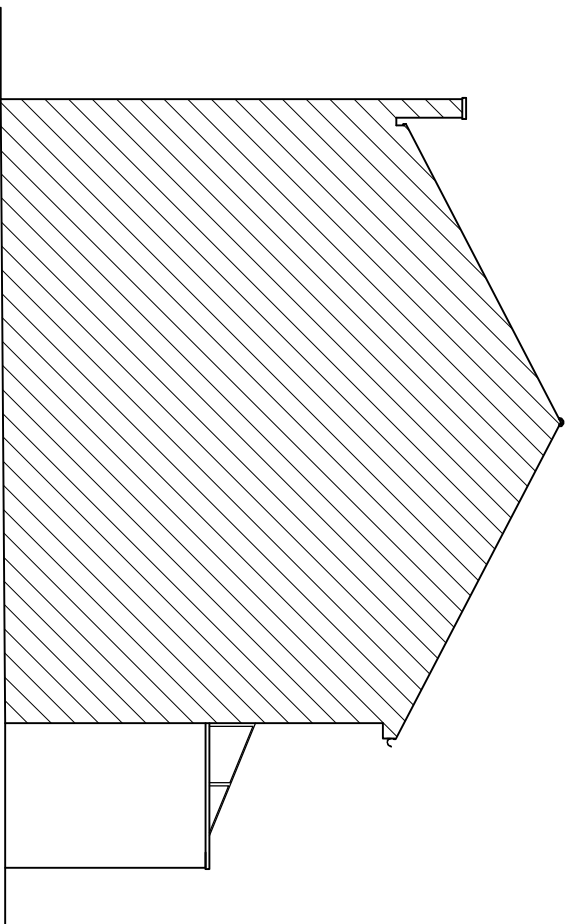


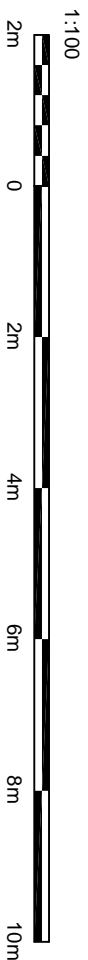
EXISTING REAR ELEVATION

Scale 1:100



EXISTING Adj. SIDE ELEVATION

scale 1:100



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ALL STRUCTURAL ELEMENTS (such as beams, lintels, joists, rafters, columns, walls, foundations and etc.) SHOWN ON DRAWINGS ARE ONLY INDICATIVE, THEY ARE SUBJECTED TO FURTHER STRUCTURAL ENGINEER'S CONSIDERATION.

DRAWING STATUS	PLANNING	GENERAL NOTES:
REV	DATE	NAME
		DESCRIPTION

GENERAL NOTES:

Any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural

1. Ensure that all working drawings and calculations are completed, approved by Building Control or Engineers calculations and any specialist supplier's drawings. Prior to commencement of building works the contractor or homeowner is responsible and should:-

2. Inform the Building control department that the works are about to commence on site after receiving an approved decision from planning / building control in writing for your proposed works.

3. Very bounded lines & ground conditions including checking positions and new connections of oil gas, electrical, water & other services drawings etc., within the site prior to the commencement of excavations. Owner is responsible for establishing own boundary lines on DPL are not responsible for checking land ownership even if drawings have been approved by the planning and building control departments. If uncertainty a land search should be carried out by the homeowner/contractor.

5. Owner is responsible for purchasing additional materials and covering extra engineering design costs for any additional structural design change on site from the start to end of building works requested by building control or any other third party's instruction during building works.

6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings or building over a public sewer. (clients responsibility)

7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary approvals and temporary

8. Works carried out under a building notice or prior to approval of drawings are at the supporting structures are accounted for and that all necessary propping and temporary supports are in place, "do not scale off this drawing as the scaling may be off"

Builders building without plans being approved by planning & building control departments are fully responsible for the likelihood of condemned works.

9. Any discrepancies, either between written and site dimensions or between this drawing and other consultant's or suppliers drawings, should be brought to the immediate attention of DPL before executing the structural, drainage, mechanical and electrical

works. This includes types of materials if materials shown on drawings do not match which is on site then this will need to be brought to DPL attention straight away before works commence and purchase of materials be made so an attentive design can be rechecked and approved by building control or the engineer before works can commence.

10. All of DPL structural designs are subject to footings being 1 m deep, if however the existing foundation is different a trail-hole will need to be dug to establish the existing foundation type and building control will need to advise on a different method of construction. If requested by building control either a raft or piled foundation, this

will need to be designed by an engineer with an additional cost being implemented.

11. All wall/s which have been designed to be removed on plans are to be checked on site by building control inspector/builder for load bearing or non-load bearing status before

purchase of steel/s. If non-load bearing then steel's should not be ordered. No refund or claim can be given against DPL on the design/materials charged for these steel/s.

OTHER NOTES:

All new proposed roof and wall finishes on this drawing to match existing materials. All new proposed skylights shown on this drawing will be designed not protrude more than 150mm from the existing roof profile. All new proposed windows, shown on this drawing which overlook other property, are designed to be non opening and obscure glazing. For a permitted development, left design the dormer designed on this drawing is set back from the eaves by 200mm, this note is a confirmation that it is designed this way. All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

An inspection of the underground drainage was not possible on survey. Contractor should check drainage runs and invert levels prior to starting work on site and notify building control of results. ALL DRAINAGE SHOWN IS ASSUMED AND MUST BE VERIFIED BY CONTRACTOR.

TERMS - this drawing has been created by discount plans *id* for the "client" only, a bound contract has been made between both party's in which a signed contract for creation of works involving person-working hours for this drawing has been made. no refund will be given of drawing and any other drawing/s relating to this project for whatever reason or for any other reason. Discount plans *id* hold full copyright of this material and have the full right to control the use of the material for the benefit of the client. Discount plans *id* are not responsible for any loss or damage to the client's work or any other work.

12. All fringe connections is assumed & is subject to the following conditions:

PRINT @ A3 SHEET SIZE

THIS DRAWING'S CONTENT INCLUDING NOTES IS BOND TO SIGN
 AGREED CONTRACT BETWEEN CLIENT & DISCOUNT PLANS LTD

SITE ADDRESS

13 HARMOOD STREET,
CAMDEN TOWN, LONDON, NW1 8DW

DRAWING TITLE

EXISTING DRAWINGS		
DRAWN AT	HEAD OFFICE	DRAWN BY
SCALE	as shown @ A3	10. NOVEMBER, 2023

DRAWING No.	REVISION
DPL.04.	-
www.discountplansltd.com	