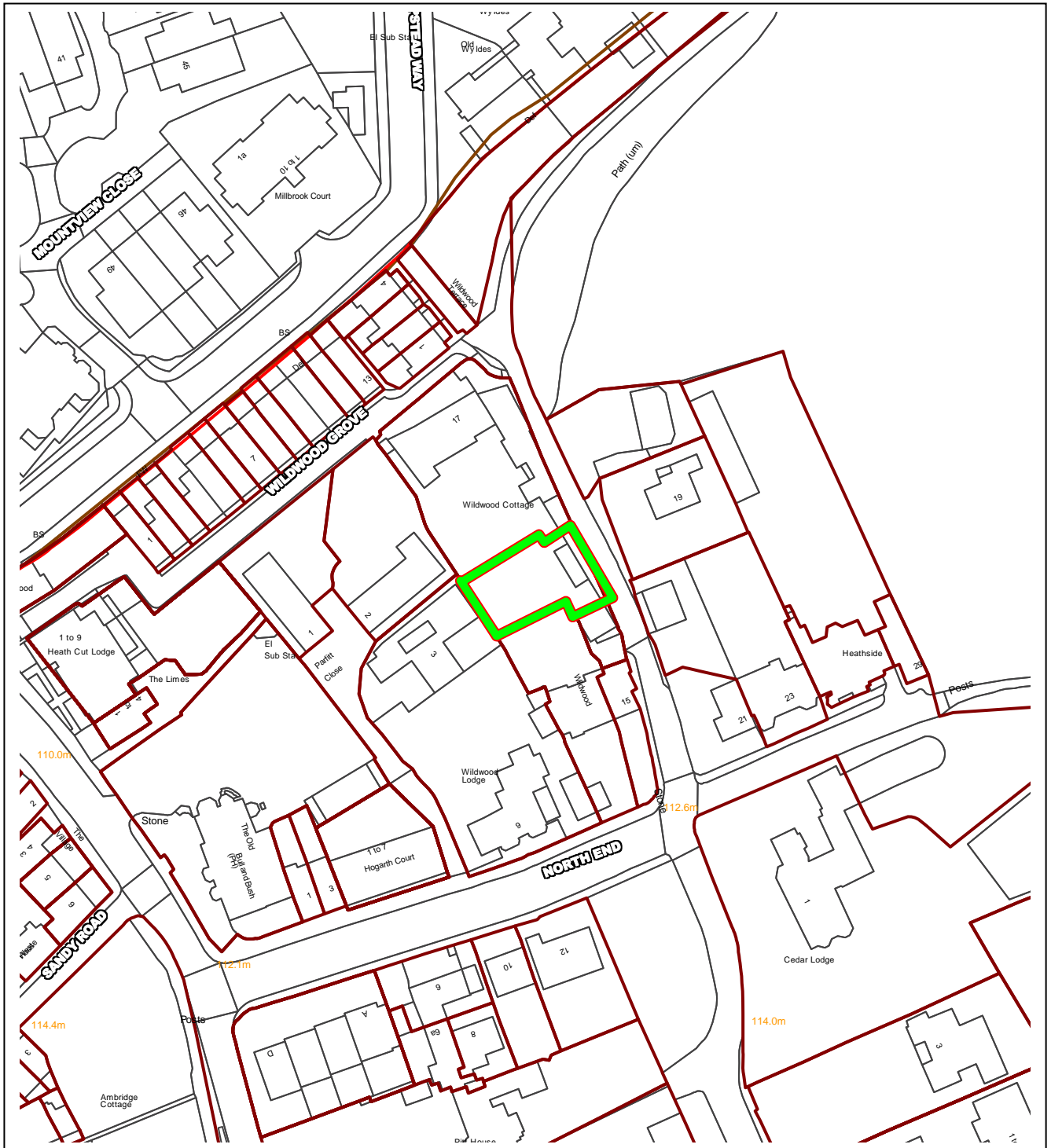


2021/6191/P - Land rear of Wildwood Cottage, 17 North
End, London, NW3 7HR



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Photos



1. Ariel view of site (marked with white arrow)

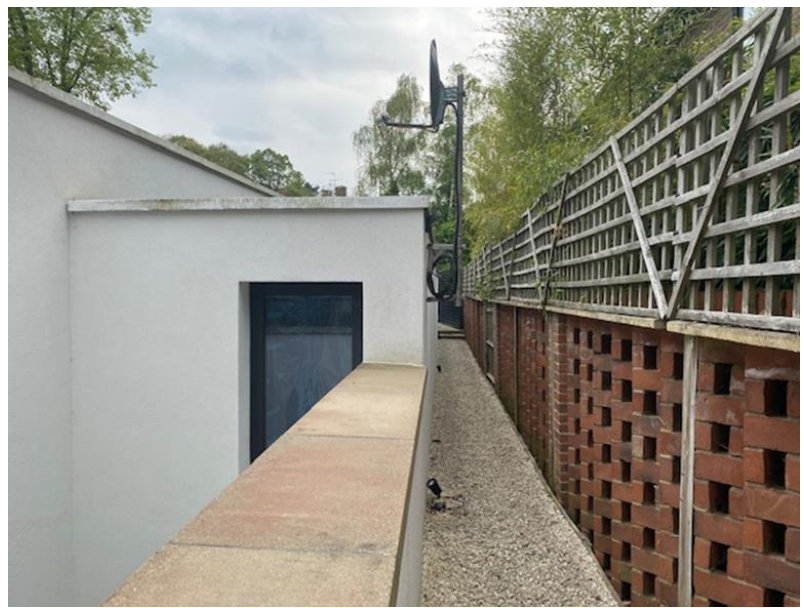
















Delegated Report (Members Briefing)		Analysis sheet	Expiry Date:	14/02/2021
		N/A / attached	Consultation Expiry Date:	21/03/2022
Officer			Application Number(s)	
Jaspreet Chana			2021/6191/P	
Application Address			Drawing Numbers	
Land rear of Wildwood Cottage 17 North End London NW3 7HR			<i>See draft decision notice</i>	
PO 3/4	Area Team Signature	C&UD	Authorised Officer Signature	
Proposal(s)				
Erection of new split-level two storey dwelling				
Recommendation:	Grant conditional planning permission subject to a Section 106 Legal Agreement			
Application Type:	Full Planning Permission			

Conditions or Reasons for Refusal:	<i>Refer to Draft Decision Notice</i>			
Informatives:				
Consultations				
Summary of consultation:	<p>Three site notice(s) were displayed near to the site on the 25/02/2022 (consultation end date 21/03/2022).</p> <p>The development was also advertised in the local press on the 24/02/2022 (consultation end date 20/03/2022).</p>			
Adjoining Occupiers:	No. of responses	03	No. of objections	01
Summary of consultation responses:	<p>Two residents wrote in to support the proposal.</p> <p>An objection has been raised from the applicants at 3 Parfitt Close, submitted by Martin Canaway (Architect), their comments are summarised below:</p> <ul style="list-style-type: none"> We have been appointed by the owner of 3 Parfitt Close to act on their behalf, for the proposed development borders their property. We note that no information has been provided by the applicant showing the proposed building elevation facing 3 Parfitt Close including the boundary wall treatment. We ask that an elevation of the building along this boundary is provided. <p><u>Officer response: Following discussions with the applicants new revised plans were submitted.</u></p> <ul style="list-style-type: none"> The attached drawings show that the proposed building would sit at a similar height to the existing boundary fence. The top portion of the existing fence is a trellis that allows light through reducing any perceived and/or actual overbearing on the lower level of 3 Parfitt Close. Part of the boundary would be replaced by a wall at full height of the existing boundary fence, it would be overbearing. This affects an already narrow access to the North of 3 Parfitt Close. We believe that the condition would be greatly improved if the proposed development was moved 1m away from this boundary. <p><u>Officer response: Following receipt of revised plans, the lower level of the new dwelling was pulled back by 1m.</u></p> <ul style="list-style-type: none"> In order to build the building on the boundary, access will be required across 3 Parfitt Close. No mention of this has been made in the application. Also how the foundations would be constructed so as not to affect the subterranean structure of 3 Parfitt Close. <p><u>Officer response: Access required onto a neighbouring property would be a considered a civil matter and should be discussed and agreed by both neighbouring parties. A BIA report was submitted with the application foundation details can be found in this.</u></p> <p>Following these comments officers liaised with the agent and sent across drawings to the neighbours agents however there was a discrepancy in the plan which led to the boundary wall being shown incorrectly, this was further amended and sent back to the agent and the following comments were then received via Cllr Stephen Stark:</p>			

- Thank you for your email and clarifications regarding errors on the application drawings. We are concerned that what was an unacceptable proposal has now become significantly worse. The new building would be built on the boundary line on top of their boundary wall significantly higher than their garden and house. It is 360mm (over one foot) than shown on the planning drawings and would impact their amenity.

