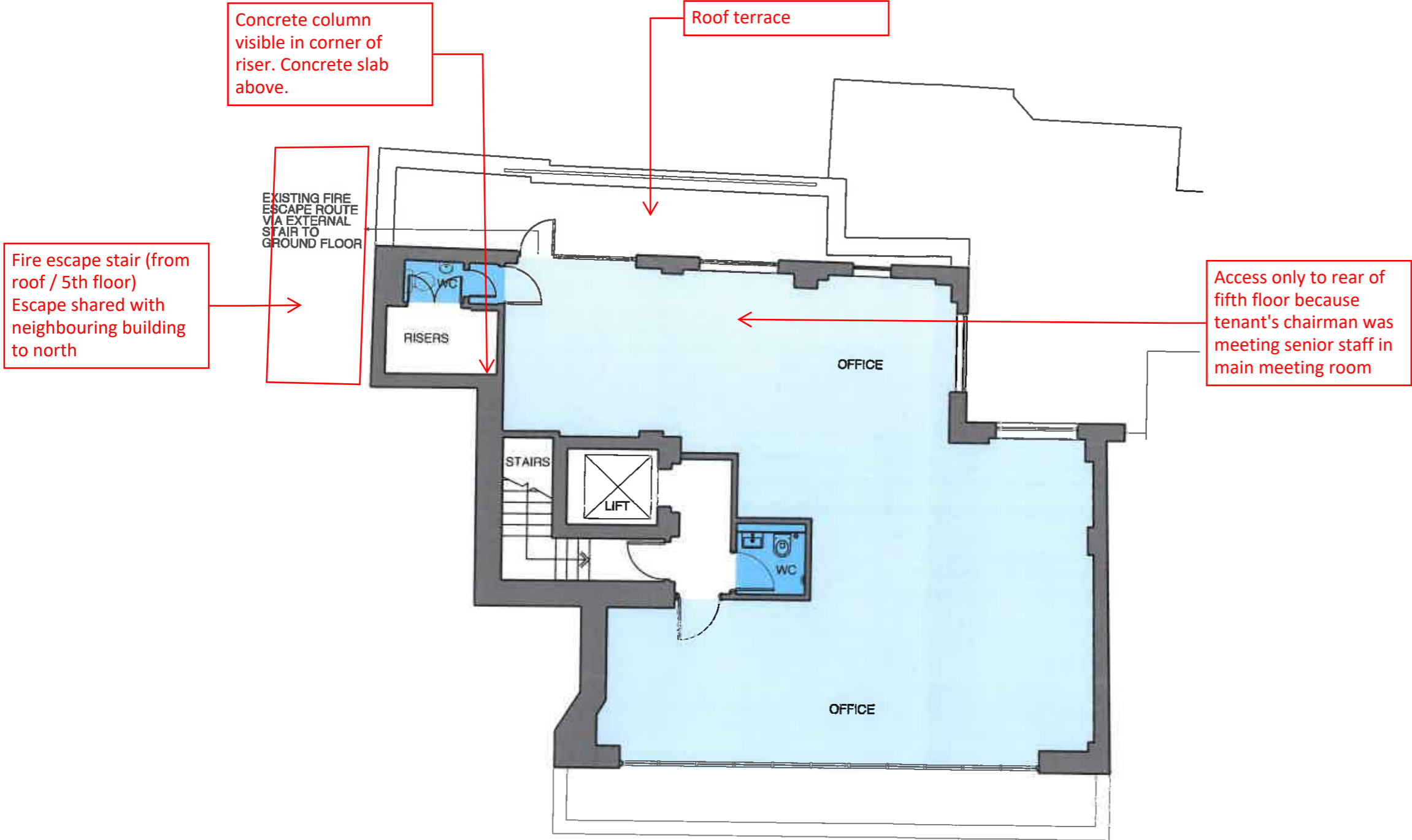
Revision	Date	Notes
G	23.11.15	PLANNING ISSUE
F	10.08.15	GENERAL UPDATE
E	29.07.15	GENERAL UPDATE
D	24.07.15	GENERAL UPDATE
C	17.07.15	GENERAL UPDATE
B	11.06.15	GENERAL UPDATE
A	09.06.15	GENERAL UPDATE

