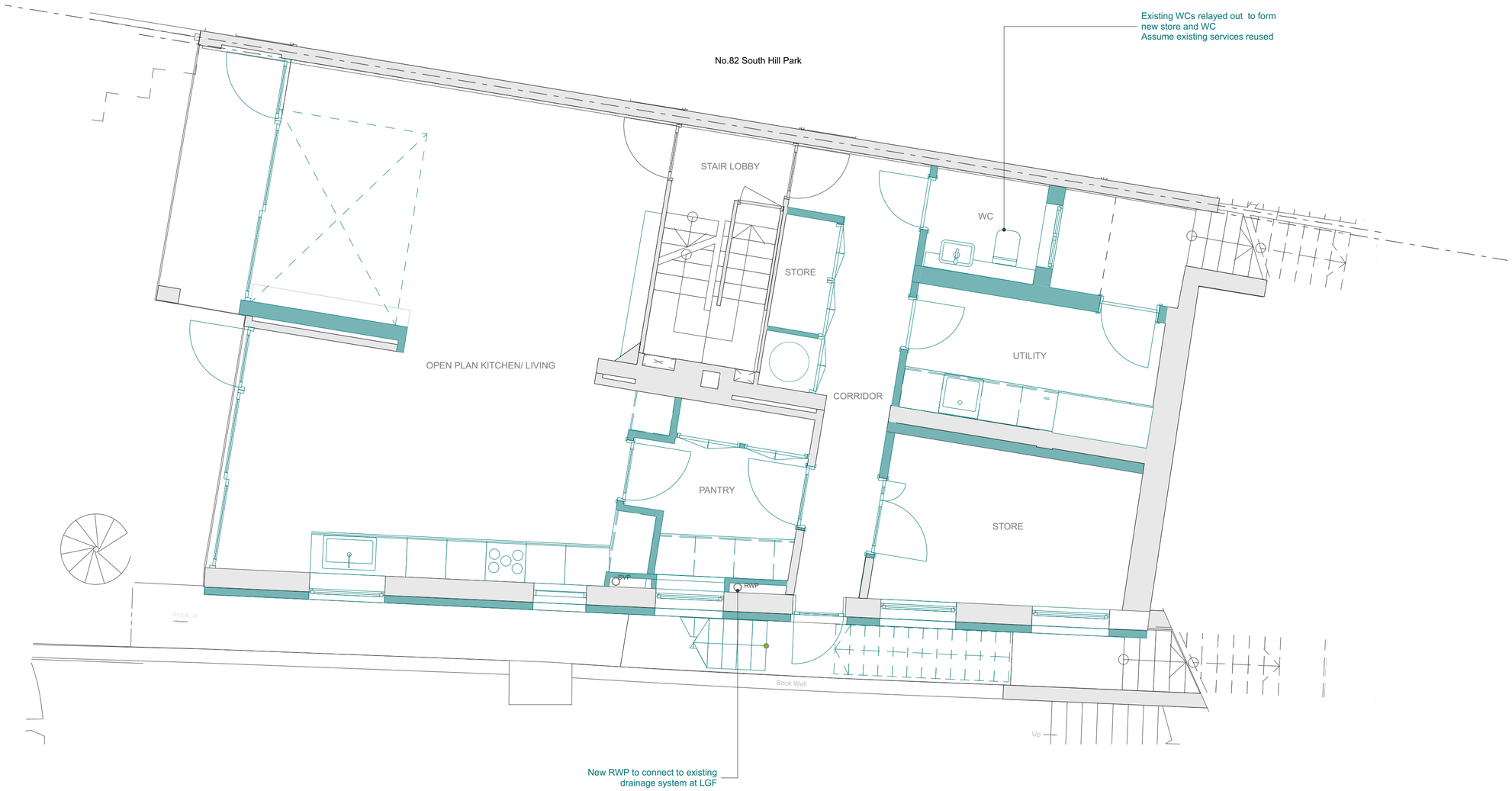
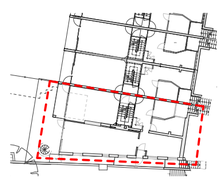
Appendix 2 Proposed drawing set



099 EXISTING LOWER GROUND FLOOR NO. 80 SOUTH HILL PARK

Key

- Existing
- Proposed



THE CONTRACTOR IS TO CHECK AND VERIFY ALL BUILDING AND SITE DIMENSIONS, LEVELS AND SEWER INVERT LEVELS AT CONNECTION POINTS BEFORE WORK STARTS

THIS DRAWING IS TO BE READ AND CHECKED IN CONJUNCTION WITH ENGINEERS AND OTHER SPECIALIST DRAWINGS

N

0 0.5 1 2m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Proposed Lower Ground Floor Plan
Drawing no: 2203-3-099
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 22/12/2023

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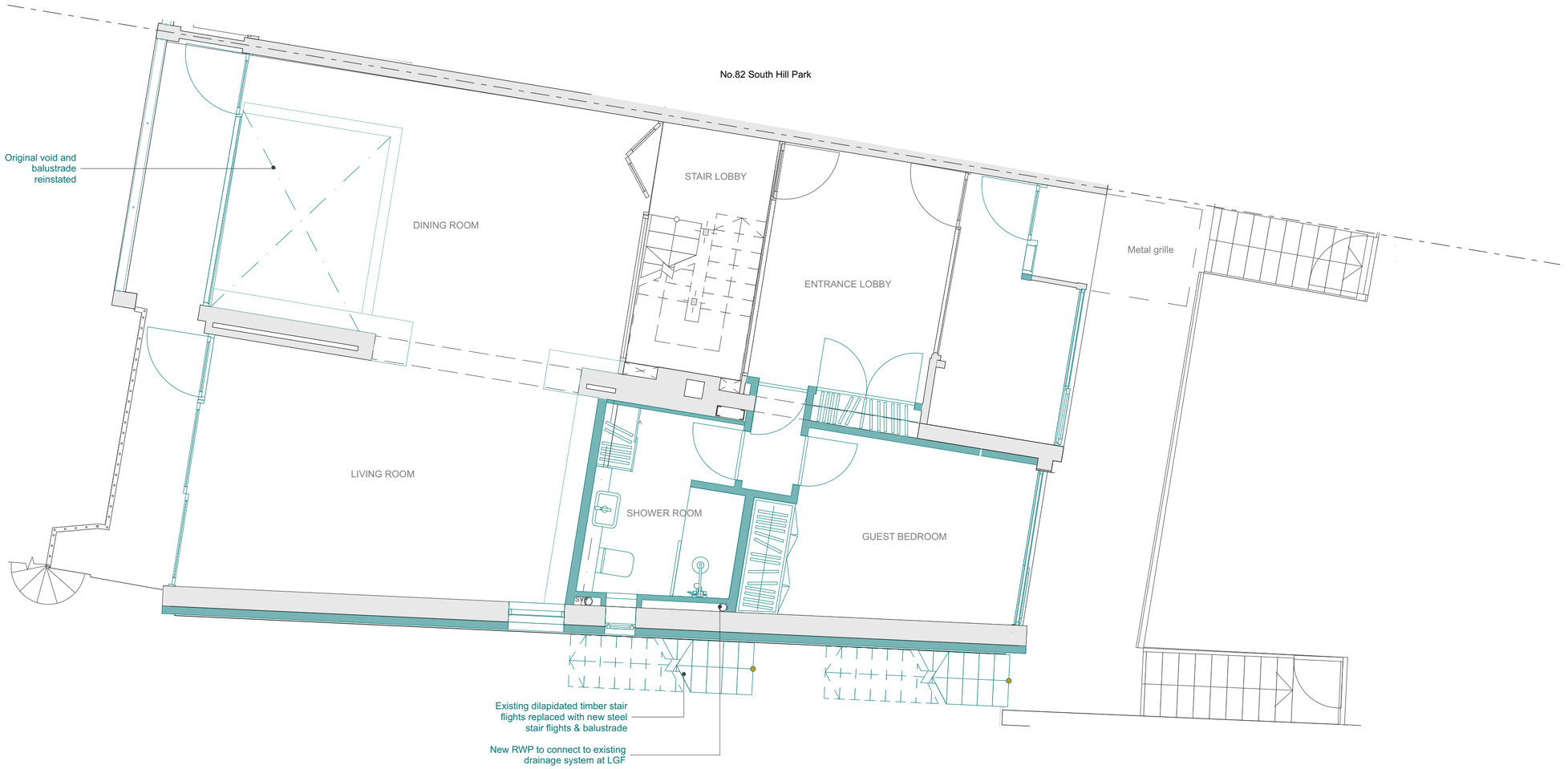
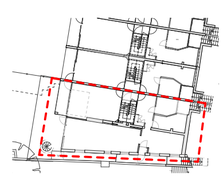


100 PROPOSED GROUND FLOOR NO. 80 SOUTH HILL PARK

Key

- Existing
- Proposed



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N

0 0.5 1 2m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Proposed Ground Floor Plan

Drawing no: 2203-3-100
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 22/12/2023