Officer response: The lower level of the new dwelling has been pulled back by 1m and would not be built on top of 3 Parfitt Close's boundary wall.

- The applicant has stated that the increase in height on the boundary line is 'very marginal'. An increase of over one foot (360mm) is not marginal and the resulting scale and mass of the building would be materially larger including on my client's boundary. The applicants have suggested putting the boundary fence back after construction of their building, we assume this is to hide the wall. It is clearly not possible to build a boundary fence back on the existing line where a building would be located. The fence would have to be built on my client's land resulting in a loss of space, which is clearly unacceptable.

Officer response: Please see response above. No boundary fence is now proposed.

- The applicant has stated that the 360mm increase in the height of their building is 'unlikely to interfere with any day light to their property'....and 'have a negligible impact on sunlight'. No information was submitted with the application to assess the impact of the height of the building on neighbouring amenity, so the actual impact is unknown and these statements are speculative. The proposed building is now shown to be taller on the boundary line and therefore the impact on my clients light and amenity would clearly be worse. We request that some evidence is provided as to what the impact of the proposals would be on my client's amenity.

Officer response: Please refer to section 8 below.

- The general form and pattern of development in this part of the conservation area is for the rear of buildings facing gardens to sit back from the site boundary allowing garden and plot areas to relate to each other and be clearly defined. Building on the boundary in this case would not be in keeping with the existing pattern of development and have a negative impact on the character of the conservation area. Development onto the rear boundary of the garden of number 17 North End would erode the pattern of development in the conservation area.

Officer response: The lower level of the new dwelling has been pulled back by 1m and would not be built up to the boundary. Further information can be found in section 7 below.

- We note that no drawing has been provided showing the proposed elevation of the building when viewed from my client's land. It is reasonable for my clients to expect to see as part of the application, an accurate drawing showing what the building would look like on the boundary when viewed from their property.

Officer response: Drawing 'Proposed Garden NE Elevation 302 Rev C' shows what 5 Parfitt Close would see from there elevation.

- We originally suggested it might be acceptable to our clients if the building/wall was moved back by 1m behind the boundary fence to try and mitigate the overbearing scale and mass of the building on the boundary and the

negative impact on our client's amenity. This was also suggested in anticipation of potential buildability issues as we have detailed knowledge of the below ground engineering works and foundations on the boundary line.

Officer response: Please refer to previous officer comments above.

Following the above correspondence Campbell Reith's Audit report was uploaded to the file online, the following comments were raised again to Cllr Stephen Stark:

I have noticed that the attached basement impact report has been recently added to the planning portal. With reference to the conclusions on page 9 please note: -

1. 5.6 The area is subject to flooding. Our home was devastatingly flooded in July 2021 due to a flash rain storm. The flood impact was so severe that we had to move out for 18 months whilst remedial works took place. I understand that the owners of 13 North End that also sits next to the proposed development site, have suffered similar flooding due to local flash rain storms.

Officer response: Please refer to sections 9 and 10 below.

2. Para 5.6 of the report states "It is accepted that the development will not impact on the wider hydrogeology of the area and is not in an area subject to flooding." Bearing in mind that according to the government website, the development is in an area at a high risk of surface water flooding this raises concerns about the reliability of the entire report and whether this development requires further redesign around its proposed basement in addition to the concerns we have raised about its height.

Officer response: Please refer to sections 9 and 10 below.

3. 5.9 Our home sits adjacent to the boundary line of the proposed development and very close to said boundary line. Our building is over ground and basement. It is likely incorrect to assume that our building will not be influenced by the basement.

Officer response: Please refer to sections 8, 9 and 10 below.

4. We were not approached by Campbell Reith for consultation. This is concerning and indicates that the applicant continues to ignore the impact of their proposed development on our home.

Officer response: Please refer to Campbell Reith's Audit report, copy can be found on the council's website under the applications documents.

Following the above comments correspondence has been had between both the representatives of 3 Parfitt Close and the agents of 17 North End. However, officers feel the submitted information and additional information received in the course of the application addresses neighbour concerns and is in accordance with Camden's planning policies.

Site Description

The application site is located at the bottom of the garden of Wildwood Cottage (17 North End). The land is registered as a separate plot with its own access along North End. The site is currently a small garden area with grass, trees and is hidden behind a brick wall and hedge along North End. The surrounding neighbourhood comprises a variety of building types, character and architectural styles on large plots. The subject site is within Hampstead Conservation Area.

Relevant History

Land rear of Wildwood Cottage, 17 North End –

8702717 - Redevelopment of the rear part of the site by the erection of a split level dwelling house with car parking space – **Refused** on 13/01/1987 for the following reasons:

'It is considered that the proposed development would be contrary to the Council's policies for the "Fringes of the Heath" in that:

- a) it would have an adverse effect on the visual amenity and character of the area because of the removal of what is now a characteristic soft green landscape and its replacement by a hard landscape, and*
- b) it would involve the loss of private open space'.*

This decision was appealed (T/APP/X5210/A/88/097954/P4) and **allowed** on 01/03/1989.

The Studio North End -

2018/1315/P – Demolition of existing two-storey dwelling and erection of a replacement two-storey 4 bed dwelling (Class C3) – **Granted** subject to conditions – on 23/07/2018.

Relevant policies

National Planning Policy Framework (2023)

The London Plan (2021)

- SI13

Camden Local Plan (2017)

- **A1** – Managing the impact of development
- **A2** – Open Space
- **A3** – Biodiversity
- **A4** – Noise and vibration
- **A5** - Basements
- **CC1** – Climate change mitigation
- **CC2** – Adapting to climate change
- **CC3** – Water and flooding
- **CC5** – Waste
- **D1** – Design
- **D2** – Heritage
- **DM1** Delivery and monitoring
- **G1** – Delivery and location of growth
- **H1** – Maximising housing supply
- **H4** – Maximising the supply of affordable housing
- **H6** – Housing choice and mix
- **H7** – Large and small homes
- **T1** – Prioritising walking, cycling and public transport
- **T2** – Car-free development and limiting the availability of parking.

Hampstead Neighbourhood Plan (2018)

- Policy DH1: Design
- Policy DH2: Conservation areas and listed buildings
- Policy BA1: Basement Impact Assessments
- Policy BA2: Basement Construction Plans

Camden Planning Guidance:

- CPG Amenity (2021)
- CPG Basements (2021)
- CPG Design (2021)
- CPG Energy efficiency and adaptation (2021)
- CPG Home Improvements (2021)
- CPG Housing (2021)
- CPG Transport (2021)
- CPG Trees (2019)
- CPG Water and flooding (2019)

Conservation Statements:

- Hampstead Conservation Area Statement (2001)

Assessment

1. The proposal

1.1. Planning permission is sought for:

- Erection of a split-level two storey new dwelling
- It would be creating 169sqm of residential floor space over two levels
- It would have 3 bedrooms (2 bedrooms 1 playroom/bedroom) and an inset rear balcony
- Two living areas, kitchen-dining area
- Front bike store, bin store and air source heat pump
- 38sqm front court yard area
- 113sqm rear garden area
- Replacement front boundary wall and hedge

2. Revisions

2.1. It should be noted that during the course of the assessment officers' requested revisions to the proposed scheme. The revision made to the proposed scheme can be summarised as follows:

- The lower ground level of the new dwelling was set in from the boundary with 3 Parfitt Close to the rear by 1m.

3. Assessment

3.1. The principal considerations material to the determination of this application are as follows:

- Land use and dwelling mix
- Affordable Housing
- Design and conservation
- Occupier amenity
- Neighbour amenity
- Archaeology
- Ecology
- Suds/Flooding
- Trees/landscaping
- Transport impact
- Sustainability
- Conclusion
- S106 Obligations

4. Land use and dwelling mix

- 4.1. Self-contained housing is the priority land-use of the Local Plan. In particular, policy H1 aims to secure a sufficient supply of homes to meet the needs of existing and future households by maximising the supply of housing. As the proposed development involves the erection of a new dwelling that would be one new dwelling added to the housing supply, it is considered that the proposed development in land use terms is acceptable.
- 4.2. Policy H7 of the Local Plan seeks to secure a range of homes of different sizes in all residential development and will seek to ensure that all residential development contributes to meeting the priorities as set out in the Dwelling Sizes Priority Table. The Priority Table indicates that market housing with 2 or 3 bedrooms are the highest priority and most sought after unit size. Policy H7 defines large homes as homes with 3 bedrooms or more and small as units of less than 3 bedrooms.
- 4.3. The proposed development would comprise of 1 x 3-bedroom house, this would come under the high priority housing which is required. In this instance, the dwelling mix is acceptable; given that the modest house would be developed within an appropriate plot size (383 sq. m), which would be similar with other detached houses in close proximity to the site.