Status PLANNING	
Project 40-41 FURNIVAL STREET	
Drawing PROPOSED FOURTH FLOOR PLAN	
Scale 1:50 @ A1	Date MAY 2015
Drawing number 1310_034	Revision G

GENERAL NOTES

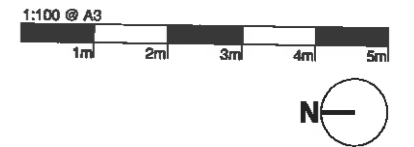
- DO NOT SCALE. USE FIGURED DIMENSIONS ONLY
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PROPOSED FIFTH FLOOR PLAN

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Revision	Date	Notes
H	23.11.15	PLANNING ISSUE
G	10.08.15	GENERAL UPDATE
F	24.07.15	GENERAL UPDATE
E	17.07.15	GENERAL UPDATE
D	06.07.15	GENERAL UPDATE
C	12.06.15	GENERAL UPDATE
B	11.06.15	GENERAL UPDATE
A	09.06.15	GENERAL UPDATE

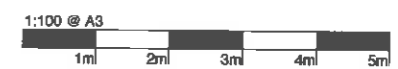
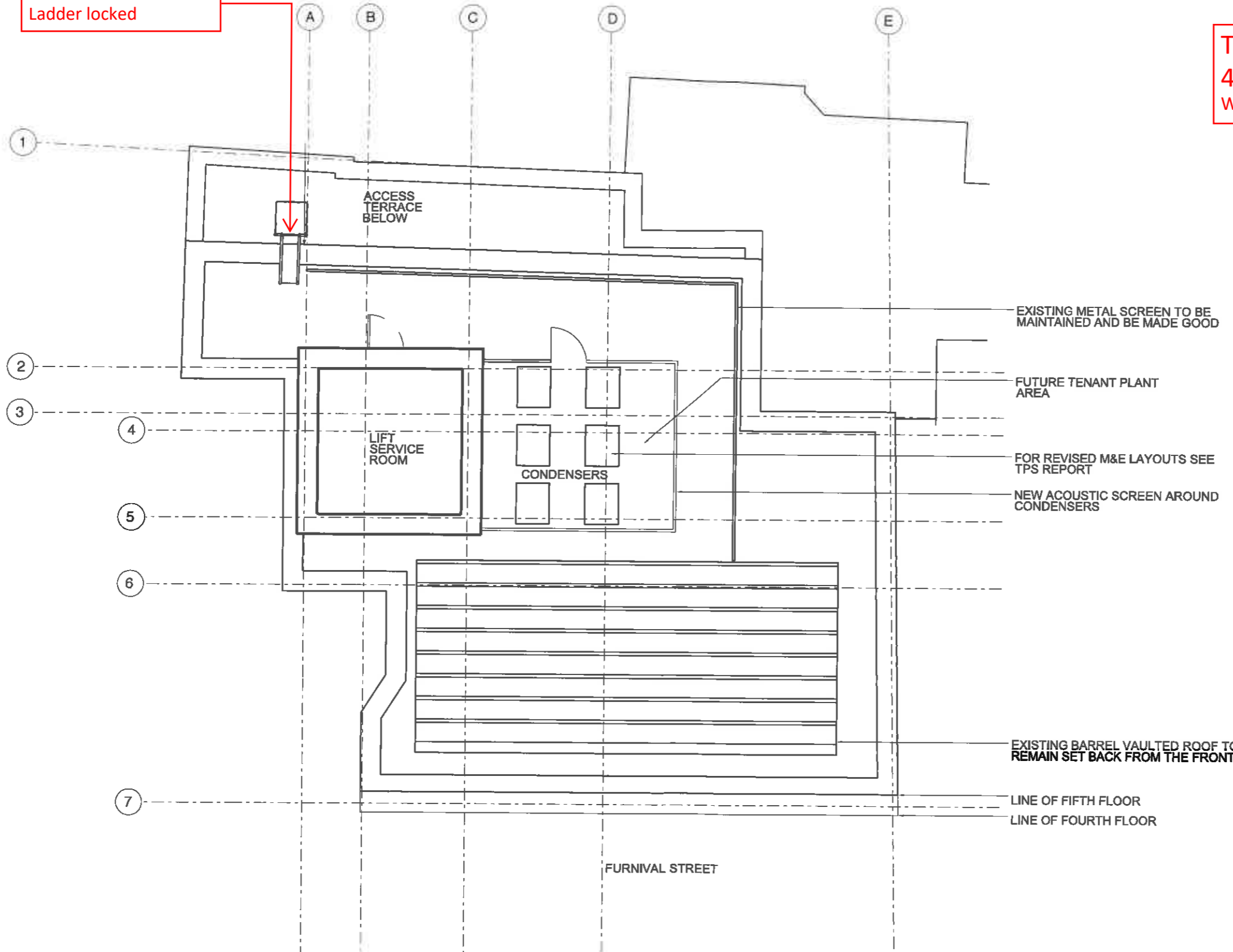
PLANNING Project 40-41 FURNIVAL STREET Drawing PROPOSED FIFTH FLOOR PLAN	
Scale 1:50 @ A1 Drawing number 1310_035	Date MAY 2015 Revision H