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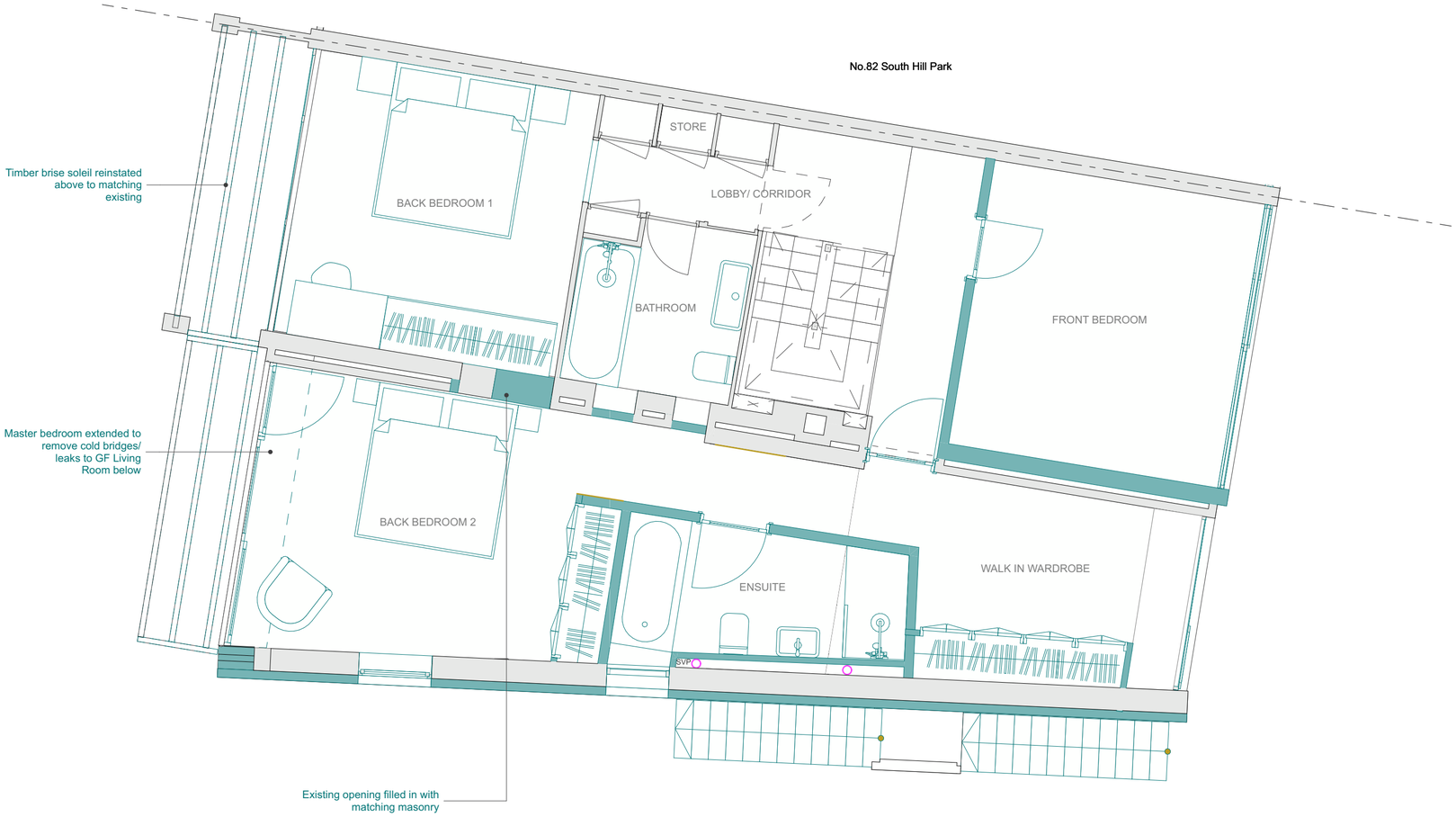
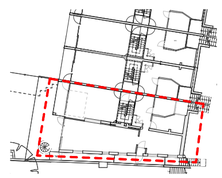


101 PROPOSED FIRST FLOOR NO. 80 SOUTH HILL PARK

Key

- Existing
- Proposed



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N

0 0.5 1 2m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Proposed First Floor Plan

Drawing no: 2203-3-101
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 22/12/2023

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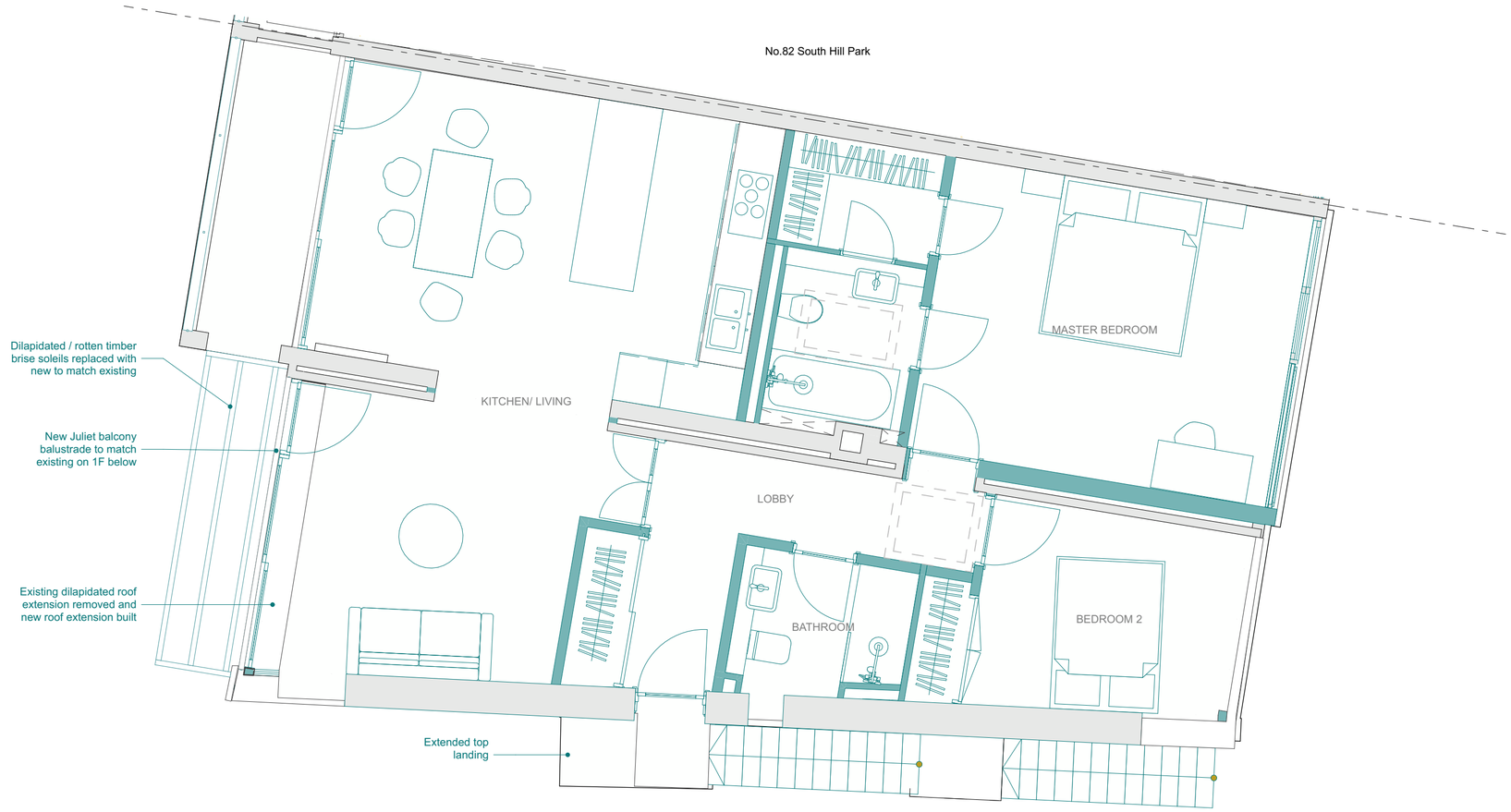
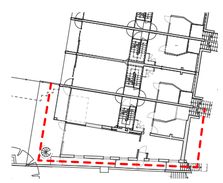


102 PROPOSED SECOND FLOOR NO. 80 SOUTH HILL PARK

Key

- Existing
- Proposed



N

0 0.5 1 2m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Proposed Second Floor Plan

Drawing no: 2203-3-102
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 22/12/2023

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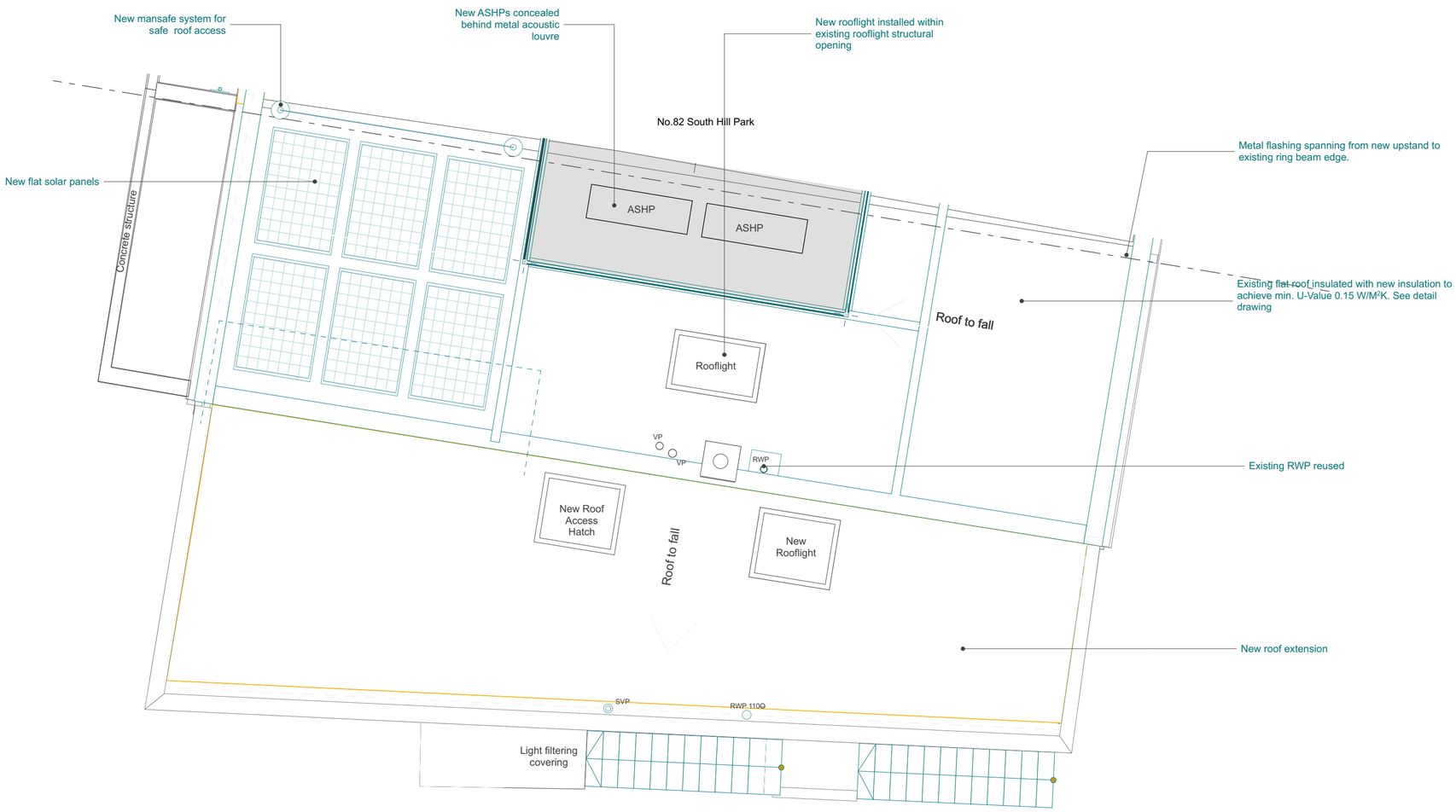
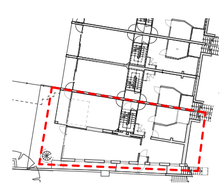