5. Affordable housing

- 5.1. Policy H4 of the Local Plan expects a contribution to affordable housing from all developments that provide one or more additional homes and involve a total addition to the residential floorspace of 100sqm or more. This is based on the assessment where 100sqm of floorspace is considered to provide capacity for one home. In developments that provide less than 10 units, affordable housing contributions can take the form of a payment in lieu (PIL).
- 5.2. Policy H4 also states that 'we will negotiate to seek an affordable housing contribution from schemes that involve one or more additional homes but will not seek a contribution from schemes that simply extend or replace an existing home'. As the proposal would involve the addition of 1 new dwelling, affordable housing would be calculated.
- 5.3. The new dwelling at land rear of Wildwood Cottage 17 North End would provide 169 sq.m of new residential floorspace. This dwelling would count as a new additional dwelling and therefore a contribution would be required. Following the figure within the guidance 'IH6 Calculation payments in lieu of affordable housing in Camden's Interim Housing' the following financial contribution has been worked out:

<i>Additional residential floorspace (GIA)</i>	<i>Capacity (rounded floorspace addition or 100m2)</i>	<i>Affordable housing target (capacity x 2%)</i>	<i>Affordable housing floorspace target</i>	<i>Payment in lieu figure per sq m (GIA)</i>	<i>Payment in lieu total</i>
169 sqm	1 additional dwelling	2%	169 x 2% = 3.38	£5000	3.38 x £5000 = £16,900

- 5.4. Given the above table £16,900 would be secured as a payment in lieu of affordable housing contribution within the s106 legal agreement.

6. Design and conservation

- 6.1. The Council's design policies are aimed at achieving the highest standard of design in all developments. The following considerations contained within policy D1 are relevant to the application: development should respect local context and character; comprise details and materials that are of high quality and complement the local character; and respond to natural features. Policy D2 'Heritage' states that in order to maintain the character of Camden's conservation areas, the Council will not permit development within conservation area that fails to preserve or enhance the character and appearance of that conservation area.
- 6.2. Hampstead Neighbourhood plan states: Policy DH1: Design – Development proposal should demonstrate how they respond and contribute positively to the distinctiveness and history of the character areas...through their design and landscaping. Development proposal should demonstrate how they respect and enhance the character and local context of the relevant character areas. Development proposals that fail to respect and enhance the character of the area and the way it functions will not be

supported.

- 6.3. Policy DH2: Conservation areas and listed buildings – New developments should take advantage of opportunities to enhance the conservation areas by protecting and where appropriate, restoring original architectural features, including walls, windows, doors, etc... that would make a positive contribution to the Conservation Area.
- 6.4. North End is defined in the Hampstead Conservation Area Statement as being a '*loose cluster of quite modest houses*' where 'greenery dominates and the relationship between the houses, their gardens and the Heath is particularly intimate.' Historically, Wildwood Cottage would have been set in large grounds of greenery, which abutted Hampstead Heath. The modern out buildings erected in the former garden have added to the original arrangement somewhat; however, one must consider whether the introduction of further built form in this traditionally 'open' space will further erode the traditional pattern of development.
- 6.5. However, it can be seen that this part of North End is rather more built-up than North End Avenue, and it can be argued that the proposed development can be seen to further contribute to the organic way in which this area has developed over time. The submission demonstrates that the North End sub-area of the Conservation Area has developed inwardly, and that North End itself forms a "nucleus" beyond which development is more sparse, and houses especially those which directly abut the Heath sit within large plots, usually towards the back of the plot, away from the street. It is not considered, therefore, that the introduction of additional built form in this position within the 'nucleus' will compromise the characteristic historic plot layouts within this part of the Conservation Area.

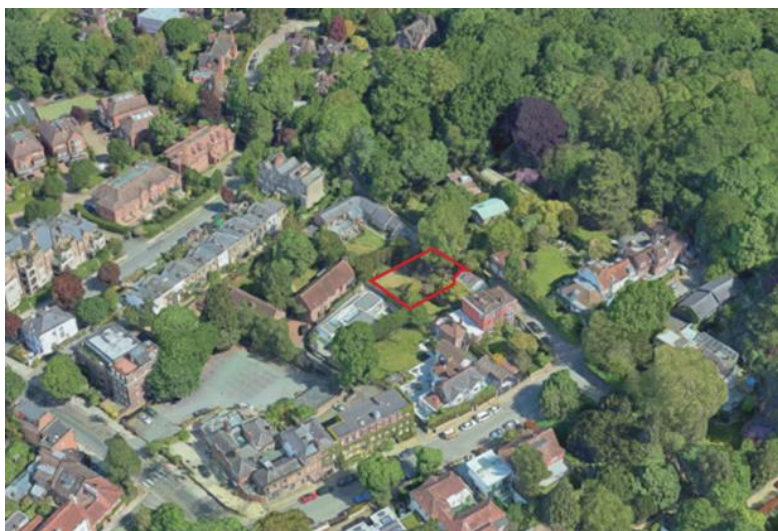


Fig.1 Aerial view showing cluster of buildings

- 6.6. North End is a low lying 'small enclave detached from urban life' (Hampstead Conservation Area Statement), attractive, close knit, but relatively low density, informal cluster of residential buildings dominated by Hampstead Heath to the north-east. Many dwellings are detached located in large plots with sizeable mature gardens. The distinctive character of North End comes from the unmade road and its relationship with the mature trees of the heath extension, which slopes steeply up from the road to the east. There is a number of listed buildings and buildings which make a positive contribution to the surrounding area (this includes Wildwood Cottage). Many of the houses sit behind brick walls from North End, which are animated by planting, and trees in private gardens. The scale of the buildings and dense greenery result in a village like character for the area.
- 6.7. The garden of Wildwood Cottage is separated from the highway, which follows its eastern boundary with an attractive brick wall and hedge (about 1.5m high). Beyond the wall and hedge, the garden has a small courtyard area and trees and bushes to the sides making the site almost split-level. Site history suggests that a proposal for a single storey split-level dwelling at the site was proposed adjacent to the brick wall. This was originally refused in 1987 and then appealed (T/APP/X5210/A/88/097954/P4) and allowed on 01/03/1989. This illustrates that a single dwelling was proposed and allowed on this site historically.
- 6.8. A large ash tree has great presence on the site; it is located at the top of the plot adjacent to the street. The proposed new dwelling has been designed around the tree, ensuring it is retained and remains prominent within the site keeping the openness and green character at the forefront of its design.

6.9. The proposed new dwelling has been designed as an upside down house in split-level two volumes. The upper ground level volume is set back (between 4.5m-5m) back from the new front boundary wall, which consists of the living areas and the bedrooms, are on the lower ground level. The front area comprises of a courtyard, which consists of the large ash tree, bike, bin and ASHP storage. The upper level incorporates glazing to its front elevation and to its rear elevation, which has access to an inset balcony; and creates a dual aspect for views east towards the heath and views west towards the Sandy Heath and views over the rear garden. The form and massing of the new dwelling is modest in that it is set back from the street level and its height is similar to that of the adjacent studio annexe at No.15 North End, which is low-lying set behind the boundary wall. The appearance from street level almost looks like a gap has been created along the street with the new dwelling being almost invisible from street view. The sloped roofs of both the volumes take homage to its surrounding landscape topography. The lower volume sloping roof is to be capped with a sedum green roof, which will add to the green outlook of the house and the surrounding area.

6.10. Given the low height of the building, and the fact that it will be concealed almost entirely within the boundary wall of the site, the proposed building will not be particularly visible within its site, and as such will not have a harmful effect on the character and appearance of the Conservation Area from the public realm.



Fig.2. Proposed street view (CGI version) with discreet set back of main volume

Detailed design

6.11. The detailed design of the new house will comprise traditional lime rendered walls with a rough finish to reduce weathering and to make sure the buildings age well. At the base, the render meets a slim concrete plinth, which will protect the property from potential damp and rainwater splashback, hardwood windows, and doors are proposed with glazing. Following pre-application advice, the amount of glazing proposed has been reduced thereby increasing a more solid-void ratio. Down lights will also be incorporated into the design at entrance level and with the reduced glazing will reduce any light spill. A condition to request details of all facing materials would be added to the planning decision.

