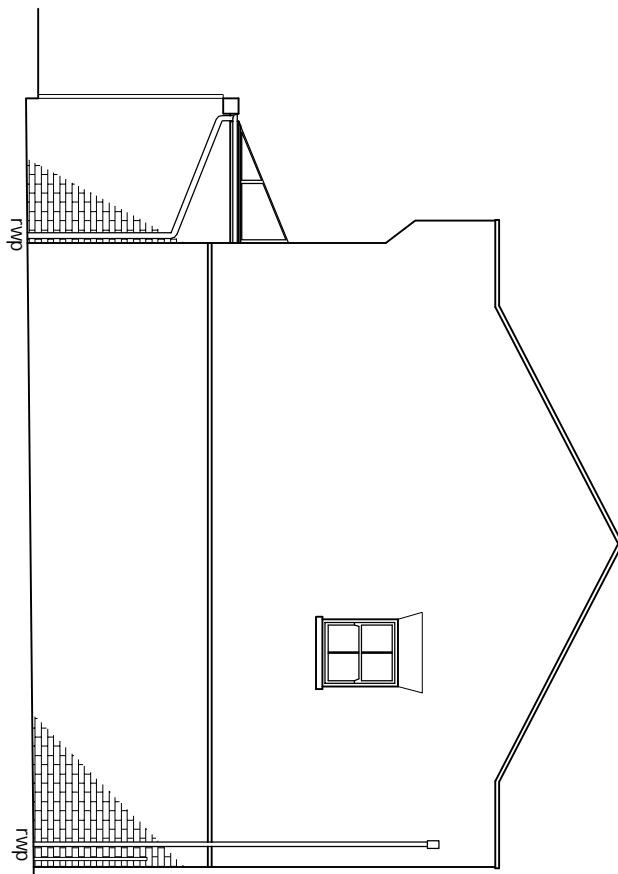


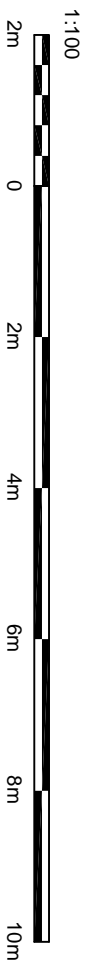
EXISTING FRONT ELEVATION

Scale 1:100



EXISTING SIDE ELEVATION

Scale 1:100



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ALL STRUCTURAL ELEMENTS (such as beams, inlets, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE. THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

DRAWING STATUS	PLANNING		
REV.	DATE	NAME	DESCRIPTION

Architectural Design Studio

DPL

4 ST ANNES, DORIC WAY,
EUSTON, LONDON NW1 1LG
+44 07838 135 957

GENERAL NOTES:

- Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineers calculations and any specialist supplier drawings. Homeowner is responsible and should ensure that all working drawings and calculations are completed, approved by Building Control or Planning Departments & that they are the current revised drawings before any works start on site.
- Inform the Building Control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.
- Verify boundary lines & ground conditions including checking positions and new connections of all gas, electricity, water, drainage, etc. before commencing works.
- DPL are not responsible for builders changing design methods from proposed works. The client is responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.
- DPL are not responsible for building changing design methods from proposed works. The client is responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertain a land search should be carried out by the homeowner/contractor.
- Owner is responsible for providing suitable and safe working conditions, including suitable and safe access to the site from the start to end of building works requested by any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.
- Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (Clients responsibility)

OTHER NOTES:

- Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place. Do not scale off this drawing as the scaling may be off.
- Works carried out under a building notice or prior to approval of drawings are at the contractor's/owner's risk. (All DPL drawings must be approved before works commence)
- Structural design and construction must be approved by the relevant authorities and departments are fully responsible for the likelihood of condemned works.
- Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or supplier drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical works.
- Where the contractor is to provide any additional work, it should be agreed in writing with DPL before commencing and purchase of materials be made so an alternative design can be recommended and approved by building control or the engineer before works can commence.
- All of DPL's structural designs are subject to building control. It is the contractor's responsibility to ensure that all drawings are approved by building control before commencing works. If not approved, the contractor should return the drawings to DPL for review and approval.
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OTHER NOTES:

- All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed roof finishes should be specified in the drawings. For a permitted development, roof finishes are not permitted to be more than 10% of the total roof area. For a full planning application, roof finishes are not permitted to be more than 25% of the total roof area.
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OTHER NOTES:

- An inspection of the underground drainage was not possible on survey. Contractor should check drawings for any underground drainage and ensure it is correctly installed and sealed. ALL DRAWINGS SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.
- THIS DRAWING HAS BEEN CREATED BY DISCOUNT PLANS LTD FOR THE "CLIENT" ONLY. A BOUND CONTRACT HAS BEEN MADE BETWEEN BOTH PARTY'S IN WHICH A SIGNED CONTRACT FOR CREATION OF WORKS INVOLVING PERSON-WORKING HOURS FOR THIS DRAWING HAS BEEN MADE. NO REFUND WILL BE GIVEN OR CLAIM MADE OF DRAWING AND ANY OTHER DRAWING'S RELATING TO THIS PROJECT FOR WHATEVER REASON CAN BE SHOWN. THESE NOTES WILL BE SUBJECT TO LEGAL CONSIDERATION BROUGHT AGAINST THEM. CLIENT ACCEPTING THESE TERMS HAS AGREED ON ALL OF THE ABOVE BY SIGNING CONTRACT BETWEEN BOTH PARTY'S AND UNDERSTANDS THAT NO REFUND CAN BE GIVEN.
- All drawings are subject to building control. It is the contractor's responsibility to ensure that all drawings are approved by building control before commencing works. If not approved, the contractor should return the drawings to DPL for review and approval.
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SITE ADDRESS
13 HARMWOOD STREET,
CAMDEN TOWN, LONDON, NW1 8DW

DRAWING TITLE EXISTING DRAWINGS	
DRAWN AT	HEAD OFFICE
SCALE	AS SHOWN
DRAWING NO.	DPL.03
REVISION	@ A3 10. NOVEMBER. 2023
DRAWN BY	
WWW.DISCOUNTPLANS.LTD.COM	