103 PROPOSED ROOF PLAN NO. 80 SOUTH HILL PARK

Key

- Existing
- Proposed



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N

0 0.5 1 2m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Proposed Roof Plan

Drawing no: 2203-3-103
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 22/12/2023

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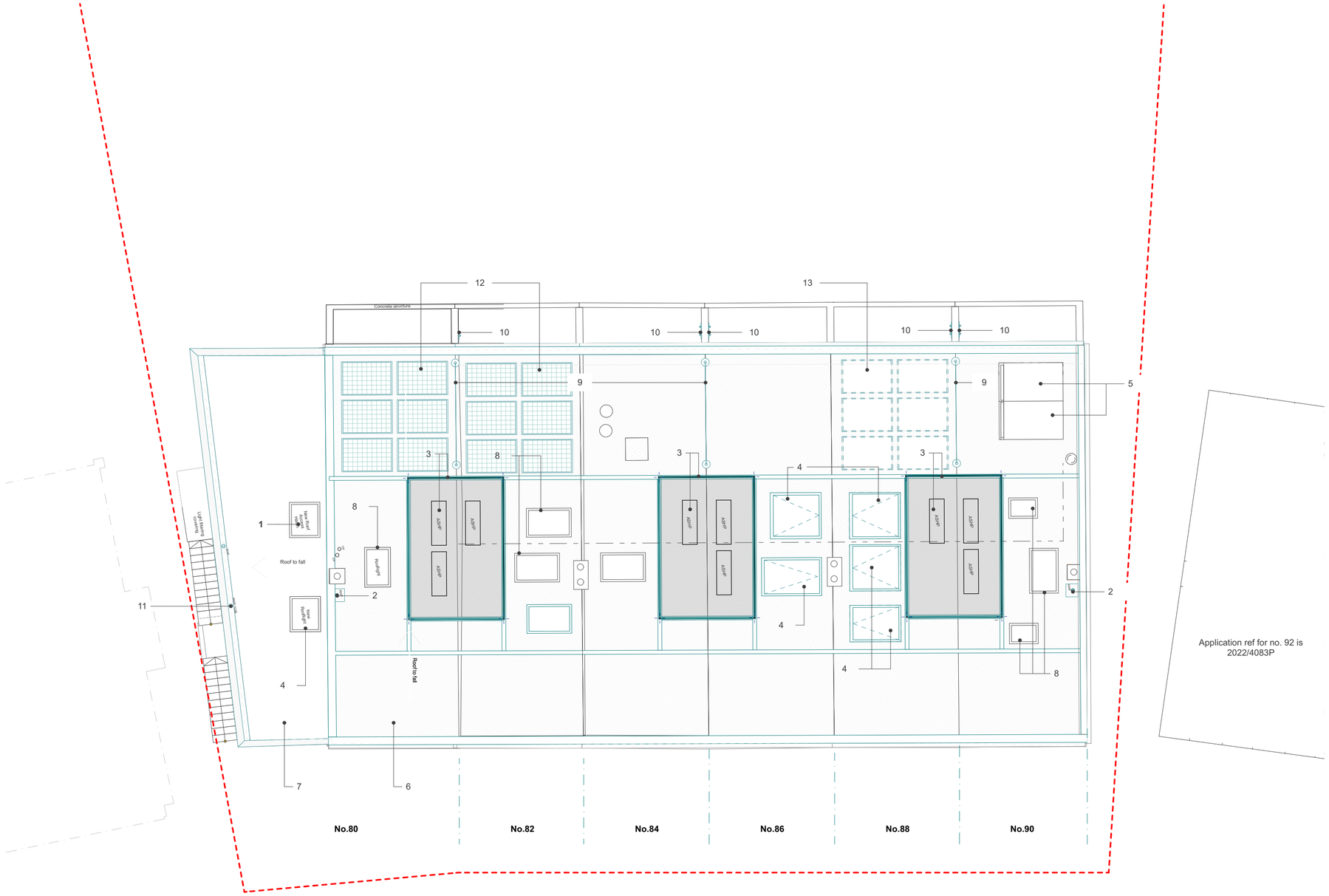

106 PROPOSED ROOF PLAN IN CONTEXT NO. 80 SOUTH HILL PARK

Key

- Existing
- Proposed

1. Roof access at No80 SHP. Internal roof hatch with retractible ladder in circulation areas, to ALL residential units
2. Existing 2no. RWP
3. New air pumps concealed behind metal louvered enclosure. On new metal structure decoupled from existing roof. See Structural Engineer details
4. New rooflight
5. Existing solar panels reinstated on new insulated roof
6. Existing roof insulated to achieve U-Value of 0.15 W/M^{2}K in line with Building Regulations
7. New roof extension
8. Existing rooflight reinstated following insulation of existing roof Location and sizes of existing rooflights assumed at this stage
9. Mansafe System
10. Ladder securing point for safe roof access
11. New Rain Water Pipe to no.80 roof extension
12. New solar panels
13. New solar panels at no.88 - submitted under a different application ref. PP-12653155v1

N

0 1 2 3m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Proposed Roof Plan Wider Terrace
Drawing no: 2203-3-106
Rev: Status: Stage 3
Scale: 1:100@A2 Date: 22/12/2023

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201 PROPOSED SECTION A NO. 80 SOUTH HILL PARK

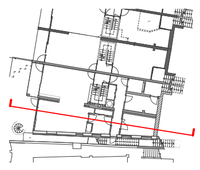
Key

- Existing
- Proposed

Notes:

Refer to fabric improvement strategy from the M+E consultant and structural engineers information.

1. Acoustic louvered enclosure to ASHPs
2. Terrace roof upstand
3. New roof extension to align with floors below. Insulated render finish to match floors below
4a. Insulated render finish to existing flank wall to match existing brick colour
4b. Insulated render finish to existing flank wall to align and match existing slab colour
5. New steel staircase and strengthening structure to retained concrete landings to side of no.80
6. Retained concrete landing
7. External MVHRs
8. New hardwood double glazed timber windows/ doors. Timber finish to match across terrace
9. Metal flashing to window cill
10. Protective metal capping to rear concrete beams to match roof edge flashing
11. Existing rotten brise soleis and timber post reinstated
12. New metal railing to match existing
13. Edge flashing to new no80 extension
14. Existing cast iron spiral stairs and metal railings refurbished
15. New concrete edge beam to no80 extension to match existing terrace edge beam
16. Existing chimney refurbished



0 0.5 1 2m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Proposed Section A

Drawing no: 2203-3-201
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 22/12/2023

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202 PROPOSED SECTION B NO. 80 SOUTH HILL PARK

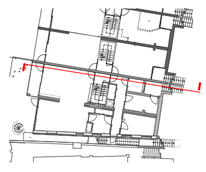
Key

- Existing
- Proposed

Notes:

Refer to fabric improvement strategy from the M+E consultant and structural engineers information.

1. Acoustic louvered enclosure to ASHPs
2. Terrace roof upstand
3. New roof extension to align with floors below. Insulated render finish to match floors below
4a. Insulated render finish to existing flank wall to match existing brick colour
4b. Insulated render finish to existing flank wall to align and match existing slab colour
5. New steel staircase and strengthening structure to retained concrete landings to side of no.80
6. Retained concrete landing
7. External MVHRs
8. New hardwood double glazed timber windows/ doors. Timber finish to match across terrace
9. Metal flashing to window cill
10. Protective metal capping to rear concrete beams to match roof edge flashing
11. Existing rotten brise soleis and timber post reinstated
12. New metal railing to match existing
13. Edge flashing to new no80 extension
14. Existing cast iron spiral stairs and metal railings refurbished
15. New concrete edge beam to no80 extension to match existing terrace edge beam
16. Existing chimney refurbished



N

0 0.5 1 2m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Proposed Section B

Drawing no: 2203-3-202
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 22/12/2023