6.12. The L-shaped split-level dwelling is arranged around two open spaces with distinct character. The two single storey volumes would create 169 sq. m of residential floor space with living spaces on the top volume and bedrooms on the lower level with views out onto the garden. The sloping roofs respond well to the topography of the site and the prevailing character of the surrounding buildings.

6.13. The internal spaces are exclusively designed with appropriate room sizes, ventilation and good general form and layout. An internal stair core leads to the lower level that accesses the bedrooms and another smaller living area and the garden area.

6.14. A new boundary wall is proposed to be constructed at the front of the site only, from reclaimed bricks, salvaged from the existing boundary wall, which is currently, is a state of disrepair. All additional bricks that are required will match the existing. The wall would be dwarfed by the height of the existing ash tree on site and would be subservient in scale, design and form. A method statement showing the mix of reclaimed, salvaged and new bricks to be used for the boundary wall as well as details of the mortar mix

would be secured by condition.

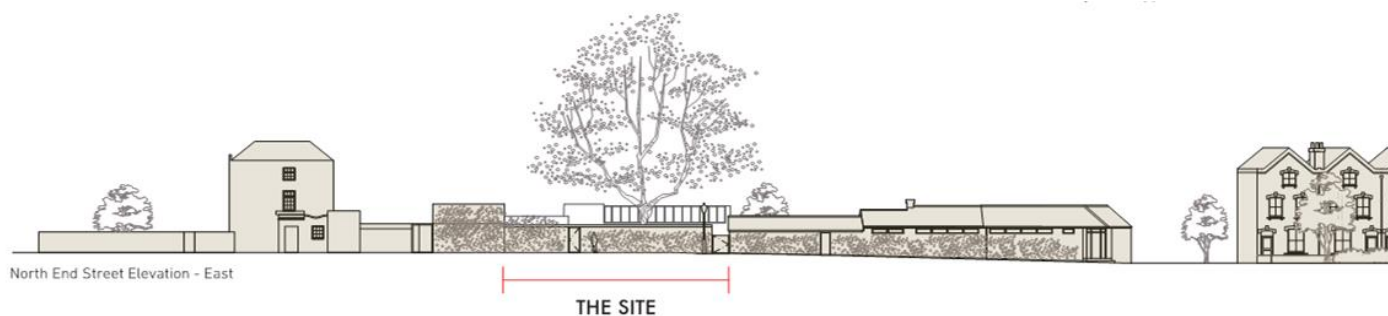


Fig.3 North End Street Elevation (Proposed)

- 6.15. It is therefore considered that the proposed new dwelling would maintain an appreciation of the green leafy surroundings. Overall, the design of the proposed development is acceptable. The scheme is considered to reflect on and respond to the existing form, scale, appearance and material palette that is observed along North End. The proposed new dwelling would not cause harm to the character and appearance of this part of the Hampstead Conservation Area.
- 6.16. Special attention has been paid to the desirability of preserving or enhancing the character or appearance of the conservation area under s.72 of the Listed Buildings and Conservation Areas Act 1990 as amended by the Enterprise and Regulatory Reform Act 2013.

7. Occupier amenity

- 7.1. The proposed new dwelling would have reasonable layouts with decent sized rooms with high ceilings and good access to daylight and natural ventilation. The unit would have a living room, study/playroom/bedroom, kitchen/dining and utility/plant/storage room on the ground floor and two spacious bedrooms on the lower ground floor. The unit would be dual aspect on the upper ground floor level the lower level would be single aspect but large windows and doors would serve the bedrooms and living space that look out over the garden. The rooms would meet the London Plan space standards for bedrooms and overall floor space. The proposed dwelling would have sufficient external amenity space of 113sqm in the form of (south-west elevation) private garden and front courtyard area of 38 sqm.

Dwelling	Bedroom/Persons	Floor space	London Plan Standard
1	3-bed/5persons	169sqm	93sqm

- 7.2. The dwelling would have separate refuse and cycle stores within the front/side of the property with easy access from the street. It would continue the same arrangement for waste as the existing dwelling and would provide easy access for waste collection crews.

8. Residential Amenity

- 8.1. Policy A1 seeks to protect the quality of life of occupiers and neighbours by only granting permission to development that would not harm the amenity of residents. This includes factors such as privacy, outlook, implications to natural light, artificial light spill, odour and fumes as well as impacts caused from the construction phase of development. Policy A4 seeks to ensure that residents are not adversely impacts upon by virtue of noise or vibrations.
- 8.2. The application site is within a large plot, which shares its boundaries with a number of different neighbouring properties. Wildwood Cottage (north of site) is set 22m away from the proposed new dwelling, 15 Wildwood Terrace (south of site) is 17m away from the proposed dwelling. The land slopes downwards slightly from North End and 3 Parfitt Close is directly adjacent to the rear boundary with the new dwelling.

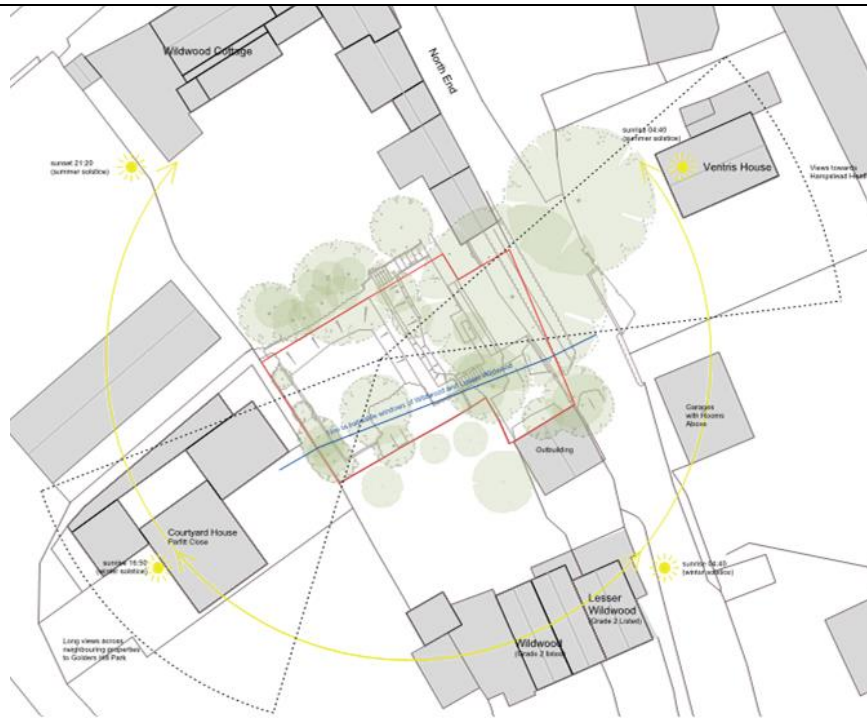


Fig. 4 Sunlight/daylight diagram

8.3. The distance, land level changes and heights of surrounding buildings ensures that the subject site would receive more than enough sunlight during the day in both winter and summer. The existing vegetation, low level of the property within the plot, and separation distances to the boundaries would reduce views of the new dwelling from nearby properties. The ridge of the upper ground floor level of the dwelling would be similar to that of the boundary wall and would not be significantly higher than neighbouring structures. Given these factors, it is not considered there would be a detrimental impact on the private open space nor would there be harm to the amenities of adjoining residents in regards to loss of light, overbearing, overshadowing or privacy impacts.