GENERAL NOTES

- DO NOT SCALE. USE FIGURED DIMENSIONS ONLY
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Roof not accessed
 Ladder locked



25 MAY 2015

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Revision	Date	Note
J	25.11.15	PLANNING ISSUE
H	13.06.15	GENERAL UPDATE
G	10.06.15	GENERAL UPDATE
F	07.07.15	GENERAL UPDATE
E	06.07.15	GENERAL UPDATE
D	17.06.15	GENERAL UPDATE
C	16.06.15	GENERAL UPDATE
B	11.06.15	GRID UPDATED
A	09.06.15	GENERAL UPDATE

Status	
PLANNING	
Project 40-41 FURNIVAL STREET	
Drawing PROPOSED ROOF PLAN	
Scale 1:50 @ A1	Date MAY 2015
Drawing number 1310_036	Revision J

PROPOSED ROOF PLAN

The London Tunnels

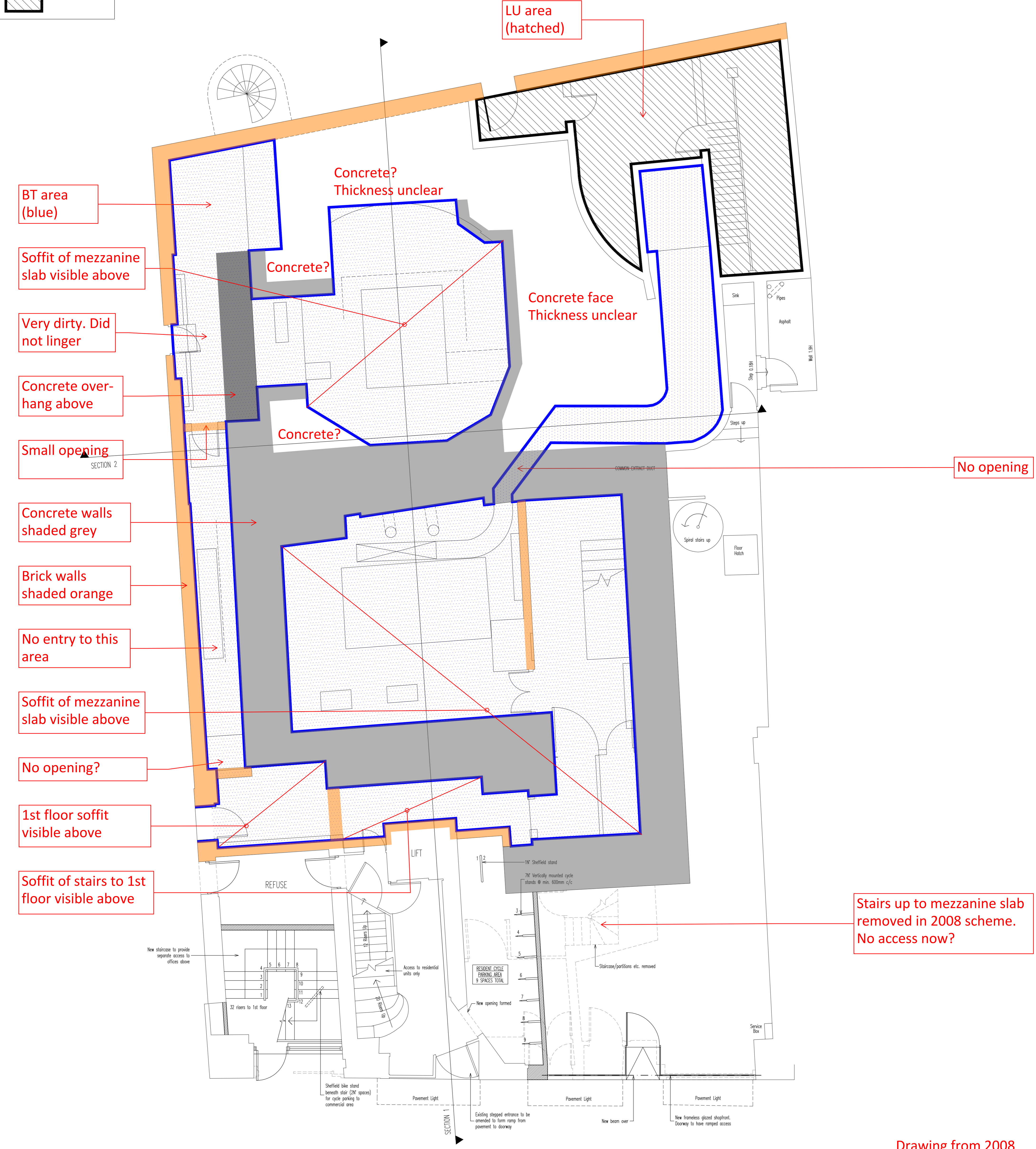
Fulwood Place ground floor

Findings from site visit 27.06.23

70087403 | DDNS 005.1 | JSP | 28.06.23

KEY

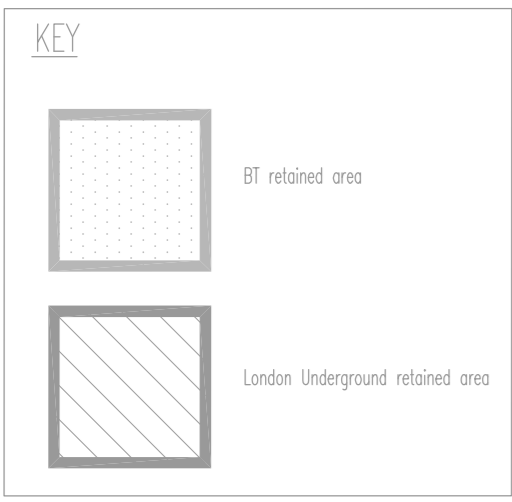
- BT retained area
- London Underground retained area