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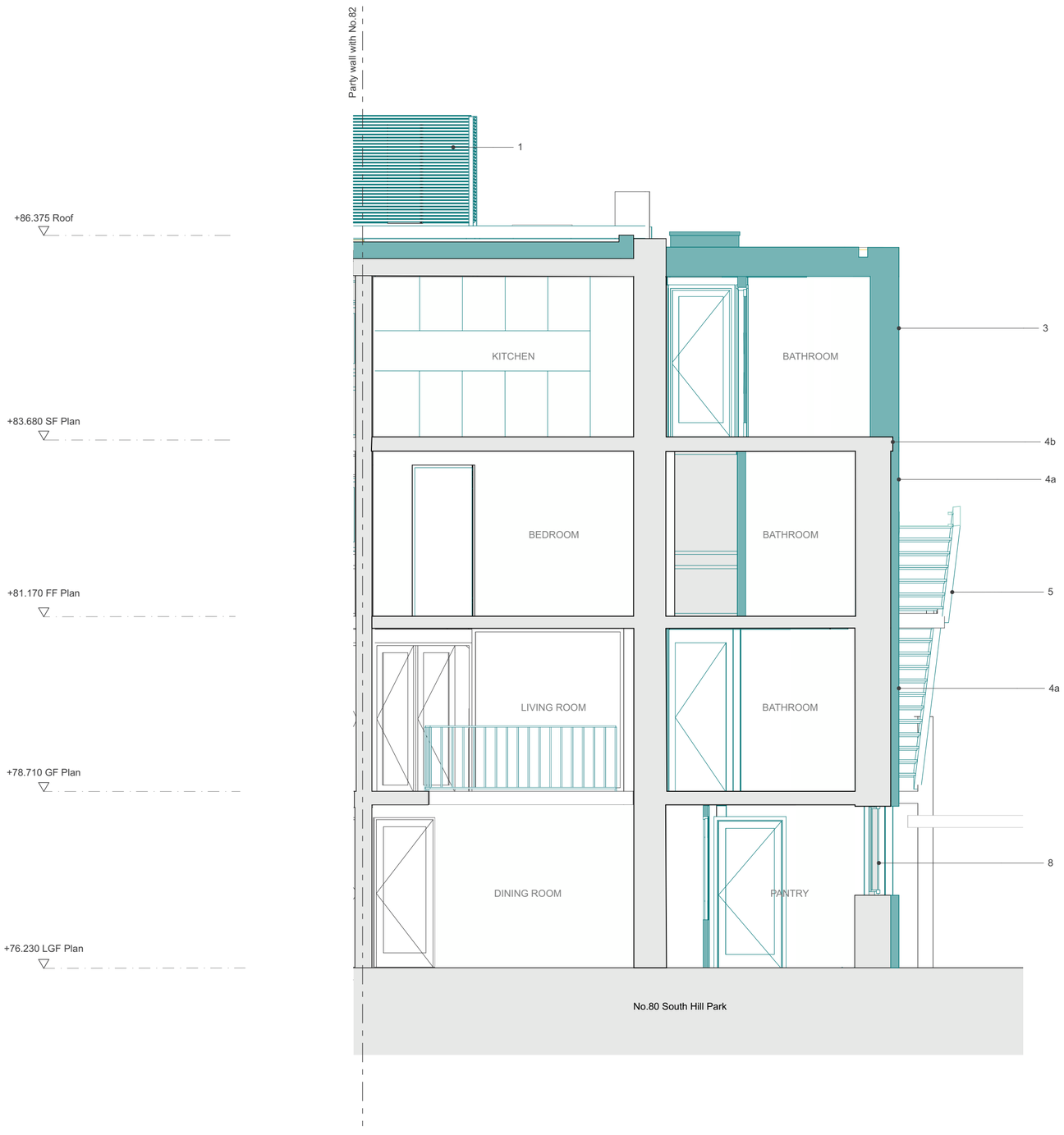


203 PROPOSED SECTION C NO. 80 SOUTH HILL PARK

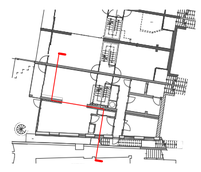
Key

- Existing
- Proposed

Notes:

Refer to fabric improvement strategy from the M+E consultant and structural engineers information.

1. Acoustic louvered enclosure to ASHPs
2. Terrace roof upstand
3. New roof extension to align with floors below. Insulated render finish to match floors below
4a. Insulated render finish to existing flank wall to match existing brick colour
4b. Insulated render finish to existing flank wall to align and match existing slab colour
5. New steel staircase and strengthening structure to retained concrete landings to side of no.80
6. Retained concrete landing
7. External MVHRs
8. New hardwood double glazed timber windows/ doors. Timber finish to match across terrace
9. Metal flashing to window cill
10. Protective metal capping to rear concrete beams to match roof edge flashing
11. Existing rotten brise soleis and timber post reinstated
12. New metal railing to match existing
13. Edge flashing to new no80 extension
14. Existing cast iron spiral stairs and metal railings refurbished
15. New concrete edge beam to no80 extension to match existing terrace edge beam
16. Existing chimney refurbished



N

0 0.5 1 2m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Proposed Section C

Drawing no: 2203-3-203
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 22/12/2023

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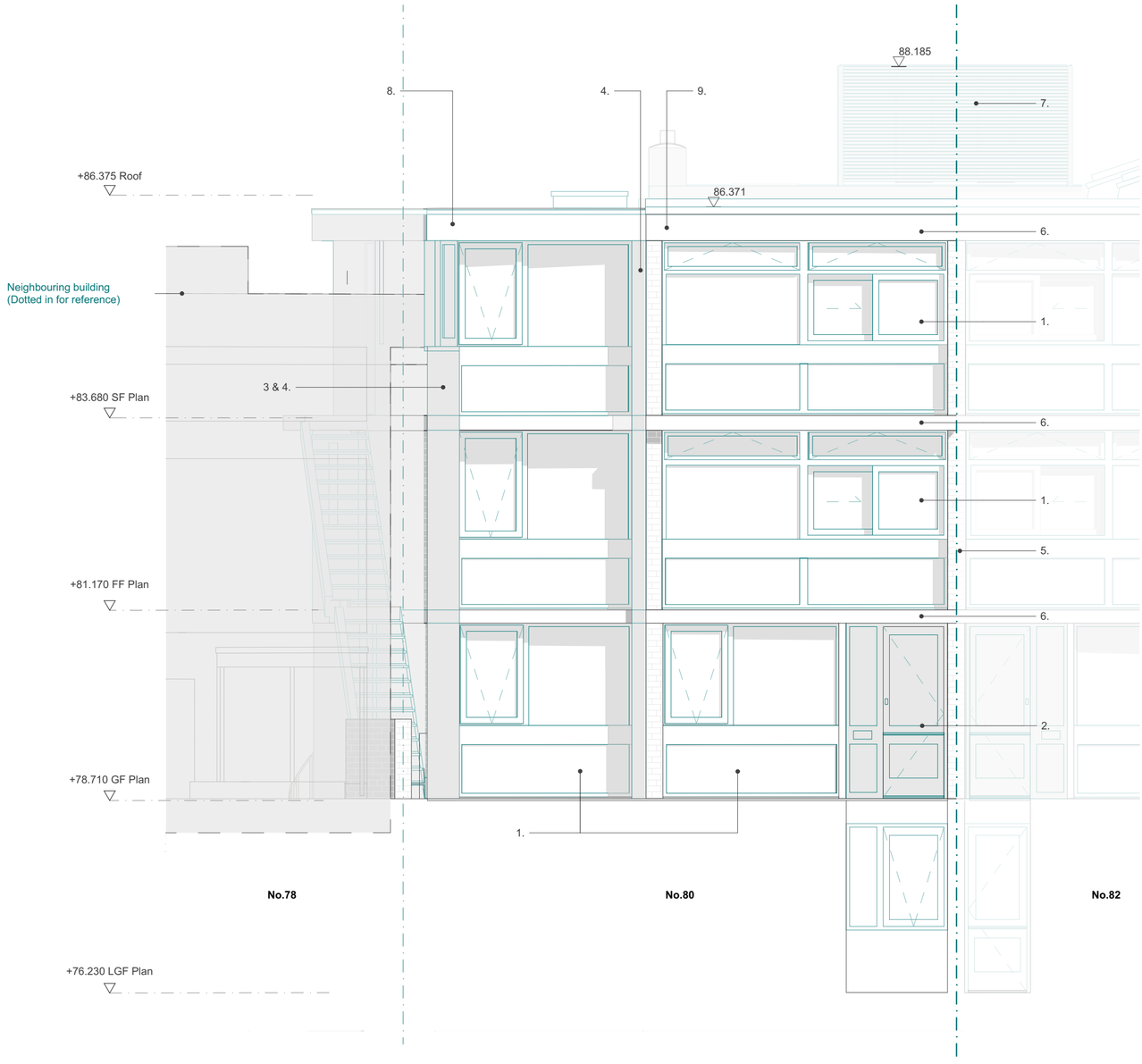


301 PROPOSED FRONT ELEVATION NO. 80 SOUTH HILL PARK

Key

- Existing
- Proposed

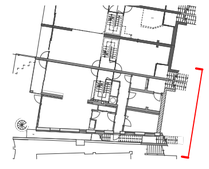
Notes:

Refer to fabric improvement strategy from the M+E consultant and structural engineers information.

1. New hardwood timber framed windows to match original design from 1950s, to improve the existing thermal building performances
2. New hardwood timber framed door and side fixed panel to match original design from 1950s, to improve the existing thermal building performances
3. Permeable insulation to un-insulated flank wall, with wood-fibre batts fixed to the mortar courses masonry and finished with a permeable lime render, to improve the existing thermal building performances. Permeable render finish to match brick colour of lighter bricks and exposed slabs

Note: Thermally, the existing uninsulated flank wall is a significant problem in terms of internal comfort, energy and cost efficiency as well as risk to the existing fabric because of current condensation

4. Permeable render finish on wood wool panel to brickwork return, reduced thickness to max. 30mm overall. Lime render finish to match brick colour of lighter bricks
5. Existing party wall
6. Existing exposed concrete slabs refurbished
7. Acoustic louvered enclosure to ASHPs
8. New concrete edge beam to no80 extension to match existing terrace edge beam
9. Existing chimney refurbished



0 0.5 1 2m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Proposed Front Elevation

Drawing no: 2203-3-301
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 22/12/2023