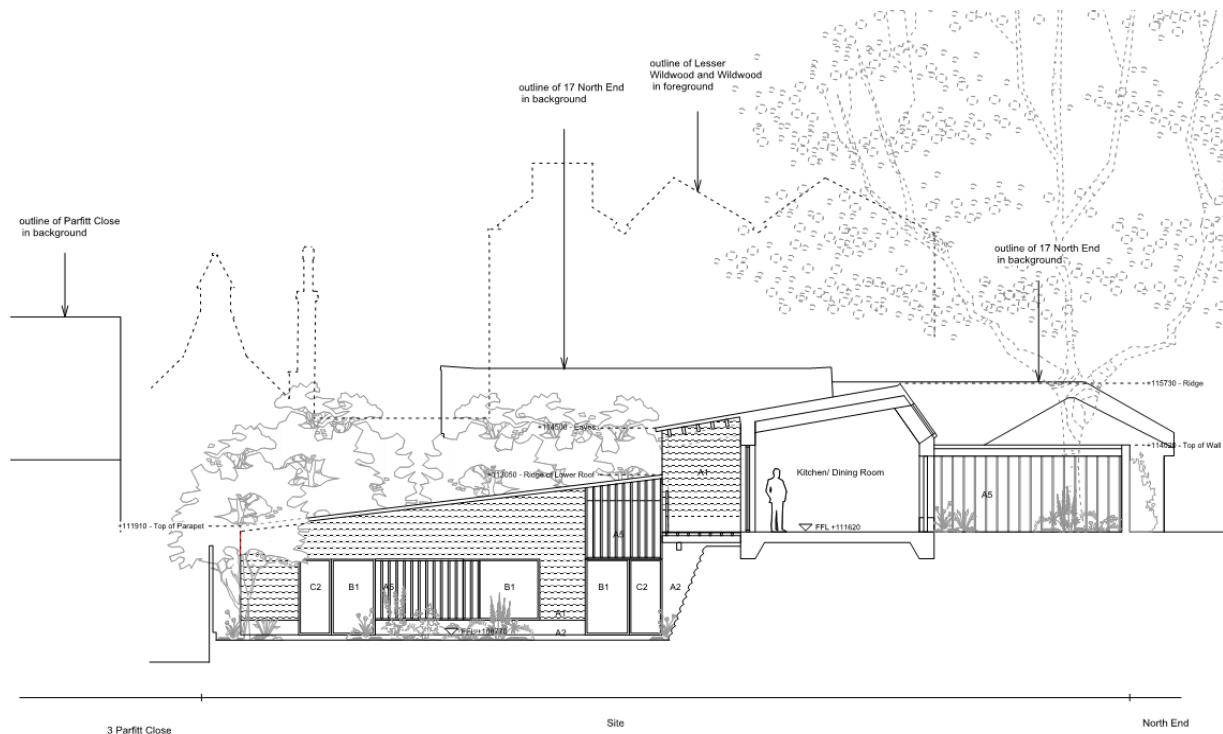


Fig.5 – Proposed garden NW Elevation to boundary with 3 Parfitt Close

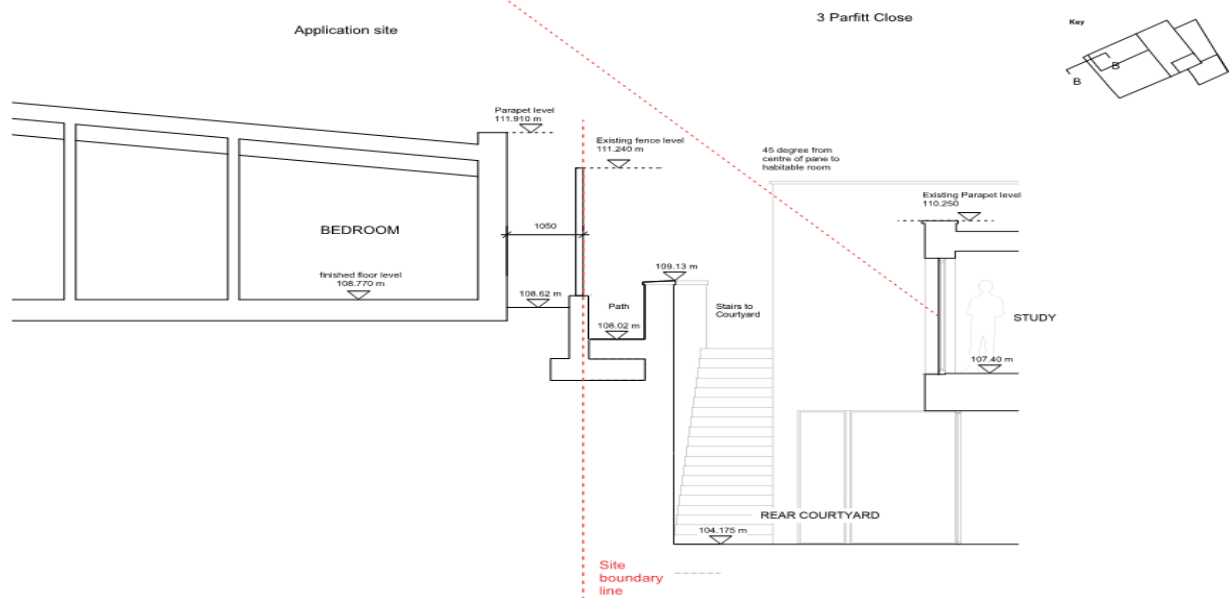


Fig.6. Section of proposed dwelling with 3 Parfitt Close to the rear

- 8.4. 3 Parfitt Close is a dwelling which is two storey but set at basement level below ground. No.3 itself is set back 2.5m from the rear boundary fence/wall. As can be seen from the above proposed elevation and section drawing the lower level of the new dwelling is set back 1m from the rear boundary with 3 Parfitt Close. The new dwelling would be 3.2m tall, 0.50m taller than the rear boundary fence but will also be set 1m away from the rear boundary fence. Given the separation distances of both properties from the boundary and ground level changes it is not considered the proposed new dwelling would have an adverse impact on the amenity of No.3 Parfitt Close in regards to loss of light, overshadowing or privacy impacts.
- 8.5. It is expected that plant equipment to be installed at the new dwelling will be provided in association with the air source heat pump and general maintenance of the house. A statement on air source heat pumps is included within the energy and sustainability report with this application and demonstrates that the proposed plant equipment will have no adverse effect on the living conditions of surrounding occupiers and the standard noise conditions would apply.
- 8.6. The proposed development is not considered to lead to a significant impact upon the amenities of any neighbouring residents. The development is thus considered to be in accordance with planning policies A1 and A4.

9. Archaeology

- 9.1. The Greater London Archaeology Advisory Service (GLAAS) were consulted during the course of the application as the site is identified as being within an area of archaeology interest (Archaeology Priority Area). The Archaeology advisor concluded that *'the proposal is unlikely to have a significant effect on heritage assets of archaeological interest'*. The proposal would therefore not have any impact on the archaeological priority area.

10. Ecology

- 10.1 An ecological appraisal was conducted on site. The site consists of a large rear garden with level changes, established ornamental planting and hedgerows and a large shed near the front boundary. The site provides suitable habitat for nesting birds and common reptiles and limited habitat for foraging and commuting bats. The appraisal found a lack of evidence of roosting bats within any aspect of the ruin on site. The Council's ecological officer was consulted on this appraisal and has concluded that it's findings are satisfactory. Due to lack of evidence of roosting bats and wildlife on site it was not considered necessary to recommend any ecological conditions.

11. Excavation works

- 11.1. The proposed development does not propose a basement however does propose a lower ground floor

level, which requires excavation of 2.30m below ground level. It would be constructed using a contiguous piled retaining walls will form the basement structure and reinforced concrete slab will form the basement floor following the installation of load bearing screw pile foundations.

