

# Heritage Statement

Flat 34 Centre Point House, St Giles Square,  
London WC2H 8AP

## Introduction

This statement relates to a submission for retrospective listed building consent for work that has been carried out at Flat 34 Centre Point House, St Giles Square, London WC2H 8AP, without listed building permission.

Centre Point House is a Grade 2 listed property. We understand that the works described were carried out approximately ten years ago.

Centre Point House is a Grade 2 listed building which forms part of Centre Point complex, completed in 1966 and comprising a 33-storey tower, a 9-storey block to the east (Centre Point House), containing shops, offices, retail units and residential accommodation (including Flat 34 being a maisonette), and a linking block between the two at first floor level. The building is located in the Denmark Street Conservation Area.

This submission is supported by a Design & Access Statement, and an existing and proposed layout plan.

## The Listing

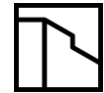
The building is Grade II listed and the Historic England Official List Entry from 2013 refers to Centre Point House, (the East Block) as follows:

### **Exterior**

Former bank at N end with original frontage; shops along W elevation with later shop fronts (not of special interest), together with the entrance to the maisonettes. Utilitarian service bays on east elevation to Earnshaw St. South end of the block has a remodelled pub front at ground floor (not of special interest). Above is a 2-storey tier containing offices. This is of equal height to the link and is accentuated by a pre-cast concrete brise-soleil to E and W elevations forming a staggered rectangular pattern in front of the recessed windows (the S end is glazed). The upper level, placed above a set-back intermediary space, comprises a contrasting 6-storey section with 3 tiers of projecting rectangular balconies faced in grey geometric mosaic, alternating with sections of metal-framed curtain wall glazing with opaque glass panels beneath the windows. At either end of the block is a glazed stair compartment.

### **Interior**

The former bank has a mosaic floor matching those of the tower lobby and link. Mezzanine level has a glazed timber balustrade, similar to that of link, supported on concrete piers clad in grey mosaic tiles. On the stair wall is an openwork sculptural metal relief by Jupp Dernbach-Mayen depicting banking motifs, currently (2012) in storage pending conservation work; on wall behind is a



decorative panel of red and gold mosaic tiles on a grey tile background. The pub, shops, offices at intermediary level, and maisonettes above, are without internal features of note and lack special interest.

## The Works

Flat 34 was built with a bathroom (including toilet) and a separate toilet to the room directly adjacent. The works comprise alterations to the bathroom and toilet sub-dividing partition to enable the formation of a new shower room. Please refer to the Design & Access Statement, and the existing/proposed layout plan for further details.

There are no external works in this submission.

## Impact on Significance

The works are internal only and comprise alterations to the bathroom and toilet, including changes to the non-structural partition wall dividing the two rooms, to enable the installation of a shower. All materials and finishes, comprising ceramic wall tiles and painted plasterboard ceilings, along with all sanitaryware, are compatible with existing finishes.

The Historic Buildings official listing for Centre Point House states that **“the pub, shops, offices at intermediary level, and maisonettes above, are without internal features of note and lack special interest”** and as such we do not consider the internal works undertaken have had any adverse impact on the historic and special architectural interest/character of the building or structure.