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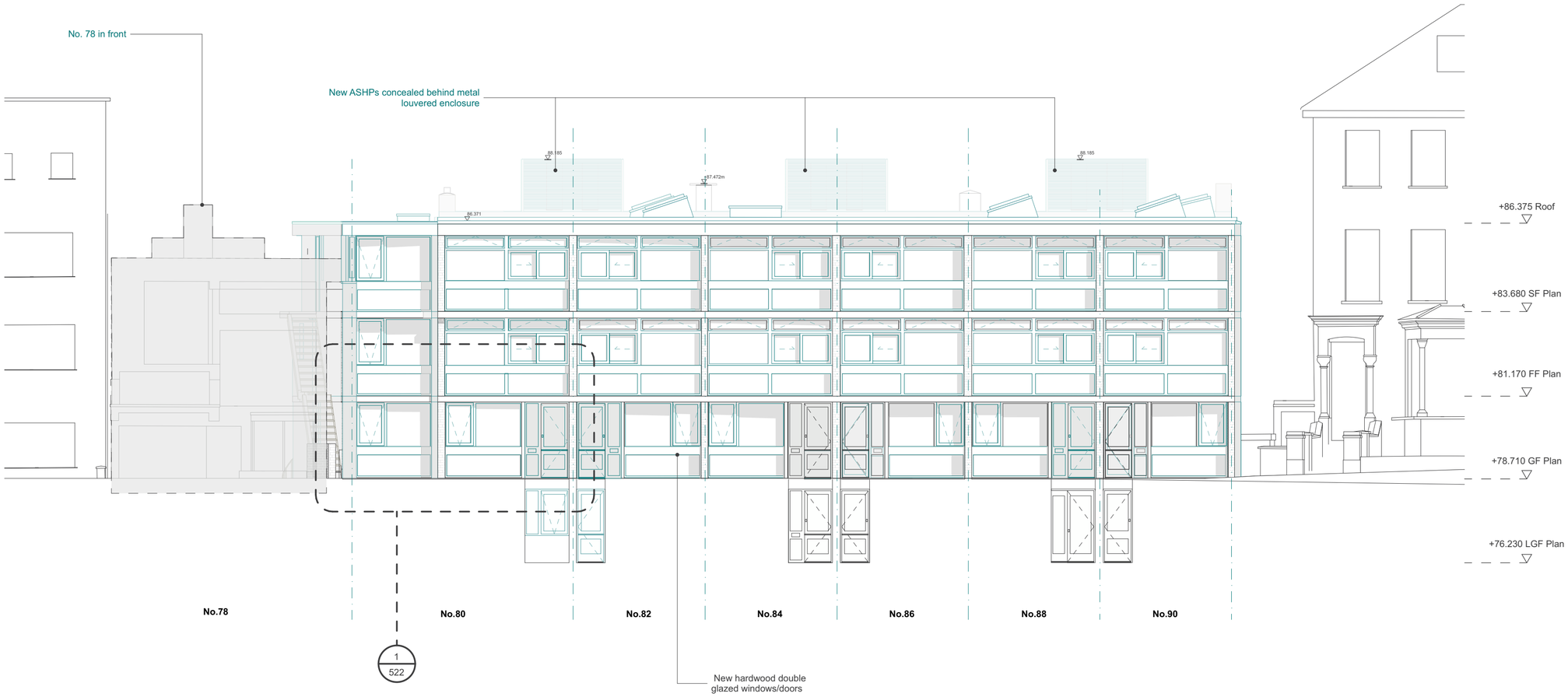


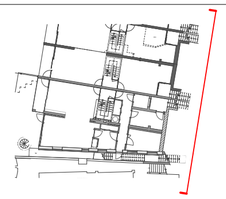
301.1 PROPOSED FRONT ELEVATION IN CONTEXT NO. 80 SOUTH HILL PARK

Key

Existing

Proposed

Notes:
Refer to fabric improvement strategy from the M+E consultant.



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N

0 1 2 3m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: 301.1 Proposed Front Elevation in Context
Drawing no: 2203-3-
Rev: Status: Stage 3
Scale: 1:100@A2 Date: 22/12/2023

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302 PROPOSED REAR ELEVATION NO. 80 SOUTH HILL PARK

Key

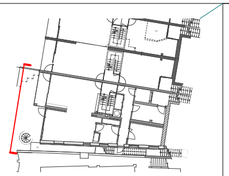
Existing

Proposed

Notes:

Refer to fabric improvement strategy from the M+E consultant and structural engineers information.

1. Acoustic louvered enclosure to ASHPs
2. Terrace roof upstand
3. New roof extension to align with floors below. Insulated render finish to match floors below
4a. Insulated render finish to existing flank wall to match existing brick colour
4b. Insulated render finish to existing flank wall to align and match existing slab colour
5. New steel staircase and strengthening structure to retained concrete landings to side of no.80
6. New hardwood double glazed timber windows/ doors to match existing original
7. Protective metal capping to rear concrete beams to match roof edge flashing
8. Existing rotten brise soleis and timber post reinstated
9. New metal railing to match existing
10. Roof edge flashing to new no80 extension
11. Existing cast iron spiral stairs and metal railings refurbished
12. New concrete edge beam to no80 extension to match existing terrace edge beam
13. Existing chimney refurbished
14. Existing concrete beam/ slab
15. Original terrace balustrades reinstated



Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Proposed Rear Elevation

Drawing no: 2203-3-302
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 22/12/2023

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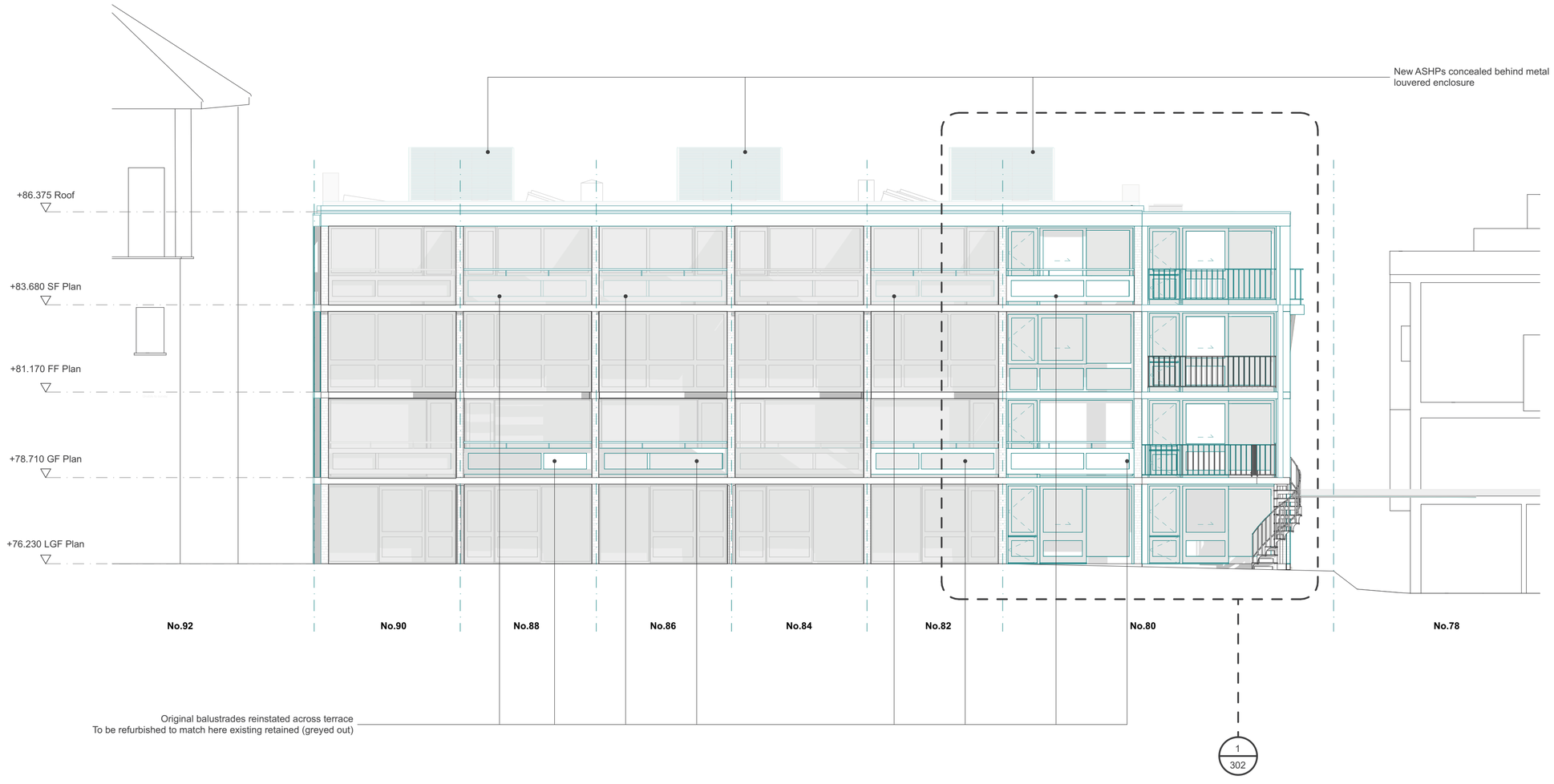


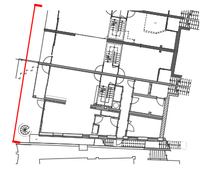
302.1 PROPOSED REAR ELEVATION IN CONTEXT NO. 80 SOUTH HILL PARK

Key

- Existing
- Proposed

Notes:

Refer to fabric improvement strategy from the M+E consultant and structural engineers information.



0 1 2 3m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Proposed Rear Elevation in Context
Drawing no: 2203-3-302.1
Rev: Status: Stage 3
Scale: 1:100@A2 Date: 22/12/2023