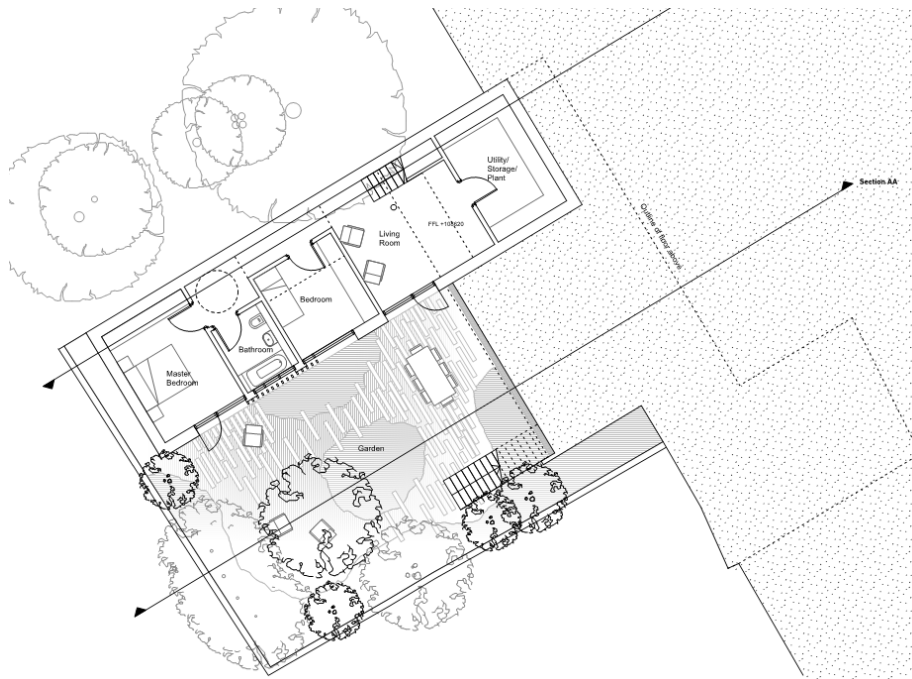


Fig.7. Lower ground floor level

- 11.2. A basement impact assessment has been carried out and has concluded the following:
- 'The risk of movement and damage to this development due to shrink and swell of the head deposit is low.
 - A ground movement assessment has concluded that the ground movements caused by the excavation and construction of the proposed development will be less than 6mm at their maximum. The damage impact to surrounding structures within the zone of influence has been assessed as category 1 in accordance with the Burland Scale.
 - The BIA concluded that there will not be a risk(s) to stability impact(s) to the development and/or adjacent sites due to the slopes.
 - The BIA has concluded there is a low risk of groundwater flooding, mitigation measures are proposed such as localised dewatering and trench support during construction and the lower ground floor should be protected against water moisture to grade 3 of BS8102:2009 in the permanent condition.
 - The BIA has concluded there is no impacts to the wider hydrogeological environment.
 - The BIA has concluded there is very low risk of surface water/sewer flooding'.
- 11.3. The basement impact assessment was assessed by the Councils basement engineers Campbell Reith and they have concluded that the BIA complies with the requirements of the CPG: Basements and is in accordance with Policy A5 Basements.

12. Suds/flooding

- 12.1. Policy CC3 seeks to ensure that development does not increase flood risk and reduces the risk of flooding where possible.
- 12.2. When this application was initially assessed by officers, it was not considered to be on a previously flooded street or in a local flood risk zone and so the site was not at risk of flooding. The neighbouring property to the rear at 3 Parfitt Close indicated that their property was flooded in 2021. Since the initial assessment, officers have fully investigated the flood event in July 2021 including considering evidence of internal flooding of properties. Officers can confirm that following this Parfitt Close is confirmed as a previously flooded street in 2021. Therefore, any increase in water run-off from the development site could increase risk of flooding to the neighbouring properties and therefore a flood risk assessment and drainage strategy was requested.
- 12.3. | A flood risk assessment and drainage strategy were submitted to the **Council** for consideration. The

conclusions of these can be summarised below:

Flood risk assessment:

- ‘The proposed development site lies in an area designated by the Environment Agency (EA) as flood zone 1, and is outlined to have a chance of fluvial flooding of less than 1 in 1,000 (<0.1%) in any year. A summary of the flood risk and any associated mitigation measures are summarised in the table (Figure 8 below):

Source of Flooding	Risk Level	Mitigation
Fluvial (Fluvial)	Low	N/A
Tidal	Low	N/A
Surface water (Pluvial)	Low	Maintain the existing boundary ground levels where the site is affected by low levels of surface water flooding, to avoid affecting the existing flow path to the west of the site. Landscaping can be utilised to further mitigate against ponded surface water egress beyond the current extent.
Groundwater	Medium-High	If possible, raise ground levels by 150 mm compared to the surrounding ground to mitigate against ponded surface water or groundwater. Follow Structural Engineer’s recommendations for the groundwater mitigation measures for the lower level. Provide anti floatation measures for the belowground drainage network as required. Additional site investigation works may be required in the lower ground floor area to further assess the groundwater levels and associated risk.
Sewers	Low	N/A
Reservoirs, Canals	Negligible	N/A

Fig.8. Flood risk summary

- The surface water drainage design for the site is to be developed in line with the LLFA requirements and applying appropriate mitigation factors.
- Overall, the flood risk assessment complies with the NPPF and the planning practice guidance and demonstrates that flood risk from all sources has been considered in relation to the proposed development. It is also consistent with the local planning authority’s requirements to flood risk’.

Surface water drainage strategy:

- ‘The site has been identified as at medium to high risk from groundwater flooding and at a low risk of flooding from all other sources. In accordance with local and national policy, a range of SuDs techniques have been considered for inclusion within the scheme with the aim of providing a reduction in runoff rates from the site.
- It is proposed that, in line with the policy requirements, the discharge from the development is restricted to 2 l/s for all rainfall event up to 1 in 100 year event. Attenuation storage is provided to accommodate all rainfall event up to and including 1 in 100 year storm plus 40% climate change allowance.
- A green roof, filter drains and a below ground attenuation tank are proposed for the development to provide SuDs features as well as water quality improvement measures.
- It is proposed that a new combined water connection is formed to the Thames Water combined sewer located in Wildwood Grove from the development via the neighbouring property, owned by the developer to provide an outfall for both surface and foul water.
- Overall the report demonstrates that the site can be developed in a sustainable manner to manage the surface water discharge from the development’.

12.4. A meeting was held with the Councils lead flood officer and the agents for 17 North End, the concerns raised by 3 Parfitt Close were discussed alongside the above conclusions of both the flood risk assessment and the surface water drainage strategy. The topography of the site was discussed showing the site levels, flood paths and capacity of the drainage network in the area to accommodate the development.

12.5. The following comments received from the agent during this meeting are a response to the neighbours’ concerns raised and comments raised by the councils flood officer:

- We have overlaid the EA surface water flood mapping with our proposals and information on the wider topography of the area. The surface water flow path appears to follow the general contour line for the area. The main flow path to 3 Parfitt Close comes from North End Avenue and does not cross the footprint of our proposed building. We are not proposing changes to the levels to the south-western corner of the site where the flow path borders our site. The lower level of our scheme is predominantly soft landscaping with French drains proposed to drain the surface water from the area.

Finished Floor Levels

- We are not proposing to make any significant changes to the lower level garden of our site. The proposed Finished Floor Level (FFL) of our Lower Ground Floor is 108.77m. Based on the levels information you sent through for the courtyard house, this is over 4.5m higher than the adjacent lower courtyard of the house at 3 Parfitt Close, and our site is also higher than the rear garden of 9 North End, and the gardens of Wildwood and Lesser Wildwood.

Drainage Strategy

- Our drainage strategy includes drainage arrangement for the building and the impermeable areas with the appropriate volume of attenuation to discharge the surface water to the surface water sewer at a restricted rate of 2l/s. Compared to the existing situation where there are no formal drainage arrangements for this area, it is a notable improvement. We have attached the response from Thames Water that confirms the Wildwood Grove sewer has capacity to take the rainwater from our proposed development so that will be put in place'.

12.6. Following the above comments the Council's lead flood officer was satisfied with the details in regards to flooding at 17 North End or its effects on the neighbouring property at 3 Parfitt Close. This is due to the significant change in levels between the properties, indicating that any surface water flow paths in a flood event would already route through the lower topography at the neighbouring property, with the proposed development at 17 North End very unlikely to have any effect on this. Therefore, it is not considered that the development would increase the risk of flooding to 3 Parfitt Close. Standard SuDs conditions evidence that the agreed drainage strategy has been implemented and further details on the green roof via condition are suggested and will be attached to any decision notice.

12.7. Officers are aware that further correspondence has been received from the residents at 3 Parfitt Close in respect of flooding concerns. Nevertheless, it is considered officers have considered the proposal in great detail and have assessed the proposal appropriately with advice from the Councils leading flood officer and are satisfied that the information submitted is sufficient to alleviate flooding concerns and the proposed development would be in accordance with the Council's local plan policies CC2 and CC3.

13. Trees/landscaping

13.1. The subject site has a large stock of trees on site, majority of these are relatively low quality category 'C' young and semi-mature trees and large shrubs providing screening. An arboricultural implications assessment has been carried out by the applicants and it summarises:

- A total of 22 individual trees and 1 group of trees with stem diameters of 75 mmm and above were surveyed. Of those, 1 tree is a category 'B' tree of moderate quality and 22 trees/tree group of category 'C' trees of low quality.
- Since the initial survey, trees T12, T13, T14, T16, and T19 have been removed and therefore are not part of the proposal. So there is now 17 category C trees.
- Any part of the proposal that encroaches onto any tree RPA or crown will require careful consideration of impacts and appropriate tree protection and mitigation measures would need to be put in place.
- The demolition of the existing shed and retaining wall has the potential to affect the RPA of T1. The surrounding RPA is partly protected by the existing shed base. The shed base is to remain as long as possible for construction of the dwelling. Once removal of the surface is required this should be done with care to avoid damage to the soil structure below – tree protection measures will be recommended.