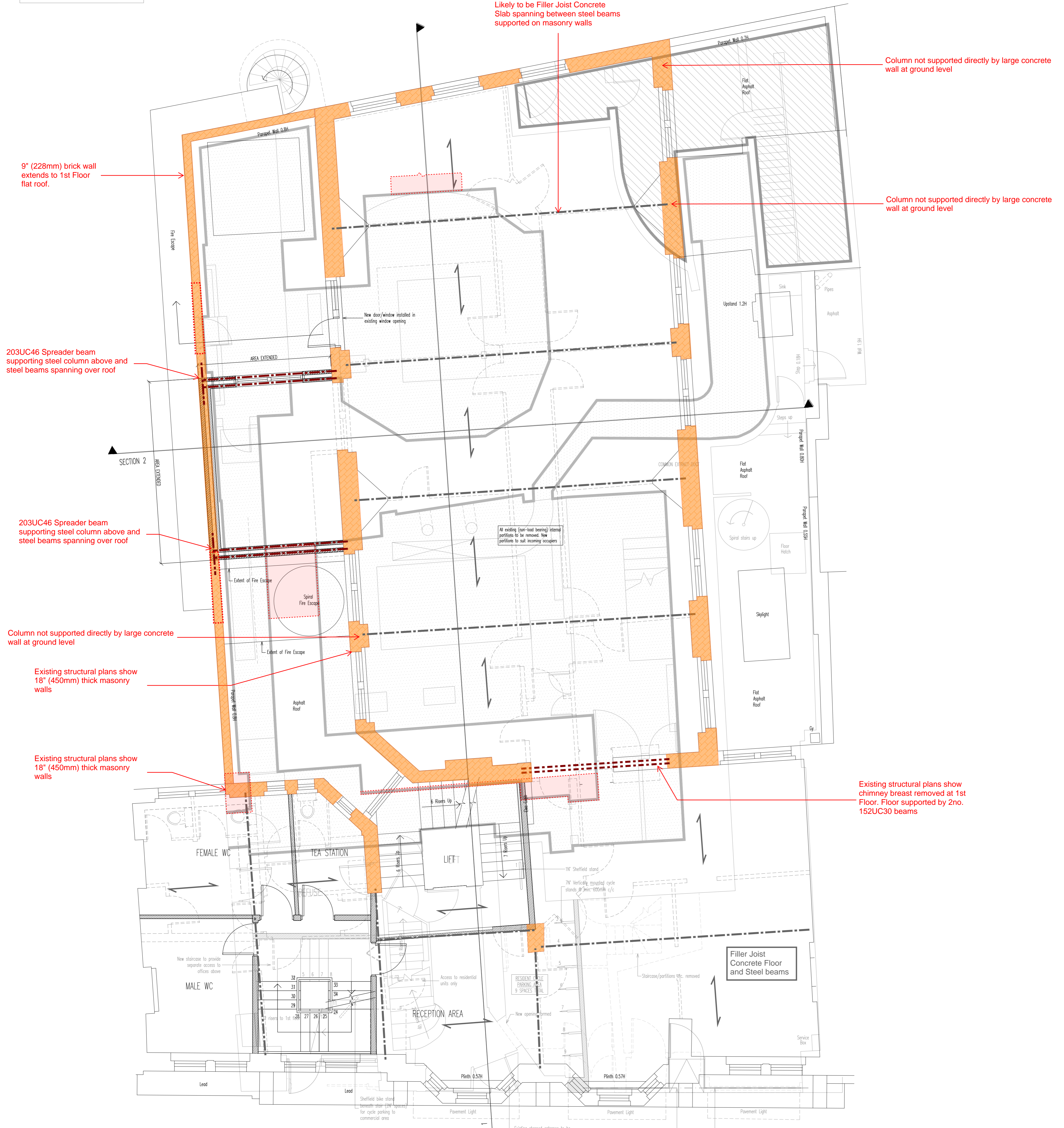
GROUND FLOOR PLAN AS APPROVED

Drawing from 2008 planning application

Residents cycle parking area added. Shopfront altered to accommodate		17/10/08
SITE: 31-33 HIGH HOLBORN LONDON WC1		
DRAWING TITLE: GROUND FLOOR PLAN AS APPROVED		
Scale: 1:50	Job: 1047	Dwg No.: 21
Date: JUN 08	Drawn by: [Signature]	Rev: A
Draper Neal Associates ARCHITECTURE AND BUILDING DESIGN PANDORA HOUSE, 41-45 LIND ROAD, SUTTON, SURREY, SM1 4FP Tel: 020-8643-8241 Fax: 020-8643-8768		



