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Dear Dominique James,

PRE-APPLICATION ADVICE LETTER

30 Fitzjohn's Avenue, NW3 5NB

Thank you for submitting a pre-planning application enquiry for the above property. The required fee of £489.70 was received on 03/10/2023.

1. Proposal

The proposal is for the installation of a glazed balustrade on the second-floor flat roof to provide a roof terrace, including the replacement of a rear window with patio doors.

2. Site Description

The site comprises a five-storey detached dwelling located on the east side of Fitzjohn's Avenue, south of the junction with Nutley Terrace, which has been subdivided into self-contained flats. The red brick dwellings which line the east and west side of Fitzjohn's Avenue are uniform in size, design, and materiality. The strong collective architectural style contributes positively to the robust character and appearance of the streetscape and thus of the wider Fitzjohn's Netherhall Conservation Area.

The property is not listed but located within the Fitzjohn's Netherhall Conservation Area and noted within the Conservation Area Statement as being a positive contributor to the conservation area.

3. Relevant Planning History

N/A

4. Policies

National Planning Policy Framework 2023

The London Plan 2021

Camden Local Plan 2017

- A1 Managing the impact of development
- D1 Design
- D2 Heritage

Camden Planning Guidance (2021)

- CPG (Design)
- CPG (Amenity)
- CPG (Home improvements)

Fitzjohn's Netherhall Conservation Area Appraisal & Management Plan (2022)

5. Assessment

The planning considerations material to the determination of this assessment are as follows:

- Design and Heritage
- Amenity

6. Design and Heritage

The Council's design policies are aimed at achieving the highest standard of design in all developments, including where alterations and extensions are proposed. Policy D1 of the Local Plan requires development to be of the highest architectural and urban design quality which improves the function, appearance, and character of the area. The Council welcomes high quality contemporary design which responds to its context. Camden's Local Plan Document is supported by Supplementary Planning Guidance CPG Design and CPG Home Improvements.

Local Plan Policy D2 states that the Council will preserve and, where appropriate, enhance Camden's rich and diverse heritage assets and their settings, including conservation areas. To comply with Policy D2, extensions to historic properties should integrate with and enhance the host building and not be dominant or obtrusive.

The property is listed as a positive contributor in the Fitzjohn's Netherhall Conservation Area Statement. This pre-application has been discussed with a Conservation Officer who has provided observations on the proposals as follows:

Rear Roof Terrace

The proposed roof terrace would occupy the entire footprint of the rear closet wing measuring approximately 5.6m x 7.2m (39.36sqm). An obscure glazed balustrade measuring 1.7m in height will be installed along the north, south, and west edges of terrace, while a glazed balustrade measuring 1.1m in height is proposed along the east edge. The glazed balustrade will be installed on top of an existing brick parapet.

The principle of the roof terrace is acceptable given the number of precedents on other properties along Fitzjohn's Avenue; however, concerns are raised about the size and scale

of the terrace specifically with regards to impacts on the positively contributing host building and the wider conservation area.

The roof terrace and obscure glazed balustrade would be visible from public views along Fitzjohn's Avenue, and given the choice in materiality, is considered to harm the character and setting of the host building and the wider conservation area. The use of glass balustrades is not supported within the context of a conservation area; it is not a traditional material and would result in an incongruous alteration to the historic building. Glass can reflect sunlight and attracts and shows dirt easily, resulting in what is often a very visible feature on a building, especially when at high level. Although permissions may have been granted in the past for glazed balustrades on other properties, the Council encourages the use of more traditional materials such as metal or wood instead. This is supported by the guidance set out in CPG Design in para. 5.18 which states that "glazed balustrades around balconies or roof terraces are unlikely to be acceptable on traditional buildings because they can appear unduly prominent", and CPG Home Improvements para. 2.2.3 which states that "for traditional buildings, metal railings are preferred as they integrate well with the building's character, are more resilient, and require low maintenance".

It is considered that the visibility of the roof terrace and the use of glazed balustrades would constitute a harmful alteration to the positively contributing host building and the wider conservation area. Thus, the proposal as presented is considered to be contrary to Policies D1 and D2 of the Camden Local Plan as well as the guidelines within the Fitzjohn's Netherhall Conservation Area Statement.

New Rear Door

The proposal includes the replacement of an existing window overlooking the closet wing roof with a timber glazed door to provide access to the terrace. The installation of a timber door of matching style does not raise any conservation and design concerns.

7. Amenity

Policy A1 of the Local Plan seeks to protect the quality of life of occupiers and neighbours in terms of privacy, outlook, daylight and sunlight. The proposed roof terrace is proposed to occupy the entire footprint of the rear closet wing, extending to the existing roof edges.

The proposed roof terrace includes the use of 1.7m tall obscure glazed balustrades along the north and south edges to reduce any overlooking or privacy impacts to neighbouring residential properties. Overall, the proposed roof terrace is not considered to lead to any impacts to neighbouring amenity with regards to daylight/sunlight, outlook, or privacy.

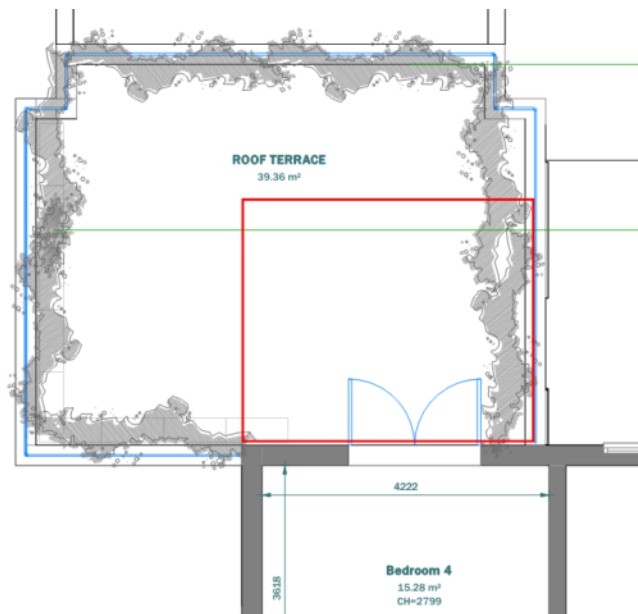
To reduce the need for privacy screening, the roof terrace could be scaled back, and area reduced (see Summary). This would eliminate the harm to the host building, as outlined in the design section, and allow for longer views from the terrace without any obstructions.

8. Summary

The proposed roof terrace, due to its size and choice of balustrade materiality, would have a negative and harmful impact on the positively contributing host building and wider conservation area.

Therefore, the proposed roof terrace is contrary to Policies D1 and D2 of the Camden Local Plan. As such, if the current proposal was submitted as a planning application, it would not be supported.

To alleviate the concerns outlined above, it is suggested that the roof terrace be reduced in size to occupy the area behind the rear flank wall of the fourth floor. The result is a roof terrace that is of sufficient size to provide outdoor amenity area for occupiers while reducing the impact on the host building and wider conservation area (see image below). As suggested above, the materiality of the balustrades should be reconsidered, and the use of metal or timber explored.



This document represents an initial informal officer view of your proposals based on the information available to us at this stage and would not be binding upon the Council, nor prejudice any future planning application decisions made by the Council.

If you have any queries about the above letter or the attached document, please contact me on Daren.Zuk@Camden.gov.uk.

Thank you for using Camden's pre-application advice service.

Yours sincerely,

Daren Zuk

**Senior Planning Officer
Planning Solutions Team**