13.2. Within the rear garden the Leyland Cypress (T6, T7) which screen the site from the adjoining properties are to be retained. New trees are also to be planted around the perimeter of dwelling as additional screening (T24, T25, T26, T27 and T28). Overall, it is not considered the proposed development

would have a significant impact on the trees on site.

13.3. The Council's tree officer was consulted on this proposal and he has assessed the arboricultural report and has recommended the standard tree protection and trees/foundation details conditions to be applied to the planning permission.

13.4. A sedum planted green roof is proposed on the lower volume of the proposed new dwelling. The green roof is to absorb rainwater from the pitched roofs, which will discharge into water butts located in the top, and bottom courtyards, which will store water to be used for gardening. Further details for the green roof would be requested via planning condition.

13.5. The top and rear courtyards are to consist of permeable paving, planting and gravel areas. Additional planters are to be incorporated adjacent to the street to add further greenery to the front of the site. Soft and hard landscaping is proposed as part of this proposal, more details would be secured via planning condition.

14. Transport impact

Car free

14.1. Policy T2 seeks to ensure car-free development across the borough. No off-street parking is currently provided at this site and none is proposed, this is welcomed. The submitted proposal will be subject to a Section 106 agreement, which would prevent any future occupants from being eligible to apply for on-street parking permits from the Council. Whilst this would prevent applicants from parking on the surrounding public highway, they may still be able to park on the private road subject to the agreement of the local resident's association/management company.

Cycle parking and bin store

14.2. According to the proposed development, three long stay cycle parking spaces would be required. The submitted floor plans show an external area near the bin store in the front courtyard area, which shows space for rubbish bins, and cycle parking details of this would need to be secured by planning condition.

Construction Management Plan (CMP)

14.3. The site is located within a highly sensitive residential area on the edge of Hampstead Heath. Due to the sensitive location of the site and the amount of excavation, demolition and construction works, a construction management plan (CMP) would need to be secured to minimize the impact on the highway infrastructure and neighbouring community. We would seek to secure a CMP implementation support contribution of £3,136 and a Construction Impact Bond of £7,500 as section 106 planning obligations in accordance with Policy A1, if the planning application were to be approved.

15. Energy and sustainability

15.1. In line with policies CC1 and CC2, the Council will require development to incorporate sustainable design and construction measures. All new-build minor residential development (less than 5x units) are required to submit a sustainability statement (details of which are to be commensurate with the scale of the proposed development) and follow the hierarchy of energy efficiency. The proposed development must also aim to achieve at least a 19% reduction in CO2 emissions.

15.2. The approach to energy usage would follow the principles of the energy hierarchy, focussing on the objective to 'Be Lean' the aim is to use energy saving techniques as much as possible throughout the project. It will allow for a low carbon project, using renewable energy via air source heat pumps in each house.

15.3. The proposed energy and sustainability strategy demonstrates that the proposed development:

- Will be taking a 'fabric first' holistic approach to reducing carbon emissions through good levels of insulation, passive solar design which will bring down energy demand.
- Timber structure to the roof and the construction of the external terrace will be in timber
- The walls will be constructed of stocks (structural blocks of clay rich earth and chopped straw) for both internal and external load bearing walls and wood fibre external wall insulation.

- Timber windows and doors with double-glazing, the clerestory light are of aluminium windows with thin profiles.
- The roofs, which will be sloped, would be topped with standing seam zinc.
- A green roof would be added to the lower volume of the dwelling
- An air source heat pump (ASHP) will be installed to reduce energy demand. The spaces will be heated via an efficient underfloor heating system and ventilated through an mechanical ventilation with heat recovery (MVHR) system.
- Given all these measures it would allow the new dwelling to achieve a compliant energy efficiency specification and would achieve a 56% reduction in energy consumption and 55% reduction in carbon emissions, exceeding the 19% reduction target set from Camden Council.

15.4. Policy CC2 (Adapting to climate change) is intended to apply to all development. All development should adopt appropriate climate change adaptation measures such as: measures to reduce the impact of urban and dwelling overheating, including application of the cooling hierarchy. In order to ensure that the ASHP's would not be used for comfort cooling a condition would be attached to ensure the cooling element is restricted, These energy efficiency measures and sustainable features will help to reduce the sites contribution to the causes of climate change and help create a more sustainable development, which will complement the heritage of the site and last well over time. The proposal would be in accordance with polices CC1 and CC2.

16. Conclusion

16.1. Overall, it is considered that the proposed development would respond well to its neighbouring buildings and would fill in an opportunity gap with a high standard of design that will positively contribute to the site and the wider area.

16.2. The proposed development is in general accordance with Policies G1, H1, H6, H7, A1, A3, A4, D1, CC1, CC2, CC3, CC5, T1, T2 and T4 of the Camden Local Plan 2017. The proposed development also accords with the London Plan 2021; the London Plan 2021 and the provisions of the National Planning Policy Framework 2023.

17. Recommendation

17.1. Grant conditional Planning Permission (subject to section 106 legal agreement)

17.2. The following heads of terms via a section 16 legal agreement:

- Affordable housing contribution £16,900
- Car free
- Construction management plan
- CMP implementation support contribution of £3,136
- Construction Impact Bond of £7,500
- Sustainability and energy measures

The decision to refer an application to Planning Committee lies with the Director of Regeneration and Planning. Following the Members Briefing panel on Monday 11th December 2023, nominated members will advise whether they consider this application should be reported to the Planning Committee. For further information, please go to www.camden.gov.uk and search for 'Members Briefing'.

Application ref: 2021/6191/P
Contact: Jaspreet Chana
Tel: 020 7974 1544
Date: 7 December 2023

Development Management
Regeneration and Planning
London Borough of Camden
Town Hall
Judd Street
London
WC1H 9JE

Phone: 020 7974 4444

planning@camden.gov.uk
www.camden.gov.uk/planning

Artefact
White Collar Factory
1 Old Street Yard
London
EC1Y 8AF

Dear Sir/Madam

DRAFT
FOR INFORMATION ONLY - THIS IS NOT A FORMAL DECISION
Town and Country Planning Act 1990 (as amended)

DECISION SUBJECT TO A SECTION 106 LEGAL AGREEMENT

Address:

Land rear of Wildwood Cottage
17 North End
London
NW3 7HR

Proposal:

Erection of new split-level two storey dwelling

Drawing Nos: 001, 010, 011, 020, 030, 031, 032, 110 Rev B, 111 Rev B, 112 Rev B, 200, 201 Rev A, 300 Rev A, 301, 302 Rev B, 303 Rev A, 304 Rev A. Affordable Housing Statement, Archaeological assessment, Arboricultural Implications Assessment Rev C, Root investigation by TreeRadar dated 25/05/2020, Basement Impact Assessment Rev 02, Geotechnical Ground Investigation, Photographic survey, Energy and Sustainability Statement, Ecological Appraisal, Design and Access Statement part 1, Design and Access Statement part 2, Construction management plan (CMP), Basement Impact Assessment Audit 13693-76 Rev F1.

The Council has considered your application and decided to grant permission subject to the conditions and informatives (if applicable) listed below **AND** subject to the successful conclusion of a Section 106 Legal Agreement.

The matter has been referred to the Council's Legal Department and you will be contacted shortly. If you wish to discuss the matter please contact **Aidan Brookes** in the Legal Department on **020 7 974 1947**.

Once the Legal Agreement has been concluded, the formal decision letter will be sent to you.

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.

Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 The development hereby permitted shall be carried out in accordance with the following approved plans: 001, 010, 011, 020, 030, 031, 032, 110 Rev C, 111 Rev B, 112 Rev B, 200, 201 Rev B, 300 Rev A, 301, 302 Rev C, 303 Rev B, 304 Rev B.

Affordable Housing Statement, Archaeological assessment, Arboricultural Implications Assessment Rev C, Root investigation by TreeRadar dated 25/05/2020, Basement Impact Assessment Rev 02, Geotechnical Ground Investigation, Photographic survey, Energy and Sustainability Statement, Ecological Appraisal, Drainage strategy artefact 11/23, Design and Access Statement part 1, Design and Access Statement part 2, Construction management plan (CMP), Basement Impact Assessment Audit 13693-76 Rev F1, Flood Risk Assessment Sept 2023, Surface Water Drainage Strategy Sept 2023.

Reason: For the avoidance of doubt and in the interest of proper planning.

- 3 Before the relevant part of the work is begun, detailed drawings, or samples of materials as appropriate, in respect of the following, shall be submitted to and approved in writing by the local planning authority:

- a) Details including sections at 1:10 of all windows (including jambs, head and cill)

- b) Manufacturer's specification details of all facing materials (to be submitted to the Local Planning Authority) and samples of those materials (to be provided on site).