- Indicative masonry structure (based on Camden BC meeting (21.08.23) information)
- Indicative 2008 steel structure (based on Camden BC meeting (21.08.23) information)
- Indicative original steel structure (based on Camden BC meeting (21.08.23) information)
- Proposed demolition / new opening at lower level



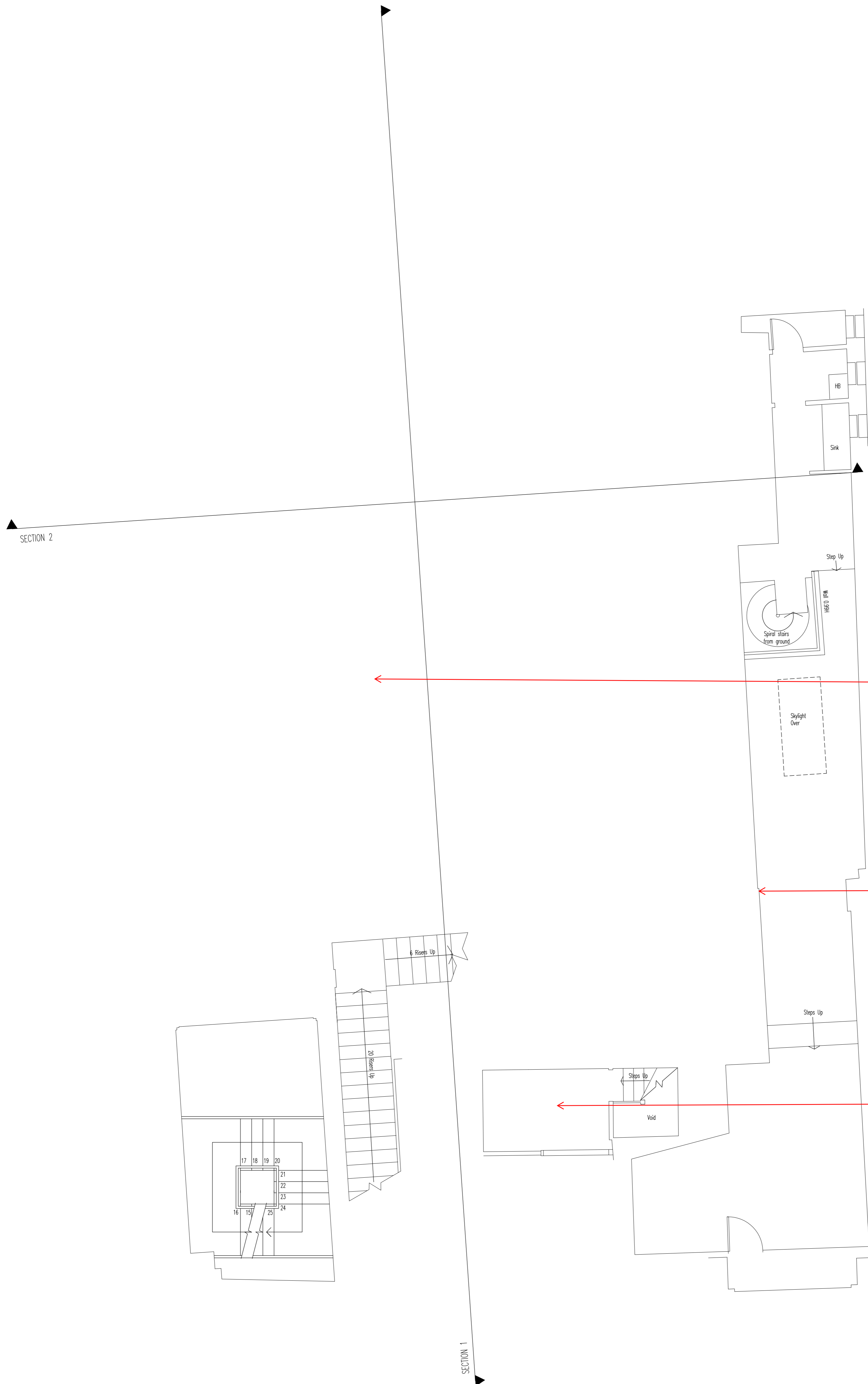
1st floor black → 1ST FLOOR PLAN AS PROPOSED

