

Design & Access Statement

Flat 34 Centre Point House, St Giles Square,
London WC2H 8AP

Introduction

This statement relates to a submission for retrospective listed building consent for work that has been carried out at Flat 34 Centre Point House, St Giles Square, London WC2H 8AP, without listed building permission.

Centre Point House is a Grade 2 listed property. We understand that the works described were carried out approximately ten years ago.

This submission is supported by a heritage statement, and an existing and proposed layout plan.

Context

There are no previous Listed Building applications relating to this property on Camden Council's online planning portal.

Please see attached a copy of our Heritage Statement for more details.

The Works

Flat 34 was built with a bathroom (including toilet) and a separate toilet to the room directly adjacent.

The works are internal only and comprise alterations to the bathroom and toilet, including changes to the non-structural partition wall dividing the two rooms, to enable the installation of a shower.

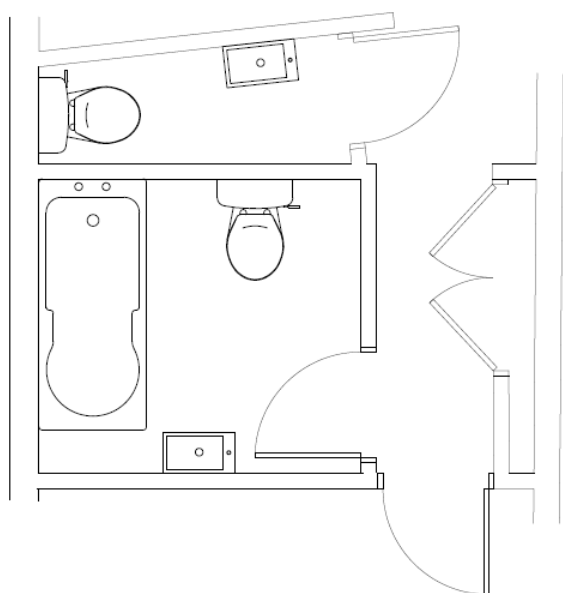
Flat 34 forms part of larger block of flats. Access to Flat 34 remains unchanged.

All materials and finishes, comprising ceramic wall tiles and painted plasterboard ceilings, along with all sanitaryware, are compatible with existing finishes.

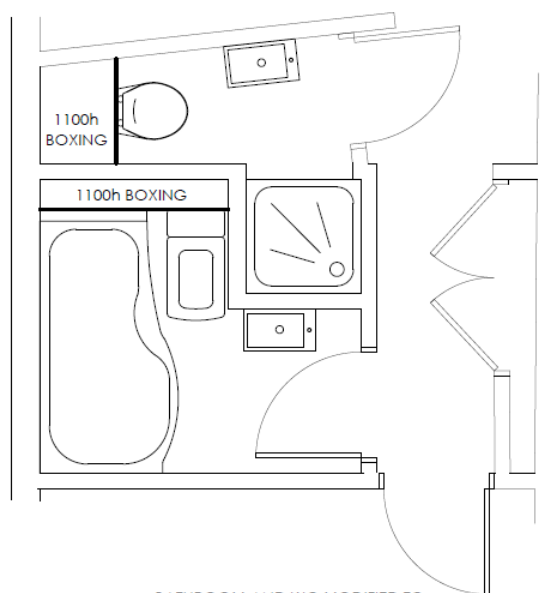
There are vents fitted to the ceilings in each of the bath/shower rooms. The mechanical extract to the new shower room has been upgraded as part of the works.

Connection to the existing drainage stack, and the subsequent connection into the main sewage system, remains unchanged.

The below is an extract from the drawing accompanying this submission for information. Please refer to the full drawing. It illustrates the alterations to the bathroom and toilet sub-dividing partition to enable the formation of a new shower room.



BATHROOM AND WC AS EXISTING



BATHROOM AND WC MODIFIED TO
PROVIDE NEW SHOWER

Conclusion

Alterations to the bathroom and toilet create a more useful sanitary arrangement for the flat. The works have been carried out within the original footprint and without compromising the essential historic design elements of the flat. These internal works have no impact on the external appearance of the building.

The Historic Buildings official listing for Centre Point House states that **“the pub, shops, offices at intermediary level, and maisonettes above, are without internal features of note and lack special interest”** and as such we do not consider the internal works undertaken have had any adverse impact on the historic and special architectural interest/character of the building.