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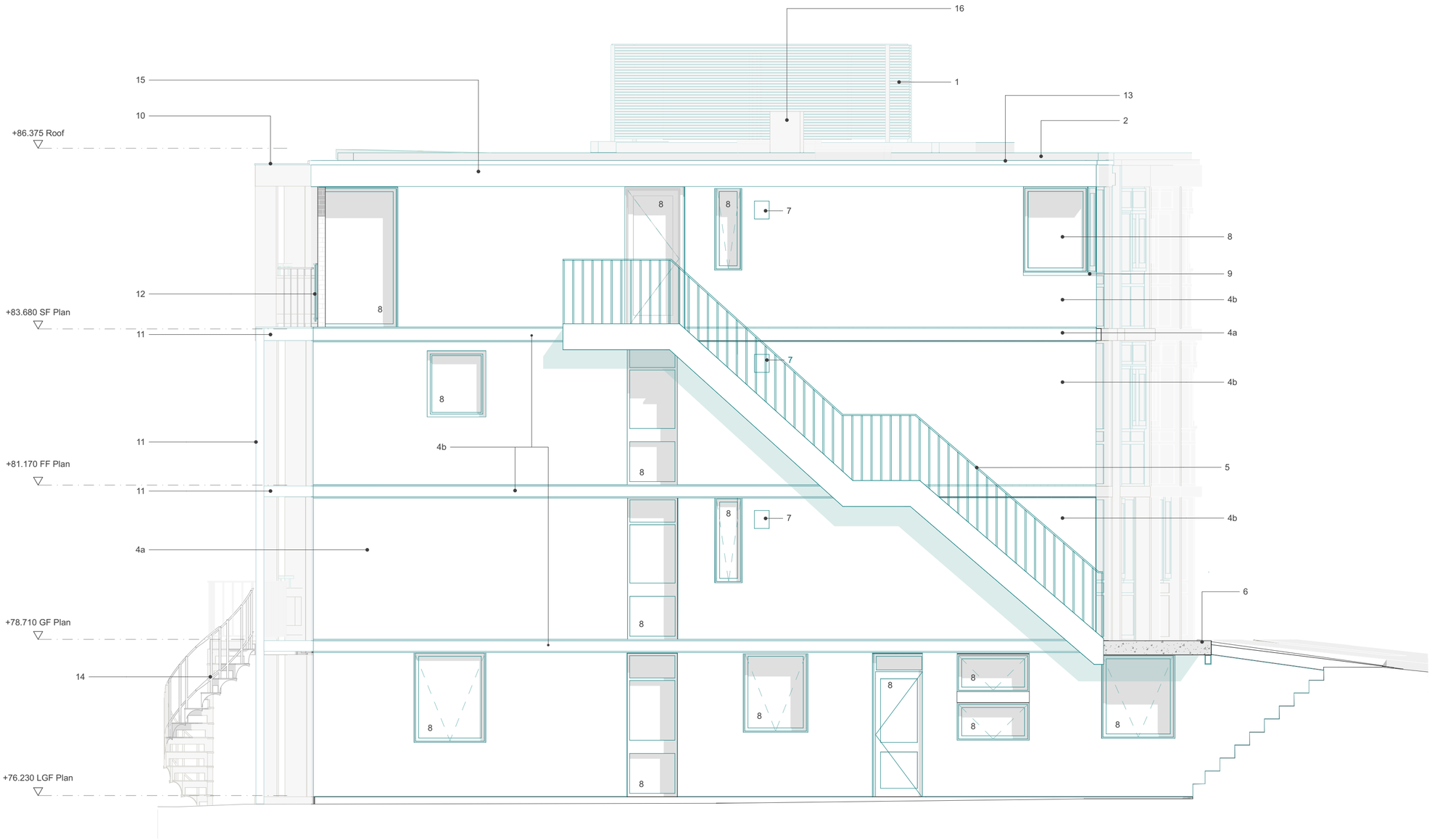


303 PROPOSED SIDE ELEVATION NO. 80 SOUTH HILL PARK

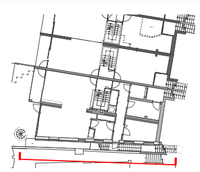
Key

- Existing
- Proposed

Notes:

Refer to fabric improvement strategy from the M+E consultant and structural engineers information.

1. Acoustic louvered enclosure to ASHPs
2. Terrace roof upstand
3. New roof extension to align with floors below. Insulated render finish to match floors below
4a. Insulated render finish to existing flank wall to match existing brick colour
4b. Insulated render finish to existing flank wall to align and match existing slab colour
5. New steel staircase and strengthening structure to retained concrete landings to side of no.80
6. Retained concrete landing
7. External MVHRs
8. New hardwood double glazed timber windows/ doors. Timber finish to match across terrace
9. Metal flashing to window cill
10. Protective metal capping to rear concrete beams to match roof edge flashing
11. Existing rotten brise soleis and timber post reinstated
12. New metal railing to match existing
13. Edge flashing to new no80 extension
14. Existing cast iron spiral stairs and metal railings refurbished
15. New concrete edge beam to no80 extension to match existing terrace edge beam
16. Existing chimney refurbished



0 0.5 1 2m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Proposed Side Elevation

Drawing no: 2203-3-303
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 22/12/2023

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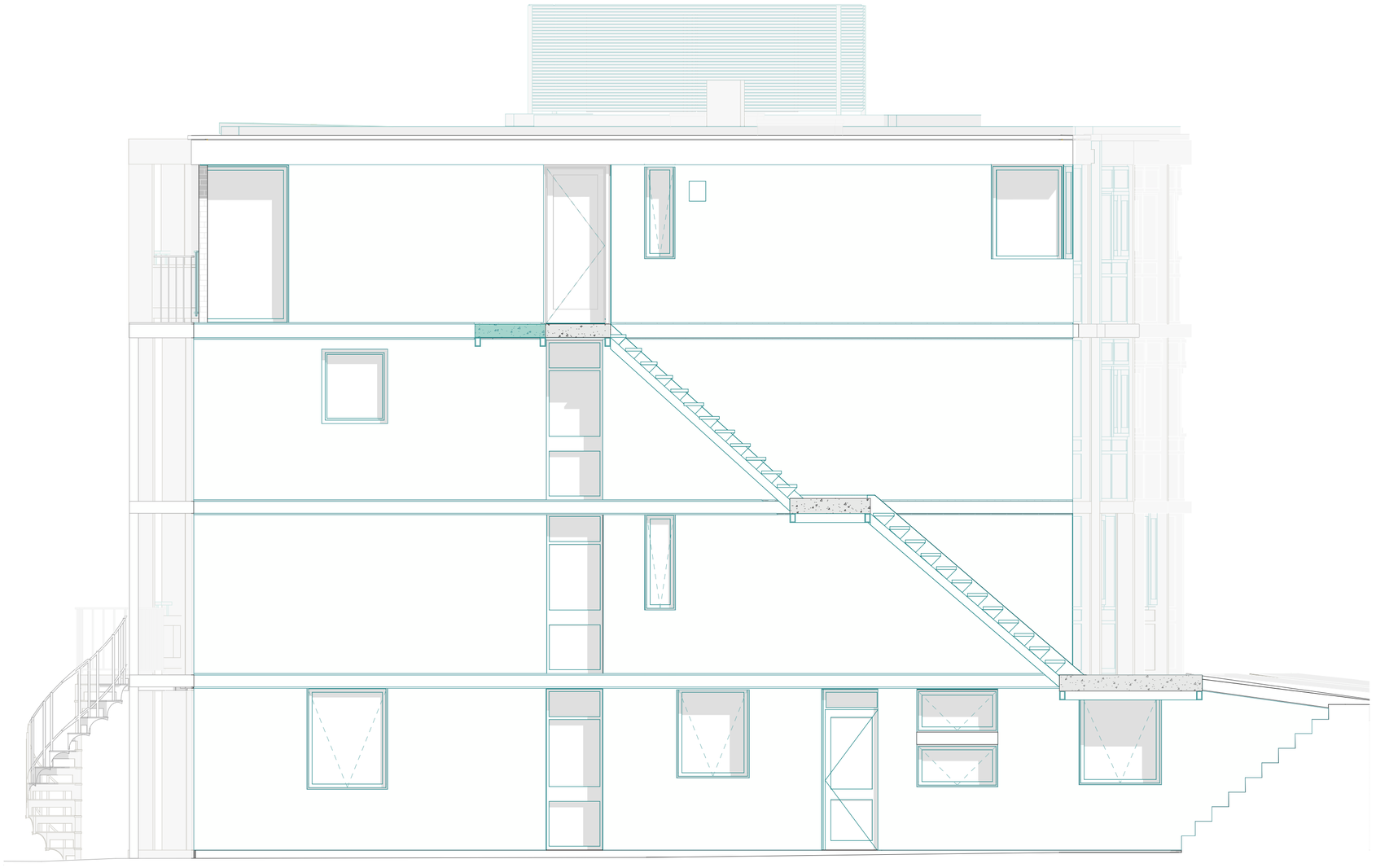

Key

Existing

Proposed

Notes:

Refer to fabric improvement strategy from the M+E consultant and structural engineers information.

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: External staircase section

Drawing no: 2203-3-503
Rev: Status: Stage 3
Scale: 1:50@A2 Date: 22/12/2023

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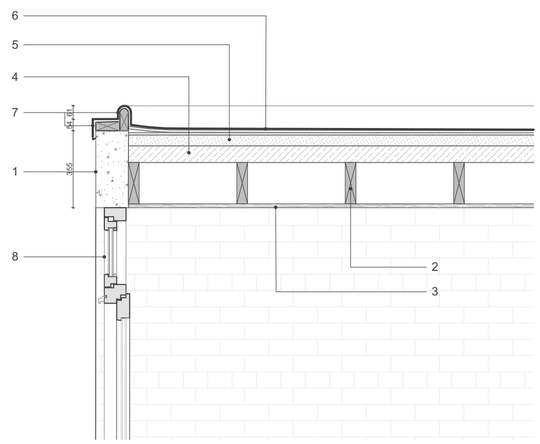
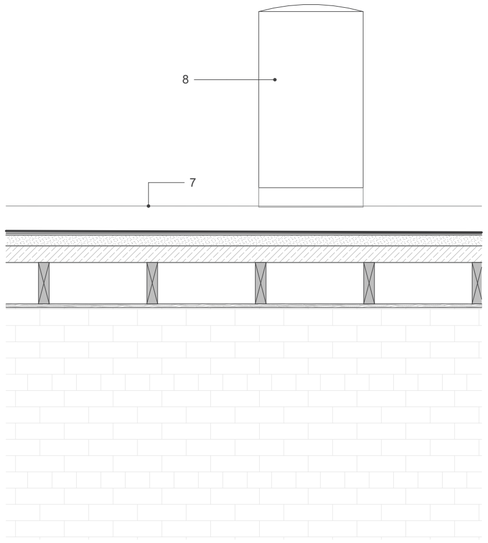
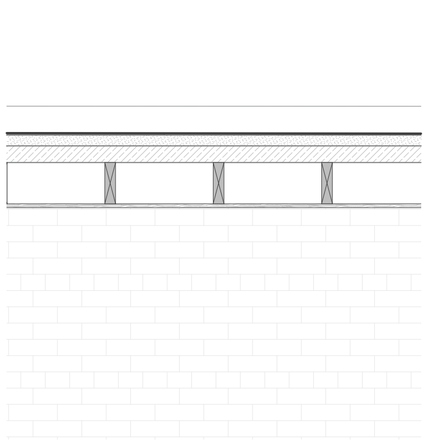