Ground floor grey → GROUND FLOOR PLAN AS APPROVED

31-33 High Holborn - Structural Assumptions

Drawings from 2008 planning application

31-33 HIGH HOLBORN LONDON WC1N 7EJ	
DRAWING TITLE: 1ST FLOOR PLAN AS PROPOSED	
Scale: 1:50	Job: 081
Date: JUN 08	Drawn by: 1047
Drawn on: 1047	Checked by: 1047
Drawn on: 1047	Checked by: 21
Draper Neal Associates ARCHITECTURE AND BUILDING DESIGN PANDORA HOUSE, 41-45 LIND ROAD, SUTTON SURREY, SM1 4PP Tel: 020-8643-8241 Fax: 020-8643-8766	



No details of mezzanine slab over lift motor room

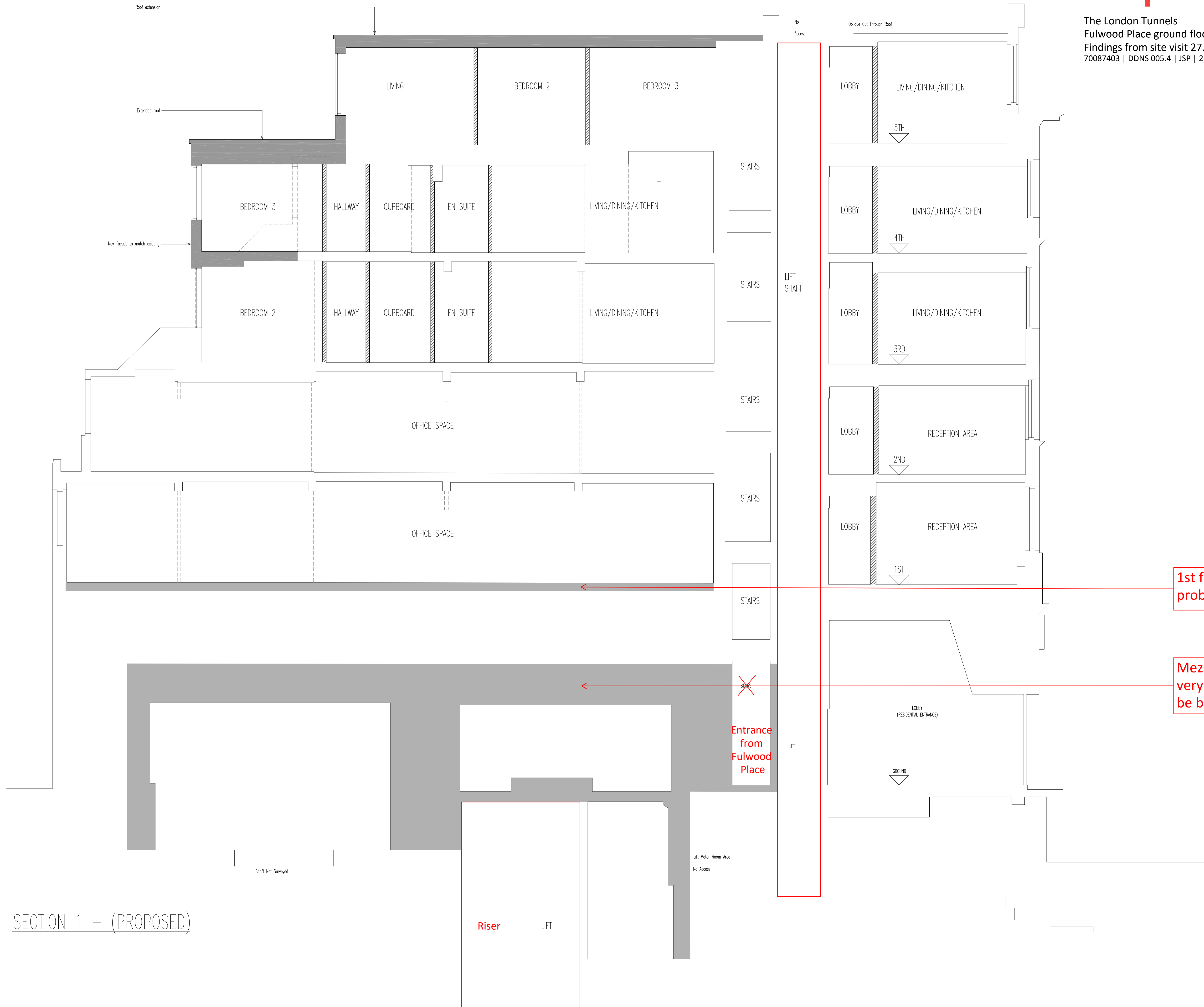
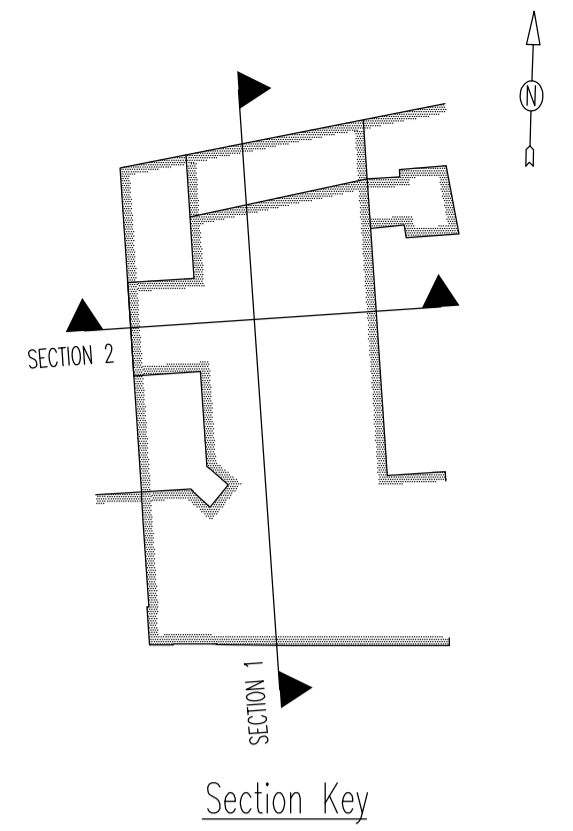
Might get some indication of construction of mezzanine slab over lift motor room by entering office mezzanine