The relevant part of the works shall be carried out in accordance with the details thus approved and all approved samples shall be retained on site during the course of the works.

Reason: To safeguard the appearance of the premises and the character of the immediate area in accordance with the requirements of policy D1 and D2 of the London Borough of Camden Local Plan 2017 and Policies DH1 and DH2 of the Hampstead Neighbourhood Plan 2018.

- 4 Before the development commences, details of secure and covered cycle storage area for 3 cycles shall be submitted to and approved by the local planning authority. The approved facility shall thereafter be provided in its entirety prior to the first occupation of any of the new units, and permanently retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy T1 of the London Borough of Camden Local Plan 2017 and Policy TT4 of the Hampstead Neighbourhood Plan 2018.

- 5 Prior to the commencement of any works on site, tree protection measures shall be installed and working practices adopted in accordance with the arboricultural report dated 16/11/2021 'Arboricultural Implications Assessment'. All trees on the site, or parts of trees growing from adjoining sites, unless shown on the permitted drawings as being removed, shall be retained and protected from damage in accordance with BS5837:2012 "Trees in Relation to Construction" and the approved protection details.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenity of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017 and Policy NE2 of the Hampstead Neighbourhood Plan 2018..

- 6 Prior to commencement of any works on site, details of the design of building foundations and the layout, with dimensions and levels, of service trenches and other excavations on site in so far as these items may affect trees on or adjoining the site, shall be submitted to and approved in writing by the local planning authority. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development will not have an adverse effect on existing trees and in order to maintain the character and amenities of the area in accordance with the requirements of policies A2 and A3 of the London Borough of Camden Local Plan 2017 and Policies DH1 and BA2 of the Hampstead Neighbourhood Plan 2018..

- 7 Prior to commencement of the development, full details of the sustainable drainage system including 9 m³ attenuation tank, a 62 m² green roof and anti-flood valve on site drainage shall be submitted to and approved in writing by the local planning authority. Such a system should be designed to accommodate all storms up to and including a 1:100 year storm with a 40% provision for climate change such that flooding does not occur in any part of a building or in any utility plant susceptible to water, or on any part of the entire development site for up to and including a 1:30 year storm. The details shall demonstrate a site run-off rate conforming to the greenfield run-off rate or other rate of 2l/s for all rainfall event up to 1 in 100 year storm as approved by the Local Planning Authority. An up-to-date drainage statement, SuDS pro-forma, a lifetime maintenance plan and supporting evidence should be provided including:

- The proposed SuDS or drainage measures including storage capacities
- The proposed surface water discharge rates or volumes

Systems shall thereafter be retained and maintained in accordance with the approved details.

Reason: To reduce the rate of surface water run-off from the buildings and limit the impact on the storm-water drainage system in accordance with policies CC2 and CC3 of the London Borough of Camden Local Plan 2017 and Policy SI 13 of the London Plan 2021.

- 8 Prior to occupation, evidence that the drainage system has been implemented in accordance with the approved details as part of the development shall be submitted to the Local Planning Authority and approved in writing. The systems shall thereafter be retained and maintained in accordance with the approved maintenance plan.

Reason: To reduce the rate of surface water run-off from the buildings and limit the impact on the storm-water drainage system in accordance with policies CC2 and CC3 of the London Borough of Camden Local Plan 2017 and Policy SI 13 of the London Plan 2021.

- 9 Prior to commencement of above-ground development, full details in respect of the green roof in the area indicated on the approved roof plan shall be submitted to and approved by the local planning authority. Details of the green roof provided shall include: species, planting density, substrate and a section at scale 1:20 showing that adequate depth is available in terms of the construction and long term viability of the green roof, as well as details of the maintenance programme for green roof. The buildings shall not be occupied until the approved details have been implemented and these works shall be permanently retained and maintained thereafter.

Reason: In order to ensure the development undertakes reasonable measures to take account of biodiversity and the water environment in accordance with policies A3, CC2 and CC3 of the London Borough of Camden Local Plan 2017.

- 10 Notwithstanding the provisions of Article 3 of the Town and Country Planning (General Permitted Development) Order 1995 as amended by the (No. 2) (England) Order 2008 or any Order revoking and re-enacting that Order, no development within Part 1 (Classes A-H) [and Part 2 (Classes A-C)] of Schedule 2 of that Order shall be carried out without the grant of planning permission having first been obtained from the local planning authority.

Reason: To safeguard the visual amenities of the area and to prevent over development of the site by controlling proposed extensions and alterations in order to ensure compliance with the requirements of policies G1, D1, D2 and A1 of London Borough of Camden Local Plan 2017.

- 11 No development shall take place until full details of hard and soft landscaping and means of enclosure of all un-built, open areas have been submitted to and approved by the local planning authority in writing. [Such details shall include details of any proposed earthworks including grading, mounding and other changes in ground levels.] The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.

Reason: To ensure that the development achieves a high quality of landscaping which contributes to the visual amenity and character of the area in accordance with the requirements of policies A2, A3, A5, D1 and D2 of the London Borough of Camden Local Plan 2017 and Policy NE2 of the Hampstead Neighbourhood Plan 2018.

- 12 The development hereby approved shall achieve a maximum internal water use of 110litres/person/day. The dwelling/s shall not be occupied until the Building Regulation optional requirement has been complied with.

Reason: To ensure the development contributes to minimising the need for further water infrastructure in an area of water stress in accordance with Policies CC1, CC2, CC3 of the London Borough of Camden Local Plan 2017.

- 13 The external noise level emitted from the ASHP installation at the development hereby approved shall be lower than the typical background noise level by at least 10dBA, by 15dBA where the source is tonal, as assessed according to BS4142:2014 +A1:2019 "Methods for rating and assessing industrial and commercial sound." at the nearest and/or most affected noise sensitive premises, with the unit operating at maximum capacity.

Reason: To ensure that the amenity of occupiers of the development site/ surrounding premises is not adversely affected by noise from mechanical installations/ equipment in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

- 14 Prior to use, machinery, plant or equipment at the development shall be mounted with proprietary anti-vibration isolators and fan motors shall be vibration isolated from the casing and adequately silenced and maintained as such.

Reason: To ensure that the amenity of occupiers of the development site and surrounding premises is not adversely affected by vibration in accordance with the requirements of policies A1 and A4 of the London Borough of Camden Local Plan 2017.

- 15 Before the development commences, details of bin store shall be submitted to and approved by the local planning authority. The approved facility shall thereafter be provided in its entirety prior to the first occupation of any of the new units, and permanently retained thereafter.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy T1 of the London Borough of Camden Local Plan 2017 and Policy DH1 of the Hampstead Neighbourhood Plan 2018.

Informative(s):

- 1 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts that cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Judd St, Kings Cross, London NW1 2QS (tel: 020-7974 6941).

- 2 This approval does not authorise the use of the public highway. Any requirement to use the public highway, such as for hoardings, temporary road closures and suspension of parking bays, will be subject to approval of relevant licence from the Council's Streetworks Authorisations & Compliance Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No 020 7974 4444). Licences and authorisations need to be sought in advance of proposed works. Where development is subject to a Construction Management Plan (through a requirement in a S106 agreement), no licence or authorisation will be granted until the Construction Management Plan is approved by the Council.
- 3 All works should be conducted in accordance with the Camden Minimum Requirements - a copy is available on the Council's website (search for 'Camden Minimum Requirements' at www.camden.gov.uk) or contact the Council's Noise and Licensing Enforcement Team, 5 Pancras Square c/o Town Hall, Judd Street London WC1H 9JE (Tel. No. 020 7974 4444)

Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You must secure the approval of the Council's Noise and Licensing Enforcement Team prior to undertaking such activities outside these hours.

- 4 All site operatives must be made aware of the possible presence of bats during works. If any bats or signs of bats are found, works should stop immediately and an ecologist should be contacted. This is to ensure compliance with the Habitats Regulations and the Wildlife & Countryside Act 1981 (as amended). The applicant may need to apply for a protected species licence from Natural England, evidence of which should be submitted to the Local Authority.
- 5 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Camden Town Hall, Argyle Street, WC1H 8EQ

In dealing with the application, the Council has sought to work with the applicant in a positive and proactive way in accordance with paragraph 38 of the National Planning Policy Framework 2021.

You can find advice about your rights of appeal at:

[https://www.gov.uk/appeal-planning-decision.](https://www.gov.uk/appeal-planning-decision)

Yours faithfully

Supporting Communities Directorate