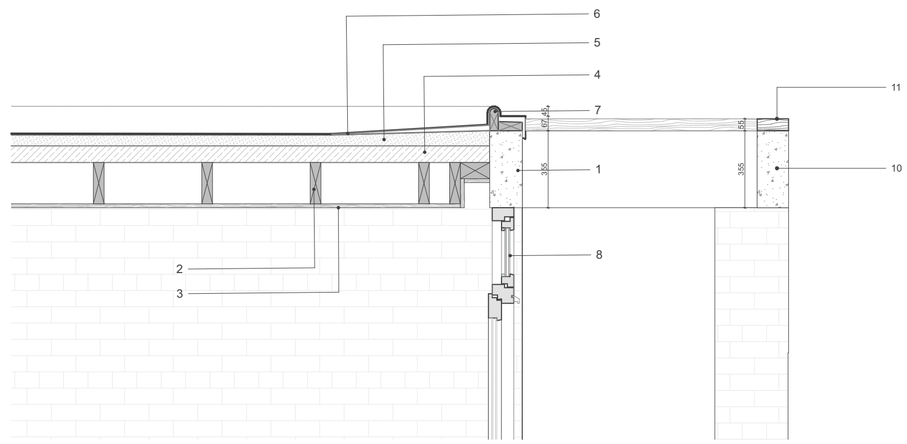
1 Existing Front Roof Edge Detail 1:20



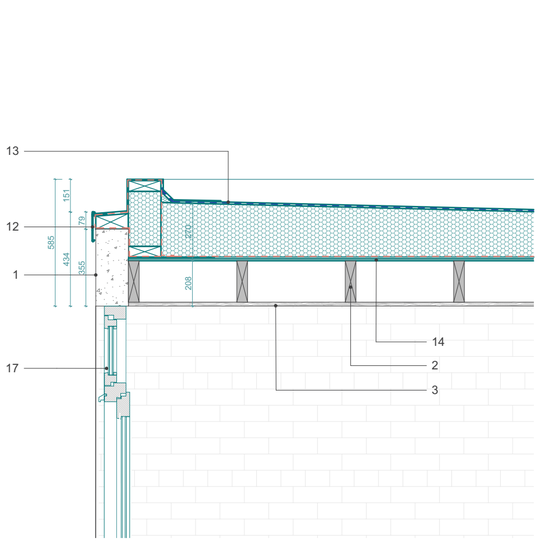
2 Existing Gutter Line Detail 1:20



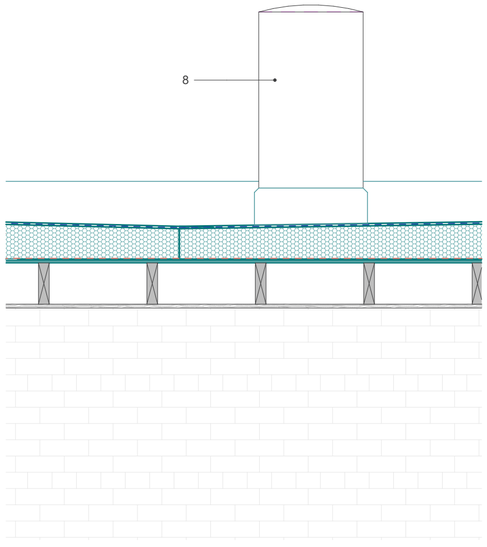
3 Existing Gutter Line Detail 1:20



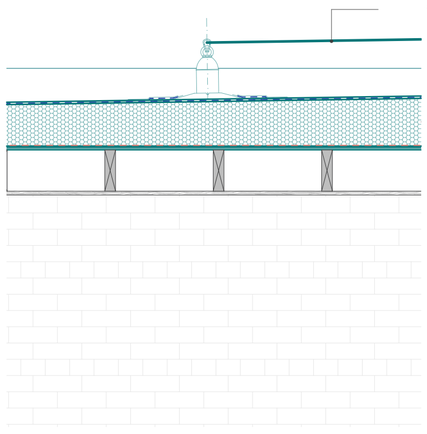
4 Existing Rear Roof Edge Detail 1:20



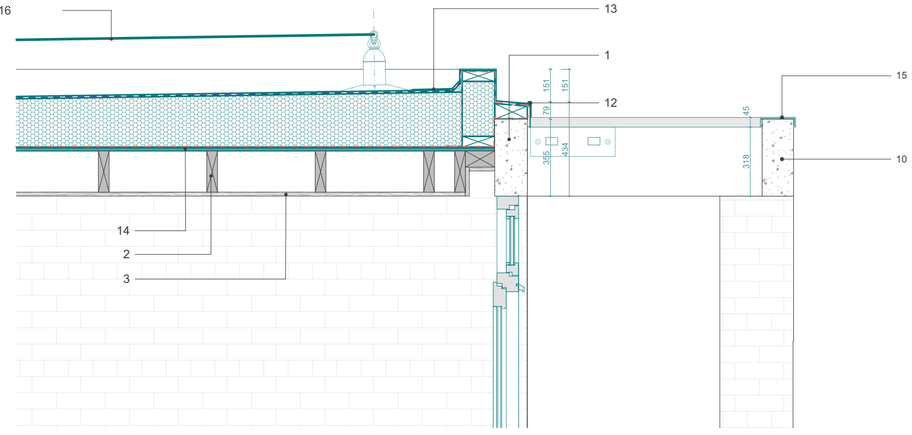
5 Proposed Front Roof Edge Detail 1:20



6 Proposed Gutter Line Detail 1:20



7 Proposed Gutter Line Detail 1:20



8 Proposed Rear Roof Edge Detail 1:20

Key

Existing

Proposed

Key existing

1. Existing concrete perimeter beam
2. Existing 190x50mm timber joists on hangers - assumed at 500mm centres
3. Existing internal timber (or plasterboard for some units) finish
4. Existing woodwool slab
5. Cork insulation
6. Derbigum membrane over previous roofing membrane layers
7. Perimeter upstand formed over timber perimeter batten and front flashing fascia
8. Existing aluminium windows
9. Existing chimney stack behind
10. Existing exposed concrete perimeter beam to rear terraces
11. Rotten timber plates on mechanically fixed to concrete perimeter beams
Timber plates and fixings are causing the concrete to expand and crack

Key proposed

12. Bauder GRP trim mechanically fixed to match existing
13. Bauder bitumen & insulation system to 1:80 fall
14. 18mm Ply decking
15. Existing rotten timber capping replaced with metal capping following concrete cleaning and repairs. Concrete repaired where damaged by existing fixings
16. New mansafe system for safe roof access
17. New hardwood double glazed timber windows

Roof proposed U-Value 0.15 W/m²K

Notes:

Refer to fabric improvement strategy from the M+E consultant.

0 0.1 0.2 0.5m

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Terrace Roof Edge Details

Drawing no: 2203-3-521
Rev: Status: Stage 3
Scale: 1:20@A2 Date: 22/12/2023

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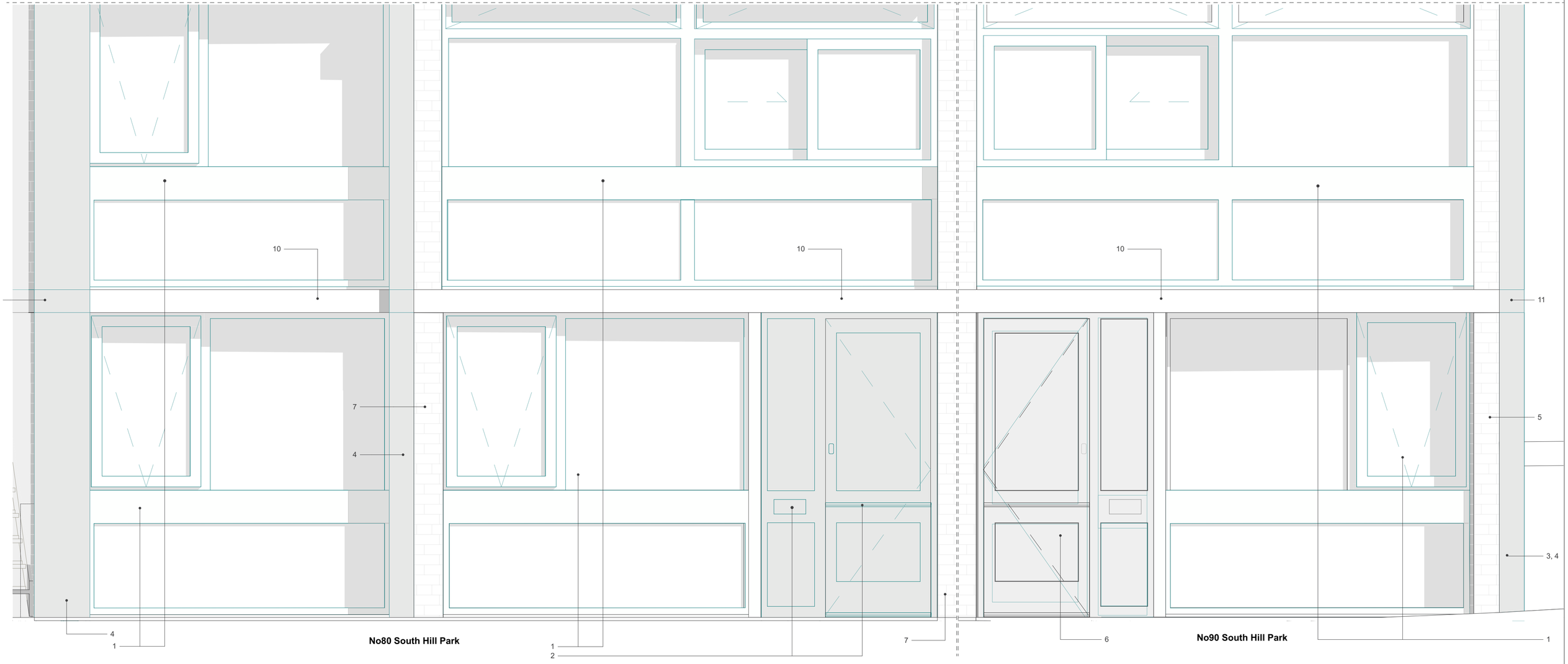
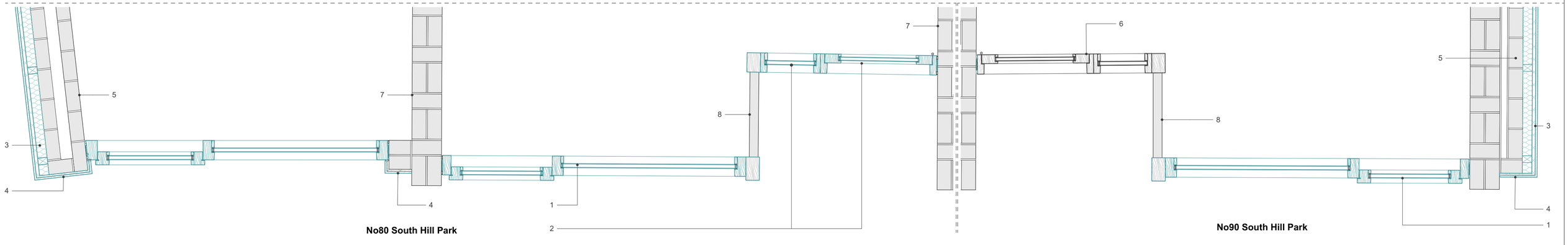