Void has probably been filled in (?)
 Ground floor plan shows stairs removed

MEZZANINE FLOOR PLAN AS PROPOSED

Drawings from 2008 planning application

31-33 HIGH HOLBORN LONDON WC1				
MEZZANINE FLOOR PLAN AS EXISTING				
Scale	1:50	Job	Drg No.	Rev
Date	JUN 08	1047	23	
Drawn	an			
Draper Neal Associates ARCHITECTURE AND BUILDING DESIGN PANDORA HOUSE, 41-45 LIND ROAD, SUTTON, SURREY, SM1 4PP Tel: 020-8643-8241 Fax: 020-8643-8766				



1st floor construction probably (?) same as 2nd-5th

Mezzanine slab probably (?) very thick and designed to be bomb-proof

Entrance from Fulwood Place

SECTION 1 - (PROPOSED)

Drawings from 2008 planning application

SITE			
31-33 HIGH HOLBORN LONDON WC1			
DRAWING TITLE			
INDICATIVE SECTION 1 AS PROPOSED			
Scale	Job	Draw No.	Rev
1:50 @A1			
Date	Drawn on		
JUN 08	1047	45	
Draper Neal Associates ARCHITECTURE AND BUILDING DESIGN PANDORA HOUSE, 41-45 LIND ROAD, SUTTON SURREY, SM1 4PP Tel:020-8643-8241 Fax:020-8643-8760			



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