1. Front Elevation of No80 and No90 South Hill Park, detail of gable end walls 1:20 Scale



2. Ground Floor Plan of No80 and No90 South Hill Park, detail of gable end walls 1:20 Scale

Key

- Existing
- Proposed

1. New hardwood timber framed windows to match original design from 1950s, to improve the existing thermal building performances
2. New hardwood timber framed door and side fixed panel to match original design from 1950s, to improve the existing thermal building performances
3. Permeable insulation to un-insulated flank wall, with wood-fibre batts fixed to the mortar courses masonry and finished with a permeable lime render, to improve the existing thermal building performances. Permeable render finish to match brick colour of lighter bricks and exposed slabs
Note: Thermally, the existing uninsulated flank wall is a significant problem in terms of internal comfort, energy and cost efficiency as well as risk to the existing fabric because of current condensation
4. Permeable render finish on wood wool panel to brickwork return, reduced thickness to max. 30mm overall. Lime render finish to match brick colour of lighter bricks
5. Existing uninsulated cavity wall
6. Existing brickwall, original end of terrace flank wall
7. Existing party wall
8. Existing solid return to porch entrance (blockwork with tiber goalposts at both ends)
9. Existing hardwood timber framed door and side fixed panel retained as recently renewed and matching the original design already
10. Existing exposed concrete slabs refurbished
Refer also to fabric improvement strategy from the M+E consultant
11. Permeable render finish to match existing concrete slab behind

N

0 0.1 0.2

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Rendered End Wall Details

Drawing no: 2203-3-522
Rev: Status: Stage 3
Scale: 1:20@A2 Date: 22/12/2023

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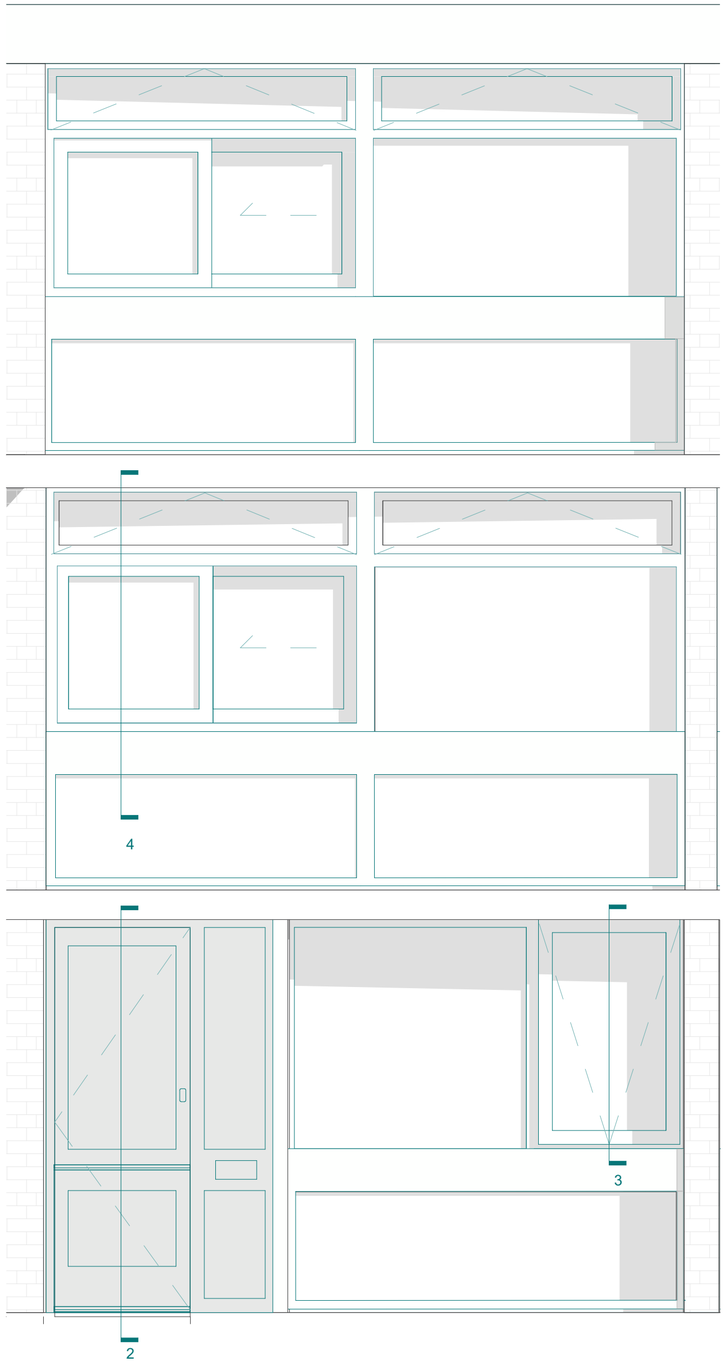
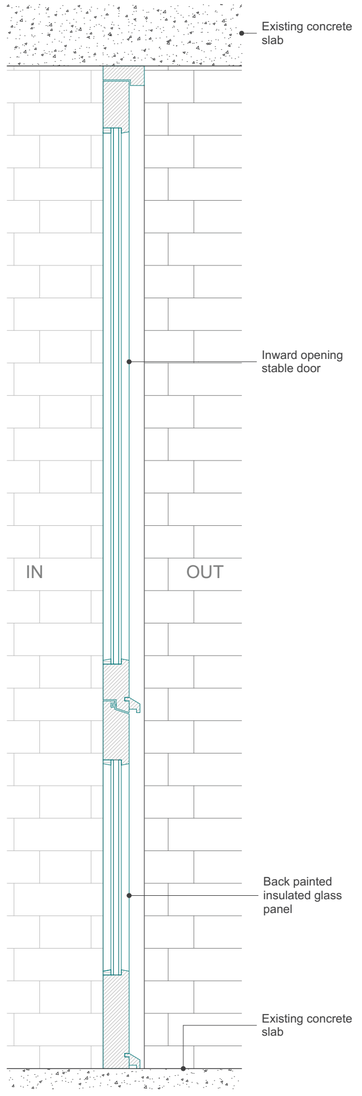
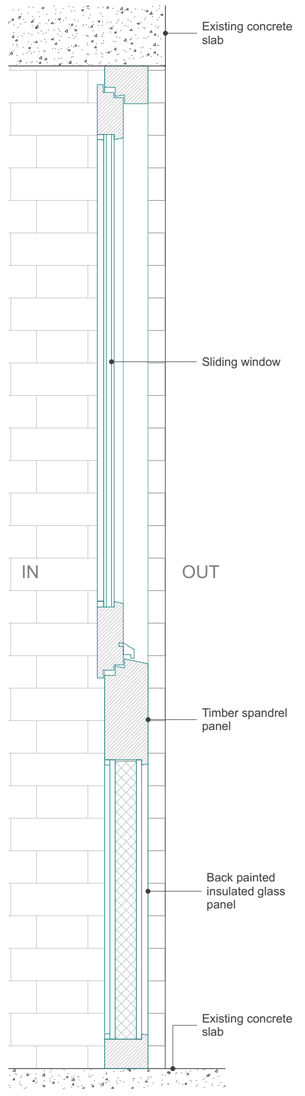


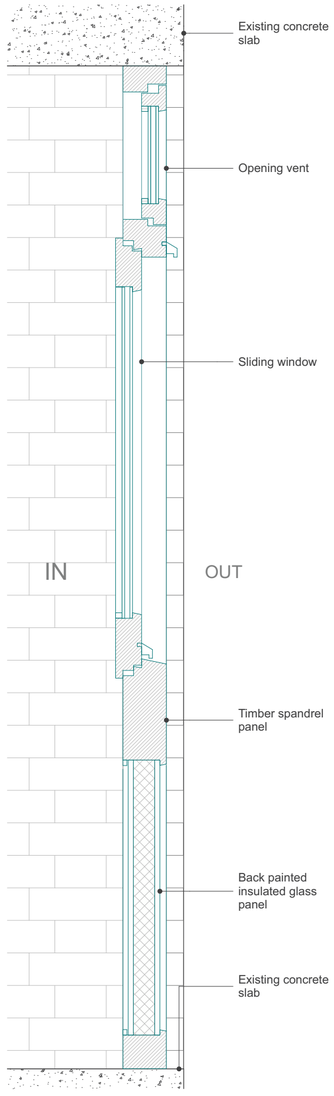
1 Typical Bay Study 1:25



2 DOOR DETAIL 1:10



3 FACADE DETAIL 1:10



4 FACADE DETAIL 1:10

Rev:	Date:	Description

Project: 2203 No80 South Hill Park
Client: South Hill Park
Drawing: Typical Window Details

Drawing no: 2203-3-530
Rev: Status: Stage 3
Scale: 1:100, 1:10, 1:25@A2 12/2023

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